

August 31, 2021

ADDENDUM 1

TO: All Prospective Offerors

FROM: Scott Bachtell, Supervisor of Purchasing

REF: Bid 2022-09 Portable Classroom Improvements at Five Schools

BID DUE DATE/TIME: **September 8, 2021 at 11:00 am EST**
Washington County Public Schools Center for Education Services
10435 Downsville Pike
Hagerstown, MD 21740

The following changes are made a part of the Drawings and Specifications for the project named above. Receipt of this Addendum is to be acknowledged in the space provided on the Bid Form. Failure to do so may subject the Bid to be considered as non-responsive.

GENERAL/BIDDER QUESTIONS

- 1.1 Q: Is the contractor responsible for drop ceiling/grid replacement in any of the 8 relocated units?
 A: No.
- 1.2 Q: How many of the 8 relocated units require exterior painting?
 A: All eight units require exterior painting.
- 1.3 Q: Is the required installed skirting T-111 painted wood or vinyl? What is the specified color?
 A: The new skirting at each portable shall be vinyl and selected by the Architect and Owner from a standard product line of the Contractor's choice.
- 1.4 Q: Why are there footer and block pier details on Drawing A100?
 A: The details in question are to be used for the ramp foundations, where applicable. The details on S100 (attached to this addendum) apply to the relocated portable buildings at NHHS.
- 1.5 Q: Are the 8 relocated units currently tied down with hurricane straps and in ground anchors?
 A: Yes.
- 1.6 Q: Does our scope of work include removal of the middle portable classroom at Fountain Rock Elementary?
 A: Yes. However, it cannot be removed until the other two portable classrooms are occupied by students and staff. The middle classroom will be in use by the school during the fall of 2021.
- 1.7 Q: Is the work to be performed during normal working hours?
 A: Work performed outside or inside the portable classrooms can be performed during normal business hours. Work performed inside the main school building (at each site) must be performed after hours or on weekends.
- 1.8 Q: For IT and speaker cabling, are J hooks in lieu of conduit acceptable?
 A: Yes.

-
- 1.9 Q: Does the CMSI existing modular unit at Fountain Rock need to be demolished/removed off site?
A: Yes. See Addendum item 1.6.
- 1.10 Q: Is the skirting to have a 2x10 pressure treated mow strip?
A: Yes, all skirting shall have a 2x10 pressure treated mow strip at grade, rated for ground contact and painted to match the skirting.
- 1.11 Q: Are all units that are to be relocated plus the three existing units at NHHS to be entirely painted?
A: The existing portables at NHHS are to be painted to match the paint on the two new portables at NHHS. In other words, five portables at NHHS receive new exterior paint. The only portable classroom relocation within this contract's scope of work is the relocation of the NHHS portables to a new location at NHHS, as detailed within this addendum.
- 1.12 Q: Are all relocated units to have gutter and downspouts repaired?
A: Gutter and downspout repairs will be performed on an as-needed basis, and performed via change order.
- 1.13 Q: Are all relocated units to receive splash blocks?
A: Yes, at each downspout location.
- 1.14 Q: Is skirting required at perimeter of new aluminum decks?
A: No.
- 1.15 Q: WHS civil plans show no new concrete sidewalk.
A: For WHS, concrete sidewalk shall be installed as shown on the architectural plans.
- 1.16 Q: Is concrete required at electrical trenches per trench detail?
A: Contractors shall adhere to the details as shown. Note that concrete is only required beneath parking lots/roadways.
- 1.17 Q: Drawing E304 refers to Smithsburg High School.
A: There is no work at Smithsburg High School. Sheet E304 references work at Smithsburg Elementary School.
- 1.18 Q: Is coordination for fire marshal inspections and final building inspections required by the GC?
A: Yes.
- 1.19 Q: Will there be a need for network cabling inside each portable from data panel to faceplates? If so, how many?
A: No.
- 1.20 Q: Will there be a need for intercom phone extensions to each portable from the school intercom cabinet?
A: Yes.
- 1.21 Q: Will it be the contractor's responsibility to program Bogen intercom extensions in each portable?
A: Yes.

- 1.22 **Q: Williamsport HS** - Consideration for source of power for the 5th/added Portable should be given to the existing Transformer/Secondary Panel currently feeding the existing (4) Portables. There is actually no Fire Alarm Control Panel (FACP) where noted on Drawing E305 in the same room with the IT Data Rack. It is elsewhere and time did not permit further investigation in this regard.

Potomac Heights ES - There is actually no Fire Alarm Control Panel (FACP) where noted on Drawing E303 in the same room with the IT Data Rack. This is actually a Honeywell Security Control Panel. The FACP along with Voice Control Panel and NAC Power Extender Panel is in a closet accessible through the Principals' Office.

North Hagerstown HS - Consideration for source of power for the 4th & 5th/added Portables should be given to the existing Transformer/Secondary Panel NP currently feeding the existing (3) Portables via a separate metered Service from Hagerstown City Light. City Light should be able to identify average and peak demands on this service for consideration in this regard. Note that the Panel designated to add a 125A/3P Circuit Breaker per Drawing E302 Note 7 is Emergency Panel EDLF. This appears to be in error, given that no Portables at WCPS sites have previously been powered by Emergency source(s).

Smithsburg ES - The Fire Alarm Annunciator Panel (FAAP) where noted on Drawing E304 in General Office 101 is actually the Fire Alarm Control Panel (FACP), and the (2) Transponder Panels shown in IT Room 154A do not exist. The required routing for the new 480V feeder from existing Panel MDP (not 'HDP', this designation is in error) is in no way accurately shown on Drawing E304, this is drawn to denote a vertical shaft. The shaft extends horizontally a significant distance with several turns and the drawing should be corrected to reasonably indicate what is required.

A: See Addendum Item 1.23. Revised MEP Drawings are attached to this addendum.

- 1.23 **Recent directives from the City of Hagerstown and State Fire Marshal's Office dictate that WCPS cannot seal off the second door of a given portable classroom. Therefore, this contract now hereby calls for a prefabricated landing and set of steps to grade at the "non-ramp" door at each portable classroom – eight locations/doors in total. Refer to revised Sheet A100, attached to this addendum, for further details. Bidders shall assume that the platforms for all decks are 4'-0" above grade, but must field verify actual heights before generating submittals and ordering material.**

DRAWINGS

- 1.24 **ADD** Drawing S100, attached to this addendum. These structural details apply to the relocated portable classrooms at NHHS.
- 1.25 **DELETE** Sheet A100 and **REPLACE** with revised Sheet A100, attached to this addendum.
- 1.25 **DELETE** Fox & Associates' NHHS Drawings (Sheets 1-2 of 23 of the PDF) and **REPLACE** with the revised drawings attached to this addendum. The existing portables at NHHS shall be moved to a new location at NHHS within this project's scope of work.
- 1.26 **DELETE** E301 and **REPLACE** with revised E301 attached to this addendum.

- 1.27 **DELETE** E302 and **REPLACE** with revised E302 attached to this addendum. Note that the incorrect portable classroom location is shown on this drawing. Bidders shall assume that new portables are 200 feet away from the plan northwest corner of NHHS, and shall route all utilities to the new location as shown on the sheets referenced in Addendum item 1.24.
- 1.28 **DELETE** E303 and **REPLACE** with revised E303 attached to this addendum.
- 1.29 **DELETE** E304 and **REPLACE** with revised E304 attached to this addendum.
- 1.30 **DELETE** E305 and **REPLACE** with revised E305 attached to this addendum.

END OF ADDENDUM NARRATIVE

GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION METHODS AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH THE CITY OF HAGERSTOWN ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS, CITY OF HAGERSTOWN UTILITY DEPT., WATER & WASTEWATER DIVISION STANDARDS AND SPECIFICATIONS, MD STATE PLUMBING CODE AS CURRENTLY ADOPTED BY THE CITY OF HAGERSTOWN, THE STATE OF MARYLAND DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION BOOK OF STANDARDS, AND WASHINGTON COUNTY DIVISION OF PLAN REVIEW AND PERMITTING.
- INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATIONS AND ELEVATIONS OF THE UTILITIES IN ADVANCE OF TRENCHING.
- TOPOGRAPHY SHOWN HEREON IS FROM A FIELD SURVEY BY FOX & ASSOCIATES, INC. DATE OF SURVEY IS MARCH 2021. DATUM IS NAD 83/NAVD 88.
- CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AND ALL UTILITIES WITH FACILITIES WITHIN THE PROJECT AREA FORTY-EIGHT (48) HOURS PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS BEFORE BEGINNING CONSTRUCTION.
- JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ANY CHANGES TO THE APPROVED SITE PLAN LAYOUT MUST FIRST BE APPROVED BY FOX & ASSOCIATES, INC. AND THEN APPROVED BY THE CITY ENGINEERING AND PLANNING DEPARTMENTS.
- ALL WORK SHALL BE COMPLETED IN A PROFESSIONAL AND WORKMANLIKE MANNER.
- FOX & ASSOCIATES, INC. HAS NOT PERFORMED ANY SUBSURFACE INVESTIGATIONS TO DETERMINE LOCATION OF ROCK, DIFFERENT SOIL TYPES, WATER TABLES, UTILITIES, ETC.
- SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS, THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. SHOULD THE CONTRACTOR MAKE FIELD CORRECTIONS OR ADJUSTMENTS WITHOUT NOTIFYING THE ENGINEER, THEN THE CONTRACTOR ASSUMES ALL RESPONSIBILITIES FOR THOSE CHANGES.
- THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT THE FACILITIES OF THE CITY AND OTHER UTILITIES DURING CONSTRUCTION. EXCAVATION AND CONSTRUCTION SHALL BE PERFORMED WITH EXTREME CARE TO AVOID DAMAGE TO FACILITIES.
- CITY OF HAGERSTOWN WILL MAINTAIN ONLY THOSE STORM DRAINS IN THE PUBLIC RIGHT OF WAY.
- ALL CONSTRUCTIONS AND SIGNAGE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (A.D.A.) FOR HANDICAP ACCESSIBILITY.
- CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH NFPA 241, STANDARDS FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS AND CHAPTER 16 OF NFPA 1, UNIFORMED FIRE CODE.
- THERE ARE NO BOARD OF ZONING APPEALS CASES APPLICABLE TO THIS PROJECT.
- THERE ARE NO WATER COURSES, MARSHES, WOODED AREAS, FLOOD PLAINS, ROCK OUTCROPS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS WITHIN THE PROJECT'S DISTURBED AREA.
- THE SITE IS NOT AFFECTED BY THE 100 YEAR FLOOD PLAN PER F.E.M.A. FLOOD INSURANCE RATE MAP 24043C01300, EFFECTIVE DATE AUGUST 15, 2017.
- PREVIOUS CITY OF HAGERSTOWN FILE NUMBERS AFFECTING THIS PROPERTY: ADDITION SITE PLAN 25-2005-02 & 25-2019-04.
- AS-BUILT MYLARS SHALL BE PROVIDED TO THE CITY OF HAGERSTOWN AT THE COMPLETION OF THE PROJECT IF SO REQUIRED.
- THIS PROJECT IS EXEMPT FROM THE FOREST CONSERVATION REQUIREMENTS DUE TO THE FACT THAT THE DISTURBANCE TAKES PLACE ON A PREVIOUSLY DEVELOPED AREA COVERED BY IMPERVIOUS SURFACE AND IS LOCATED WITHIN A PRIORITY FLOODING AREA. (REFERENCE ARTICLE 7.A.3.6(14) OF THE FOREST CONSERVATION ORDINANCE)
- ANY SPOIL AND/OR BORROW MUST COME FROM OR GO TO A SITE THAT HAS A CURRENT AND APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
- TARPS, CANVAS AND SIMILAR PLIABLE MATERIAL SHALL NOT BE USED AS ENCLOSURES FOR OR BUILDING MATERIALS OF BUILDINGS OR STRUCTURES. THIS PROVISION SHALL NOT APPLY TO BONA FIDE AWNINGS DESIGNED AND CONSTRUCTED AS SUCH OF MATERIAL INTENDED FOR USE IN AWNINGS, OR CANVAS OR OTHER PLIABLE MATERIALS ENGINEERED OR PROFESSIONALLY DESIGNED FOR SUCH PURPOSES.
- THE PURPOSE OF A SITE IS TO SET THE FINAL APPROVED DEVELOPMENT OF THE SITE UNTIL SUCH LATER TIME THAT NEW OR REVISED PLANS ARE SUBMITTED FOR ADDITIONS OR REDEVELOPMENT OF A SITE. ALL IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO CONDITIONS OF APPROVAL, SITE CONFIGURATION, PARKING SPACE, AND LANDSCAPING REQUIRED IN ACCORDANCE WITH CITY ORDINANCES SHALL BE MAINTAINED ON AN ONGOING BASIS. FAILURE TO MAINTAIN FEATURES AND IMPROVEMENTS SHOWN ON AN APPROVED SITE PLAN CONSTITUTES A VIOLATION OF THE LAND MANAGEMENT CODE. A ZONING CERTIFICATE (INCLUDING ZONING APPROVAL OF A BUILDING PERMIT) MAY BE REVOKED BY THE ZONING ADMINISTRATOR IF THE RECIPIENT OF THE CERTIFICATE FAILS TO DEVELOP OR MAINTAIN THE PROPERTY IN ACCORDANCE WITH THE PLANS SUBMITTED, THE REQUIREMENTS OF THIS CHAPTER, THE LIST OF PERMITTED USES AS FOUND IN ARTICLE 4, SECTION 2, AN APPROVED SITE PLAN, OR ANY OTHER REQUIREMENT LAWFULLY IMPOSED IN CONNECTION WITH THE ISSUANCE OF THE ZONING CERTIFICATE OR ZONING APPROVAL OF THE BUILDING PERMIT.
- THIS SITE PLAN SHALL BE VOID IF THE REQUIRED PERMITS ARE NOT SECURED AND SUBSTANTIAL CONSTRUCTION ACCOMPLISHED WITHIN THREE YEARS OF THE DATE THE SITE PLAN IS APPROVED. THE APPROVAL OF THIS SITE PLAN SHALL EXPIRE IN THREE YEARS, UNLESS RE-APPROVED BY THE PLANNING COMMISSION AND RELEVANT AGENCIES.

HAGERSTOWN FIRE DEPARTMENT NOTES

- CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH N.F.P.A. 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF N.F.P.A. 1, FIRE CODE.
- NO OPEN AIR BURNING IS PERMITTED.
- PERMITS ARE REQUIRED BEFORE PERFORMING BLASTING OPERATIONS WITHIN THE CITY OF HAGERSTOWN.
- FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED TO ANY NEW OR EXISTING BUILDING.
- THE APPROVED ADDRESSES FOR EACH TENANT SPACE SHALL BE POSTED AT AN APPROVED LOCATION ON THE BUILDING.
- FINAL INSPECTION BY THIS OFFICE IS REQUIRED. THE GENERAL CONTRACTOR SHALL CONTACT THIS OFFICE AT 301-790-2476 TO ARRANGE FOR A FINAL INSPECTION. A 72 - HOUR ADVANCED NOTICE FOR AN INSPECTION IS REQUIRED.

REVISIONS

DATE	REVISION
8/31/21	REVISED LOCATION OF PORTABLE CLASSROOMS

FOX & ASSOCIATES, INC.

ENGINEERS • SURVEYORS • PLANNERS

981 MT. AETNA ROAD
HAGERSTOWN, MD. 21740
PHONE: (301)733-8503
or (301)416-7250
FAX: (301)733-1853

82 WORMANS MILL COURT
SUITE 'G'
FREDERICK, MD. 21701
PHONE: (301)695-0880
FAX: (301)293-6009

FOX
& ASSOCIATES INC.
Est. 1966

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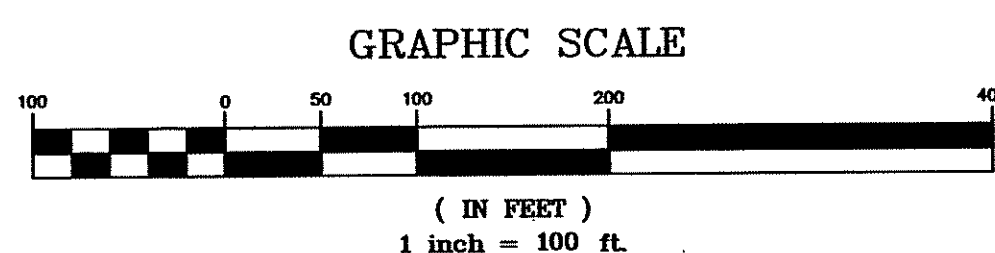
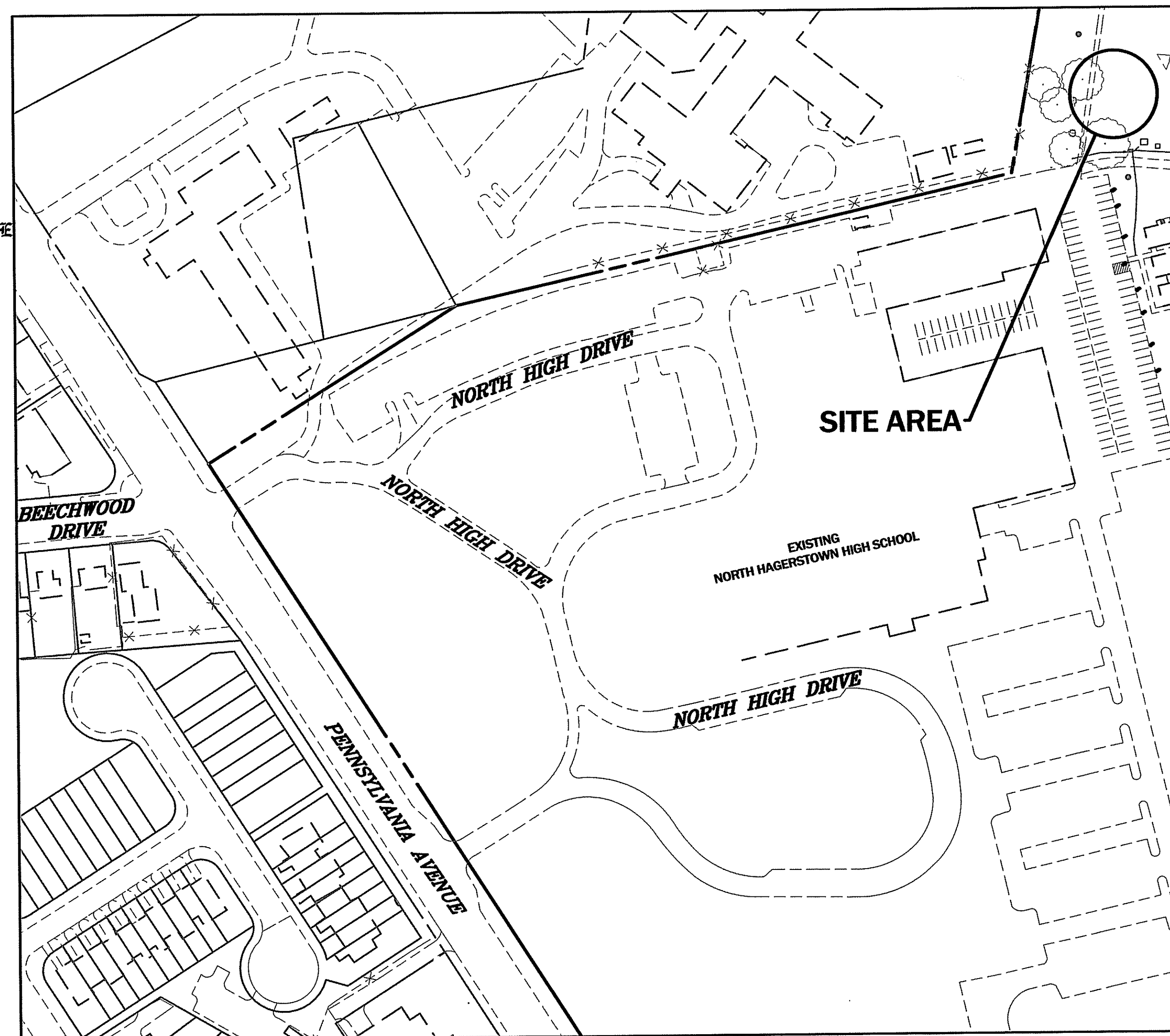
www.foxassociatesinc.com

Email: foxassoc@foxassociatesinc.com

MINOR SITE PLAN

NORTH HAGERSTOWN HIGH SCHOOL PORTABLE CLASSROOM BUILDINGS

SITUATE AT 1200 PENNSYLVANIA AVENUE
CITY OF HAGERSTOWN, WASHINGTON COUNTY, MARYLAND



OWNER/DEVELOPER:

WASHINGTON COUNTY BOARD OF EDUCATION
10435 DOWNSVILLE PIKE
HAGERSTOWN, MARYLAND 21740
PHONE: 301-795-2500
CONTACT: BRAD OTTO

PLAN PURPOSE NOTE:

THIS PLAN PROPOSES TO ADD TWO (2) PORTABLE CLASSROOMS TO THE EXISTING NORTH HAGERSTOWN HIGH SCHOOL CAMPUS.

ESTIMATED PROJECT SCHEDULE

SITE PLAN APPROVAL	SEPT. 2021
GRADING PERMIT ISSUANCE	SEPT. 2021
START SITE CONSTRUCTION	SEPT. 2021
COMPLETE SITE CONSTRUCTION	NOV. 2021
BUILDING OCCUPANCY	NOV. 2021

SENSITIVE AREA NOTE

THERE ARE NO FLOODPLAINS AS SHOWN ON COMMUNITY PANEL NUMBER 240070 0090B WITH AN EFFECTIVE DATE OF SEPTEMBER 30, 1992, NO STEEP SLOPES, STREAMS AND RELATED BUFFERS, OR HABITAT OF THREATENED OR ENDANGERED SPECIES WITHIN THE DISTURBED AREA IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER 50 CFR 17 AS REQUIRED TO BE SHOWN BY SECTION 307 OF THE SUBDIVISION ORDINANCE AND SECTION 4.21 OF THE ZONING ORDINANCE.

ADC MAP 21
GRID E1

VICINITY MAP
SCALE: 1" = 2,000'
TAX MAP 300 PARCEL 1445
CITY TAX MAP 35 BLOCK 01 PARCEL 01

DISTURBED AREA QUANTITIES

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 3,500 S.F. (0.08 ACRES) AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 5 C.Y. OF EXCAVATION AND 0 C.Y. OF FILL.

* THESE QUANTITIES ARE APPROXIMATE AND SHALL NOT BE USED BY THE CONTRACTOR FOR BIDDING PURPOSES.

UTILITY NOTIFICATION

THE SOIL CONSERVATION DISTRICT MAKES NO REPRESENTATION AS TO THE EXISTENCE OR NON-EXISTENCE OF ANY UTILITIES AT THE CONSTRUCTION SITE. SHOWN ON THESE CONSTRUCTION DRAWINGS ARE THOSE UTILITIES WHICH HAVE BEEN IDENTIFIED. IT IS THE RESPONSIBILITY OF THE LANDOWNERS OR OPERATORS AND CONTRACTORS TO ASSURE THEMSELVES THAT NO HAZARD EXISTS OR DAMAGE WILL OCCUR TO UTILITIES. IT IS SUGGESTED THAT MISS UTILITY BE CONTACTED AT: PHONE No. 1-800-257-7777.

ENGINEER PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

SIGNATURE: LICENSE No. 27053 EXPIRATION DATE 01.25.22

THIS SITE PLAN IS APPROVED BY THE CITY ENGINEERING DEPARTMENT FOR A PERIOD OF TWO YEARS FROM DATE SHOWN.

CITY OF HAGERSTOWN DATE:

STORM WATER MANAGEMENT PLAN SHOWN HEREON IS APPROVED.

CITY OF HAGERSTOWN DATE:

LIMITS OF DISTURBANCE IS UNDER 5,000 S.F., THEREFORE THE PLAN IS EXEMPT FROM REVIEW BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT.

CERTIFICATE OF APPROVAL

THE SITE PLAN SHOWN HEREON COMPLIES WITH THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE FOR THE CITY OF HAGERSTOWN, MARYLAND, AND OTHER APPLICABLE PROVISIONS OF THE LAND MANAGEMENT CODE, WITH THE EXCEPTION OF SUCH WAIVERS OR VARIANCES, IF ANY, AS NOTED ON THIS PLAN AND IN THE MINUTES OF THE HAGERSTOWN PLANNING COMMISSION AND/OR BOARD OF ZONING APPEALS. THIS APPROVAL IS VALID FOR THREE YEARS FROM DATE OF SIGNATURE, AND MAY BE RENEWED BY THE PLANNING COMMISSION IN ACCORDANCE WITH THE PROVISIONS OF THE LAND MANAGEMENT CODE. THIS PLAN SHALL BE VOID SHOULD REQUISITE PERMITS NOT BE OBTAINED AND SUBSTANTIAL CONSTRUCTION OCCUR WITHIN THREE YEARS OF THE DATE OF SIGNATURE.

ALL WORK SHALL BE IN ACCORDANCE WITH THIS PLAN. SHOULD THE DEVELOPER FIND NEED TO DEViate FROM THIS APPROVED PLAN, THE DEVELOPER SHALL CONTACT PLANNING STAFF FOR A DETERMINATION WHETHER THE WORK IS MINOR AND CAN BE APPROVED BY STAFF, OR IF THE WORK IS SUBSTANTIAL ENOUGH TO REQUIRE REVISED PLANS AND POSSIBLE REAPPROVAL BY THE PLANNING COMMISSION.

FOR THE HAGERSTOWN PLANNING COMMISSION

DATE: _____ STEPHEN R. BOCKMILLER
PLANNING AND CODE ADMINISTRATION DEPARTMENT

COMMITMENT TO BUILD IN ACCORDANCE WITH APPROVED PLANS.

THIS SITE PLAN (OR DEVELOPMENT PLAN) IS APPROVED FOR THE IMPROVEMENTS AND PROPOSED USE OR USES SHOWN ON THE PLAN PRESENTED TO AND APPROVED BY THE HAGERSTOWN PLANNING COMMISSION ON:

THESE PLANS ARE APPROVED PLANS OF DEVELOPMENT. DEVIATION FROM THIS PLAN IS A VIOLATION OF THE LAND MANAGEMENT CODE, WHICH MAY RESULT IN A STOP WORK ORDER BEING PLACED ON THE DEVELOPMENT, ISSUANCE OF NOTICES OF VIOLATION AND CIVIL CITATIONS, A REQUEST FOR INJUNCTIVE RELIEF IN THE COURTS, OR ANY COMBINATION THEREOF.

ANY DESIRED DEVIATION FROM THIS APPROVED PLAN MUST BE DISCUSSED WITH THE CITY PLANNING STAFF BEFORE IMPLEMENTING THE CHANGES. MINOR DEVIATIONS MAY BE ADMINISTRATIVELY APPROVED BY THE PLANNING STAFF, BUT SIGNIFICANT CHANGES MAY REQUIRE PLANNING COMMISSION REVIEW AND APPROVAL.

THIS COMMITMENT IS BINDING UPON GRANTEEES, ASSIGNS, SUCCESSORS AND HEIRS.

DATE: 8/31/21 OWNER/DEVELOPER

INDEX OF SHEETS

COVER SHEET 1
SITE PLAN / LANDSCAPE PLAN / ESC PLAN 2

CITY UNIQUE ID #35-01-01
CITY FILE # SA-2021-

SHEET 1 OF 2
FOX DRWG. # D-6707
ISSUE DATE: MAY 2021

SITE DATA

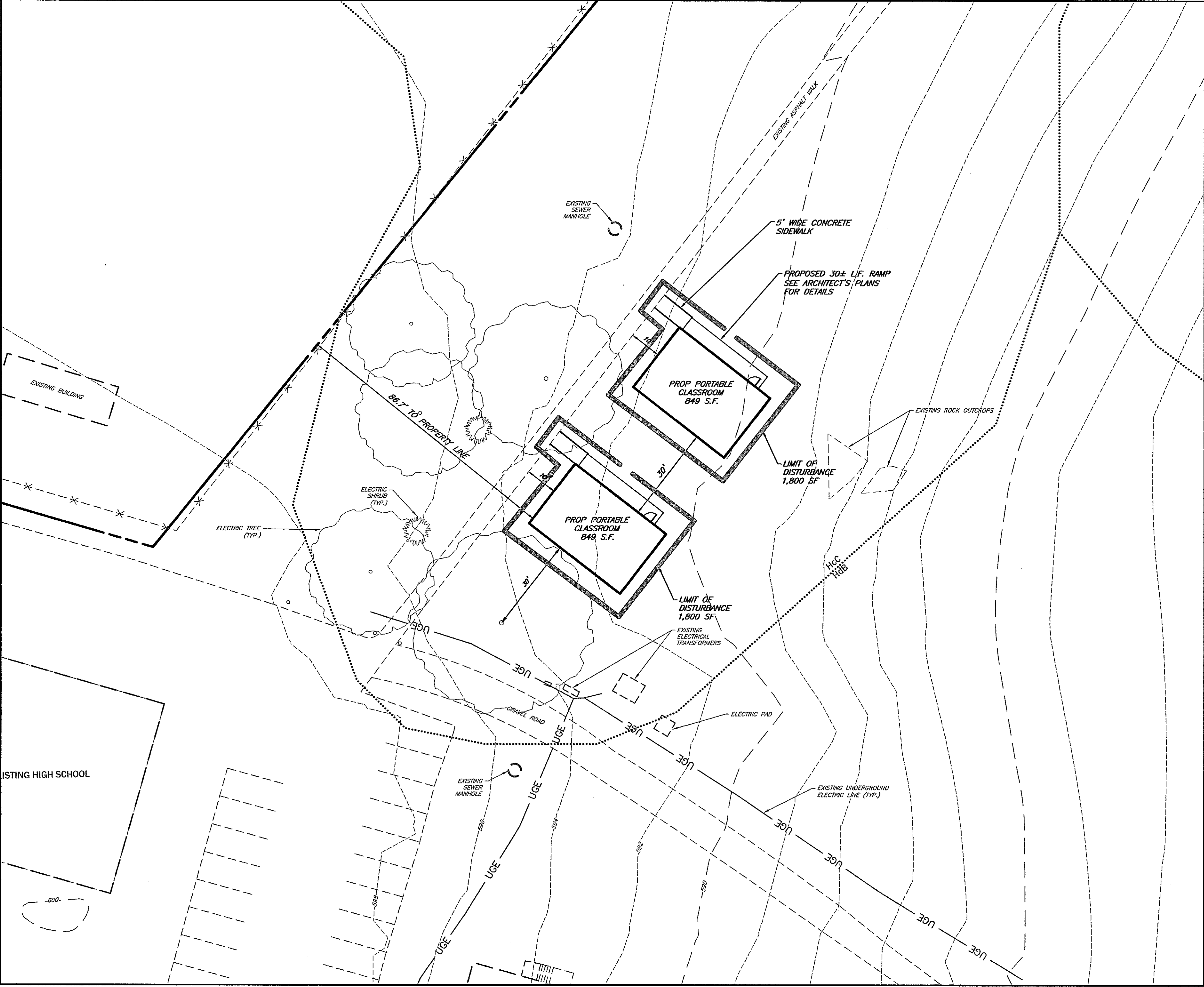
SITE AREA	56.24 AC. (PER SDAT)
COUNTY TAX MAP/BLOCK/PARCEL	300/24/1445
CITY TAX MAP/BLOCK/PARCEL	35/01/01
DEED REFERENCE	L-306 F.57
ELECTION DISTRICT	21
ZONING	INST (INSTITUTIONAL)
UTILITIES	CITY OF HAGERSTOWN WATER SEWER
FUNCTIONAL DESCRIPTION	EXISTING SCHOOL NO CHANGE (EXPANSION OF PERMITTED USE)
TRASH COLLECTION	EXISTING DUMPSTERS (NO CHANGE TO EXISTING DUMPSTER PADS)
MAX. BUILDING HEIGHT PER ZONING ORDINANCE	60 FT.
SETBACKS	15' FRONT 10' SIDE 25' REAR
TRASH COLLECTION	NO TRASH RECEPTACLES ARE PROPOSED OUTSIDE THE NEW MODULAR BUILDINGS
PARKING REQUIRED	NO CHANGE TO NUMBER OF STUDENTS OR FACULTY IS PROPOSED PER THIS PLAN, THEREFORE, NO ADDITIONAL PARKING IS REQUIRED

SOIL TYPES ON SITE

SYMBOL	DESCRIPTION	K-VALUE
HbB	HAGERSTOWN-DUFFIELD-URBAN LAND COMPLEX	0.37
HcC	HAGERSTOWN-ROCK OUTCROP COMPLEX	0.32

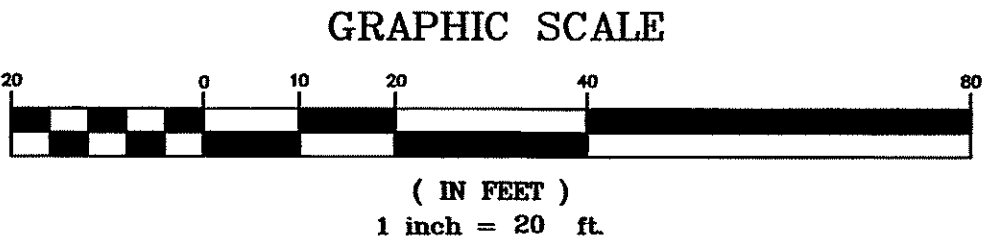
SEQUENCE OF CONSTRUCTION

1. CONTACT CITY OF HAGERSTOWN ENGINEERING DEPT. 5 DAYS PRIOR TO THE START OF CONSTRUCTION AT (301) 790-3200 TO SCHEDULE PRE-CONSTRUCTION MEETING.
2. NOTIFY WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT LEAST 5 DAYS PRIOR TO THE START OF CONSTRUCTION AT (301) 797- 8821 EXT. 3 TO SCHEDULE A PRE-CONSTRUCTION MEETING.
3. INSTALL ANY REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES
4. INSTALL PORTABLE CLASSROOM UNITS AS SHOWN ON PLAN.
5. INSTALL RAMPS AS SHOWN ON PLAN.
6. SEED AND MULCH ANY DISTURBED AREAS.
7. POST-CONSTRUCTION NOTIFICATION- WHEN THE SITE IS FULLY STABILIZED, NOTIFY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT 301-797-8821 EXT. 3 AND THE CITY OF HAGERSTOWN ENGINEERING DEPARTMENT AT 301-790-3200 PRIOR TO REMOVAL OF ANY SOIL EROSION AND SEDIMENT CONTROL MEASURES.



PLAN VIEW
1"=20'

LEGEND	
PROPOSED SPOT ELEVATION	x 18.1
EXISTING CONTOURS	--- 522 ---
DIRECTION OF FLOW	→ HaA
SOIL LINE HbB
EXISTING CROSS WALK	
EXISTING UTILITY POLE WITH STREET LIGHT	□ ⊕
EXISTING LIGHT POLE	□ ○
EXISTING SIGN	□
EXISTING CURB	=====
PROPOSED SIDEWALK	▨



CITY UNIQUE ID #35-01-01
CITY FILE # SA-2021-

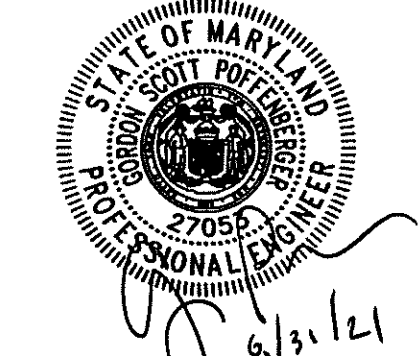


FOX & ASSOCIATES, INC.
ENGINEERS • SURVEYORS • PLANNERS
82 WORMANS MILL COURT
SUITE 'C'
HAGERSTOWN, MD. 21740
PHONE: (301)733-8503
or (301)416-7250
FAX: (301)733-1853
Email: foxassoc@foxassocline.com
www.foxassocline.com

REVISION	DATE	DRAWN BY

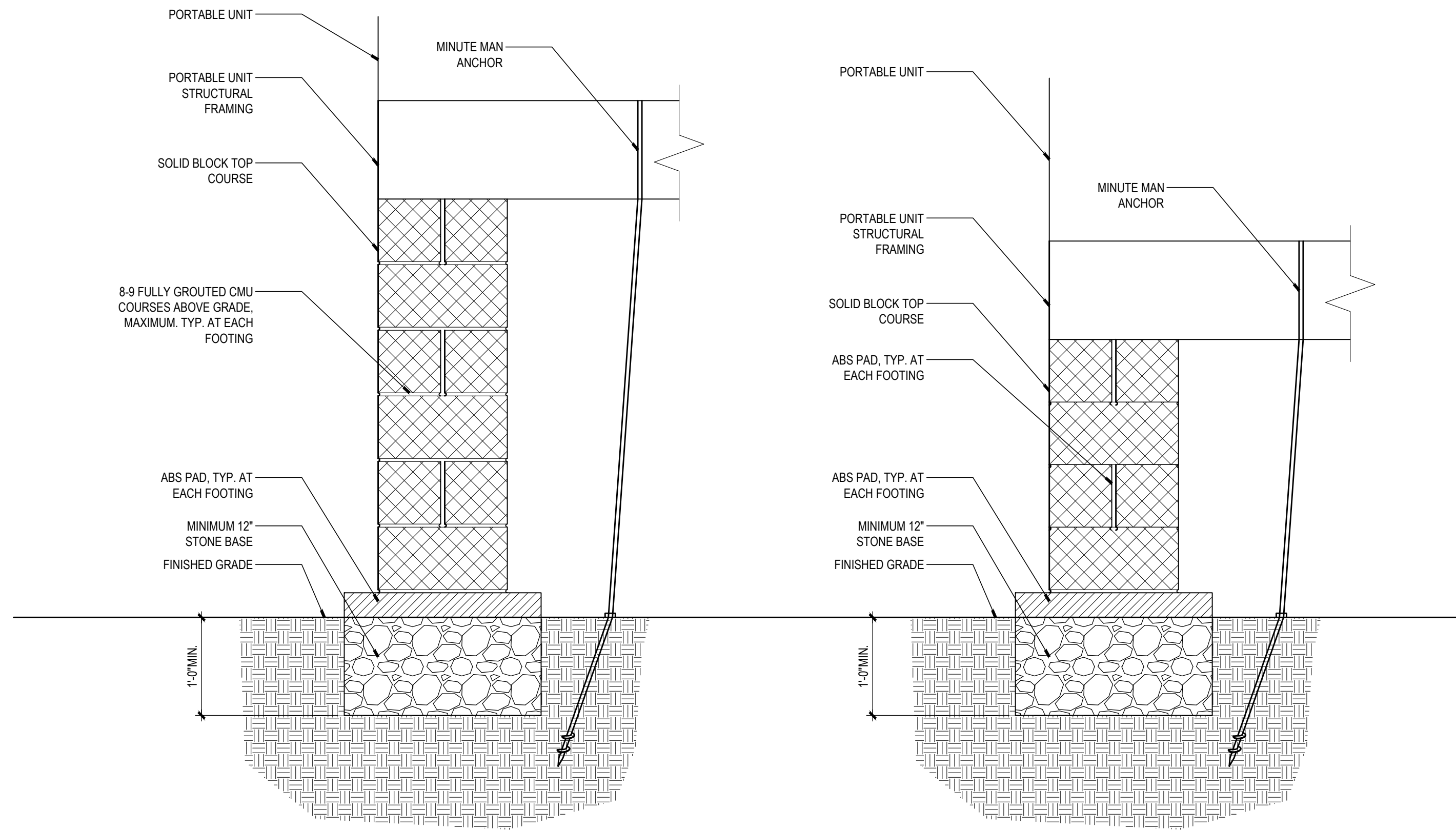
SITE PLAN, LANDSCAPE PLAN & ESC PLAN
NORTH HAGERSTOWN HIGH SCHOOL
PORTABLE CLASSROOM BUILDINGS
SITUATE AT 1800 PENNSYLVANIA AVENUE
CITY OF HAGERSTOWN
WASHINGTON COUNTY, MARYLAND

SCALE: 1"=20'

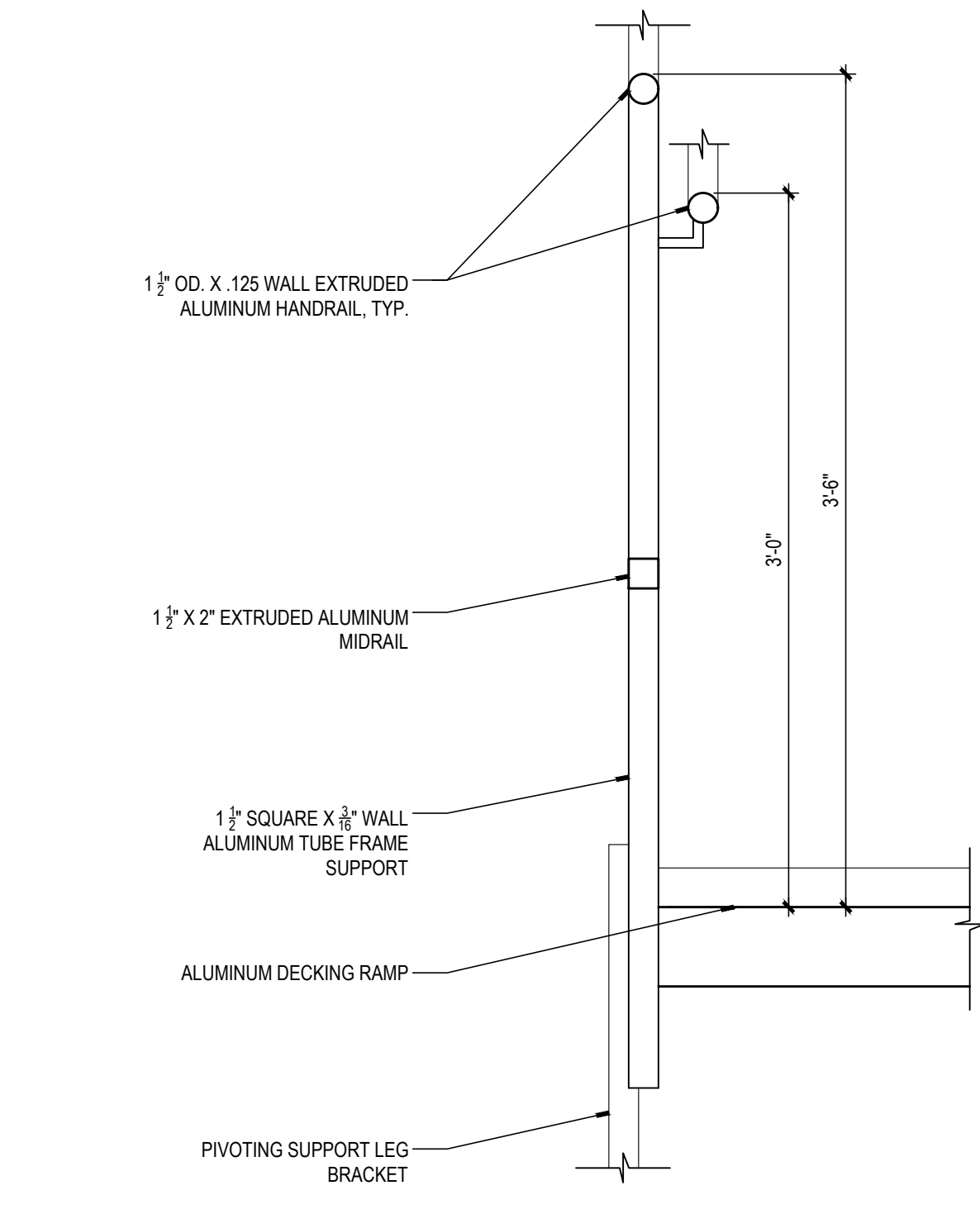


I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MARYLAND.
LICENSE No. 27053 EXP. DATE: 1/25/22
PROJECT NO. 21-31724
DRAWING NO. D-6707
DATE: MAY 2021
DRAWN BY: WMH
CHECKED BY: GSP

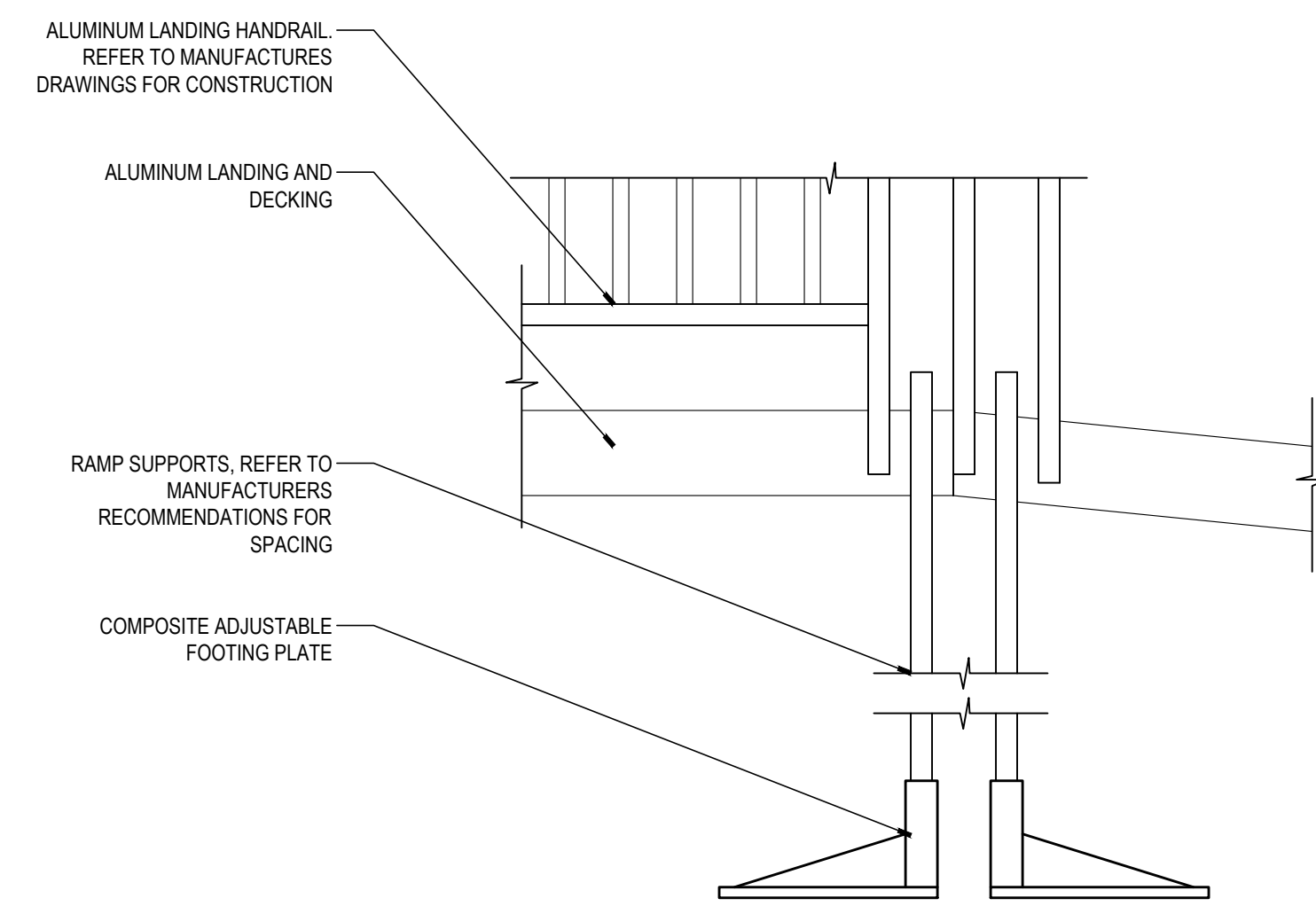
SHEET 2 OF 2



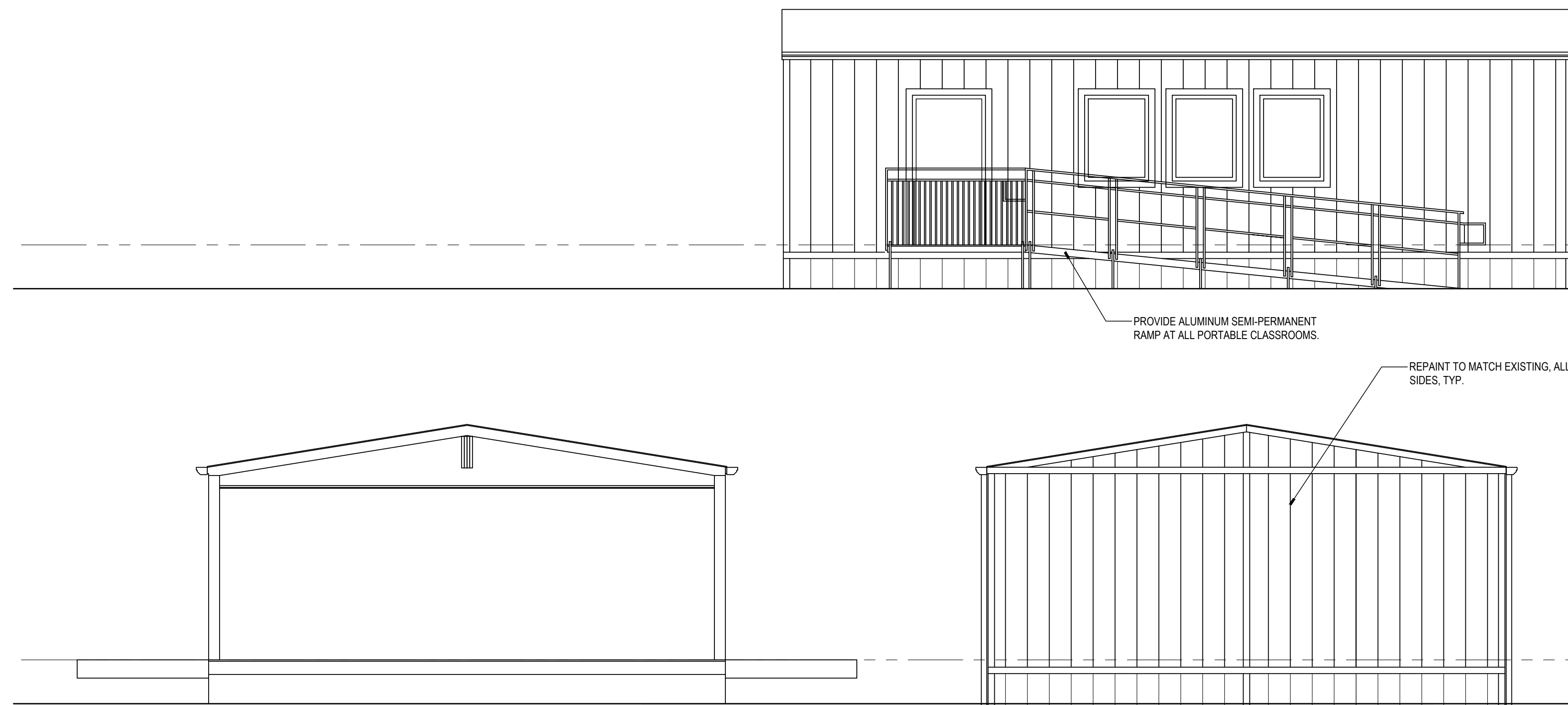
6 FOUNDATION/ FOOTING OPTIONS
SCALE: 1" = 1'-0"



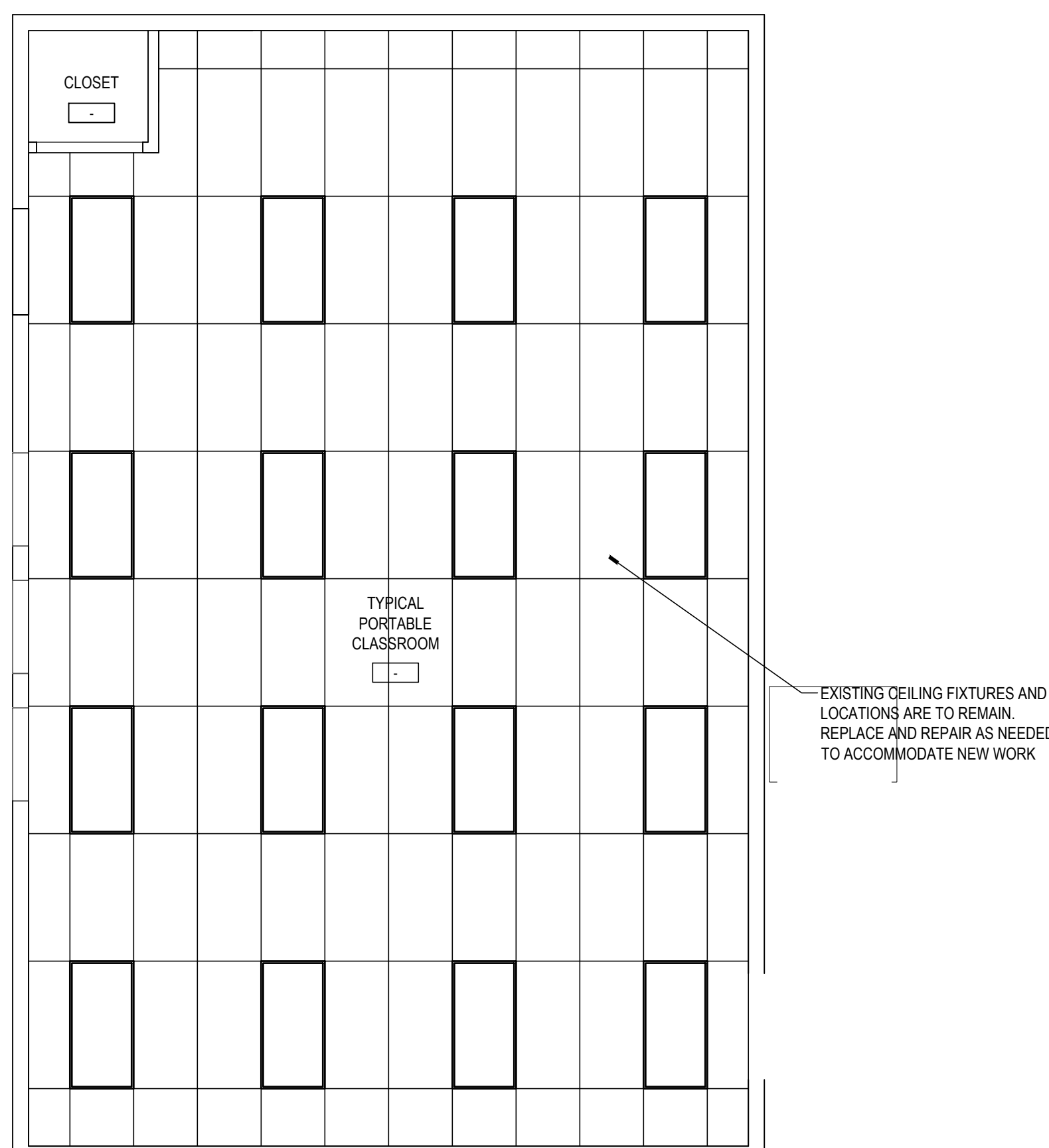
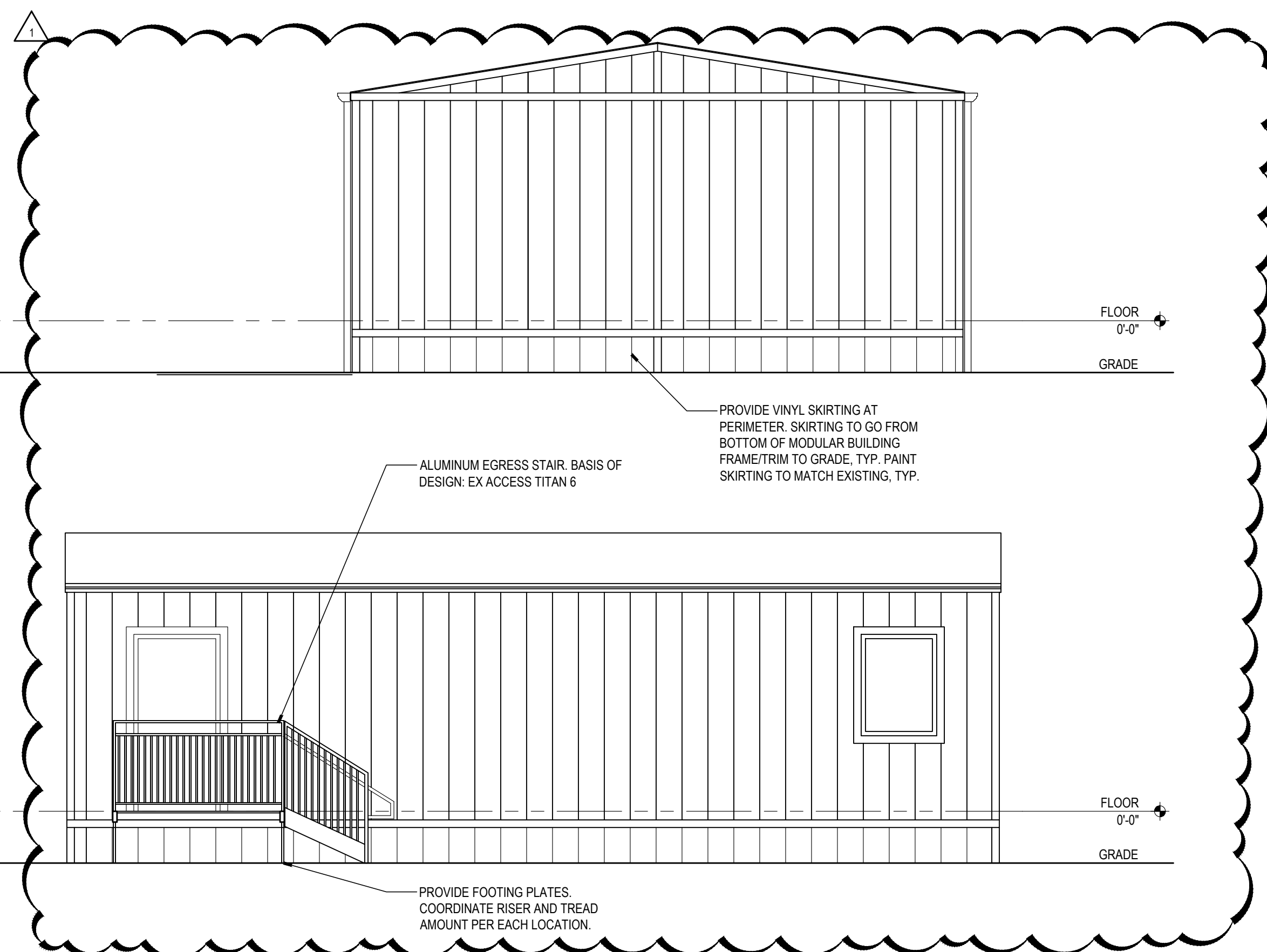
5 DECK/LANDING HANDRAIL SECTION
SCALE: 1 1/2" = 1'-0"



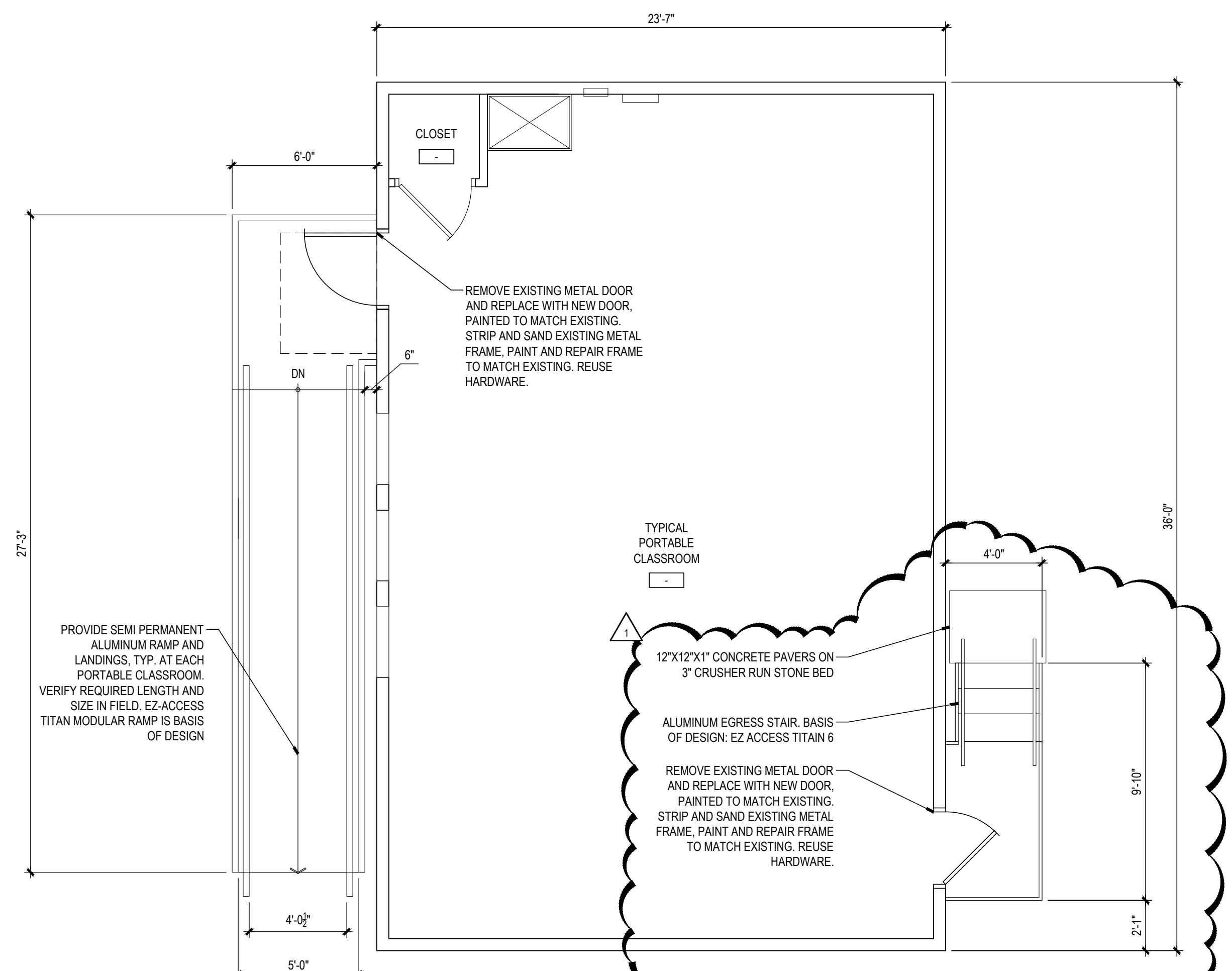
4 DECK AND RAMP DETAIL
SCALE: 1 1/2" = 1'-0"



3 TYPICAL PORTABLE CLASSROOM ELEVATIONS
SCALE: 1/4" = 1'-0"



2 TYPICAL PORTABLE CLASSROOM RCP
SCALE: 1/4" = 1'-0"



1 TYPICAL PORTABLE CLASSROOM FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROJECT INFORMATION

PROJECT TITLE
PORTABLE CLASSROOMS RENOVATIONS AND RELOCATION

PROJECT ADDRESS
1101 SOUTH POTOMAC ST.
HAGERSTOWN, MD 21740

PROJECT OWNER
WCPS

WCPS | Washington County Public Schools

PROJECT TEAM

ARCHITECT

NOELKER AND HULL ASSOCIATES, INC.
ARCHITECTS

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M/E/P ENGINEER
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FOOD SERVICE CONSULTANT

CIVIL ENGINEER
CIVIL ENGINEER NAME
CIVIL ADDRESS 1
CIVIL ADDRESS 2 | CIVIL CITY, ST | 00000-0000
P: 000.000.0000 | F: 000.000.0000
LANDSCAPE ARCHITECT

SHEET INFORMATION
KEY PLAN

REVISIONS		
REV. #:	DESCRIPTION:	DATE:
1	ADDENDUM #1	8-25-2021

PROJECT STATUS
CONSTRUCTION DOCUMENTS

JOB NUMBER: **21909**
ISSUE DATE: **04 AUGUST, 2021**
SCALE: **AS INDICATED**
SHEET TITLE:
NEW WORK PLANS, ELEVATIONS, AND DETAILS

SHEET NUMBER:
A100

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DIVISION 1 – GENERAL REQUIREMENTS

THE STRUCTURAL DRAWINGS INDICATE THE FINAL CONDITION/CONFIGURATION OF THE BUILDING STRUCTURE. MEANS AND METHODS USED BY THE CONTRACTOR TO ACHIEVE THE FINAL CONDITION/CONFIGURATION OF THE BUILDING STRUCTURE ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

STRUCTURAL DETAILS SHOW BASIC STRUCTURAL CONDITIONS. IT IS INTENDED THAT THESE DRAWINGS BE USED IN CONJUNCTION WITH THE CONTRACT DOCUMENTS FROM ALL DISCIPLINES. STRUCTURAL WORK MUST BE COORDINATED WITH THE DOCUMENTS OF THE OTHER DISCIPLINES CONTAINED IN THE CONTRACT SET.

SHOP DRAWINGS FOR ALL STRUCTURAL ELEMENTS SHOWN ON THE CONTRACT DOCUMENTS SHALL BE SUBMITTED BY THE CONTRACTOR.

WHEN THE STRUCTURAL CONTRACT DOCUMENTS HAVE BEEN REPRODUCED FOR SHOP DRAWING PREPARATION THE COMPANY WHICH PREPARED THE SHOP DRAWINGS SHALL ASSUME THE SOLE RESPONSIBILITY FOR ALL STRUCTURAL INFORMATION SHOWN ON THE SHOP DRAWINGS AS IF THEY WERE PREPARED BY THAT COMPANY. THE COMPANY PREPARING THESE SHOP DRAWINGS SHALL CHECK ALL DIMENSIONS, ELEVATIONS, AND OTHER STRUCTURAL INFORMATION IN THE REPRODUCED CONTRACT DOCUMENTS.

AT THE TIME OF SHOP DRAWING SUBMISSION THE CONTRACTOR SHALL STATE IN WRITING ANY DEVIATIONS OR OMISSIONS FROM THE CONTRACT DOCUMENTS.

THE CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS BEFORE SUBMISSION AND MAKE ALL CORRECTIONS DEEMED NECESSARY.

THE CONTRACTOR SHALL ALLOW A MINIMUM OF 10 WORKING DAYS FOR STRUCTURAL REVIEW OF SHOP DRAWINGS.

LOADS GREATER THAN THE DESIGN LIVE LOADS SHALL NOT BE PLACED ON THE STRUCTURE DURING OR AFTER CONSTRUCTION.

THE TERM DELEGATED DESIGN SHALL MEAN THAT THE SELECTED BUILDING COMPONENT IS DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER REGISTERED IN THE LOCAL JURISDICTION. DESIGN CALCULATIONS AND SHOP DRAWINGS FOR THE SELECTED BUILDING COMPONENTS SHALL BE SIGNED AND SEALED AND SUBMITTED FOR REVIEW. THE DELEGATED DESIGN ENGINEER SHALL SUBMIT A CERTIFICATE OF LIABILITY INSURANCE WITH THE SIGNED AND SEALED CALCULATIONS AND SHOP DRAWINGS.

ALL WORK SPECIFIED HEREIN SHALL BE INSPECTED IN ACCORDANCE WITH THE BUILDING CODE, ALL LOCAL ORDINANCES AND THE CONTRACT DOCUMENTS. ALL INSPECTION WORK MUST BE PERFORMED UNDER THE DIRECT SUPERVISION OF AN ENGINEER REGISTERED IN THE LOCAL JURISDICTION.

ADVANCED CONSULTING ENGINEERS, P.A., WILL NOT PERFORM THE REQUIRED INSPECTION AS PART OF THEIR DESIGN SERVICE. ADVANCED CONSULTING ENGINEERS, P.A., MAY VISIT THE SITE TO ASCERTAIN GENERAL CONFORMANCE TO THE CONTRACT DOCUMENTS BUT, SUCH VISITS ARE NOT BE CONSTRUED AS MEETING INSPECTION REQUIREMENTS.

ALL RAILINGS DESIGNED FOR LOADS INDICATED ON THE DRAWINGS AND IN THE LOCAL BUILDING CODE. SHOP DRAWINGS AND CALCULATIONS SHALL BE SIGNED AND STAMPED BY REGISTERED PROFESSIONAL ENGINEER REGISTERED IN THE LOCAL JURISDICTION.

STEEL STAIRS AND PRECAST STAIRS SHALL BE DESIGNED FOR LOADS INDICATED ON THE DRAWINGS AND IN THE LOCAL BUILDING CODE. SHOP DRAWINGS AND CALCULATIONS FOR STAIRS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW. THE SHOP DRAWINGS AND CALCULATIONS SHALL BE SIGNED AND STAMPED BY AN ENGINEER REGISTERED IN THE LOCAL JURISDICTION.

DESIGN CRITERIA:
BUILDING CODE: INTERNATIONAL BUILDING CODE (IBC) 2018
OCCUPANCY CATEGORY: II

SEISMIC:
 $k = 1.0$
SITE CLASS D
 $S_s = 0.122$
 $S_1 = 0.042$
 $S_{D1} = 0.130$
 $S_{D1} = 0.067$
SEISMIC DESIGN CATEGORY A

WIND:
 $V = 115$ MPH
EXPOSURE C
SNOW:
 $P_g = 40$ PSF
 $k_g = 1.0$
LIVE LOADS:
ROOF = 30 PSF (MINIMUM)
FLOOR = 40 PSF (CLASSROOM)
DEAD LOADS:
ROOF = 15 PSF TOTAL
FLOOR DEAD = 20 PSF TOTAL

DIVISION 2 – SITE WORK

SUPPORTS ARE DESIGNED FOR AN ASSUMED BEARING CAPACITY OF 2,000 PSF. SUPPORTS SHALL BEAR ON COMPACTED #57 STONE, 1'-0" BELOW ORIGINAL GRADE OR ON ENGINEERED CONTROLLED FILL AS SPECIFIED BY A GEOTECHNICAL ENGINEER. THE SOIL BEARING PRESSURE SHALL BE VERIFIED BY QUALIFIED INSPECTORS. IF BEARING CAPACITY IS FOUND TO BE LESS THAN THE CAPACITY ABOVE, THE SUPPORTS WILL HAVE TO BE REDESIGNED.

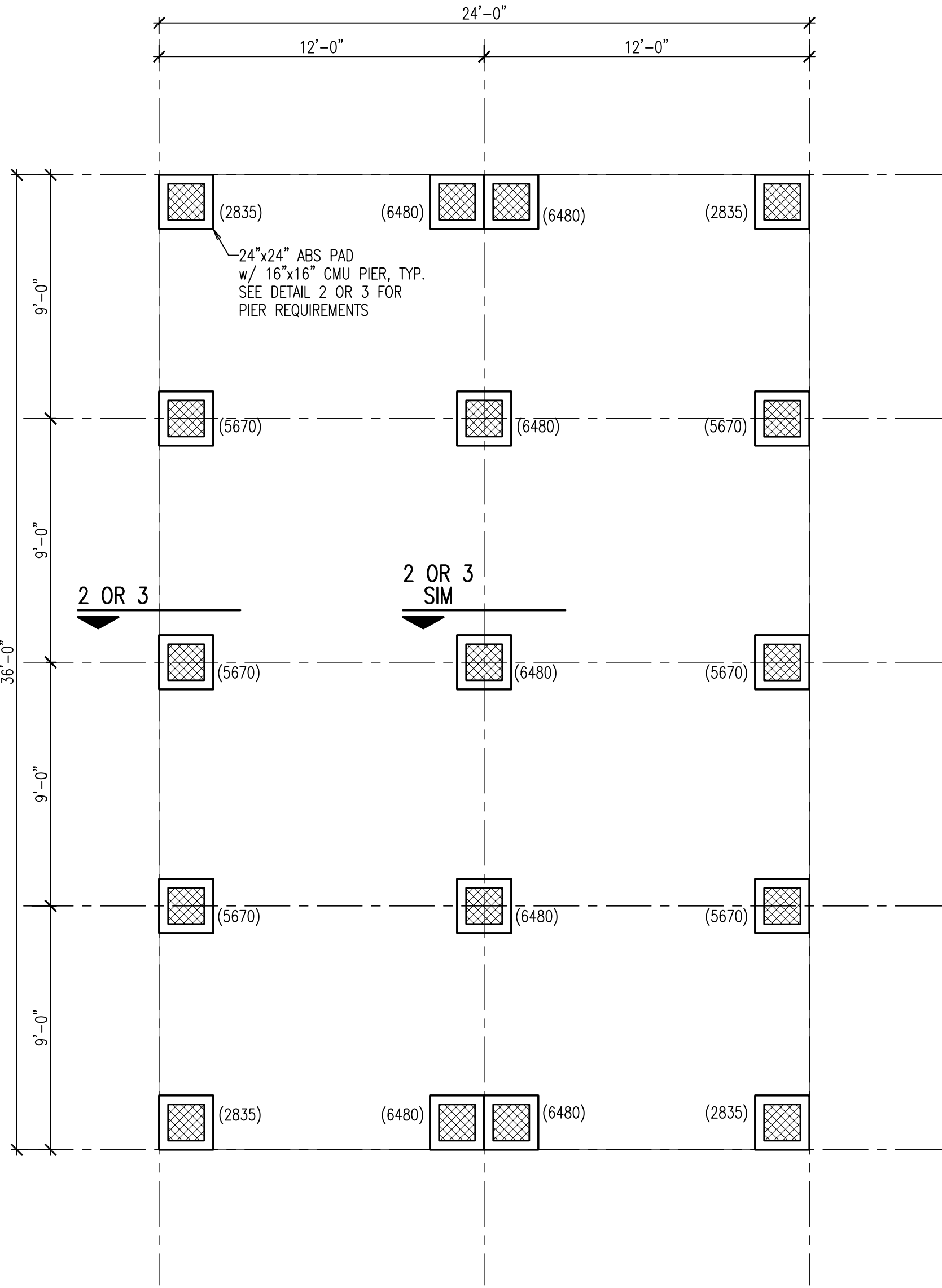
DIVISION 4 – MASONRY

ALL CONCRETE MASONRY SHALL CONFORM TO THE LATEST EDITION OF ASTM SPECIFICATIONS C90 AND C145. ALL MORTAR SHALL CONFORM TO ASTM C270 AND SHALL BE TYPE "S" MINIMUM. ALL BRICK AND MASONRY CONSTRUCTION SHALL BE PROVIDED WITH STANDARD GALVANIZED "DUR-O-WAL" OR EQUAL HORIZONTAL JOINT REINFORCING AT 16" O/C UNLESS HEAVIER REINFORCING IS NOTED ON THE DRAWINGS. CALCIUM CHLORIDE AND OTHER CHLORIDES MAY NOT BE USED AS ADMIXTURES. ALL MASONRY CONSTRUCTION MUST BE PROTECTED FROM FREEZING. THE REQUIREMENTS OF THE "SPECIFICATIONS FOR MASONRY STRUCTURES" (AQ. 530.1 – LATEST EDITION) SHALL BE FOLLOWED. GROUT SHALL CONFORM TO THE REQUIREMENTS OF ASTM C476 WITH A MINIMUM STRENGTH OF 2,500 PSI. PRIOR TO CONSTRUCTION A MIX DESIGN OF THE GROUT SHALL BE SUBMITTED WITH COMPRESSIVE STRENGTH TESTS PERFORMED IN ACCORDANCE WITH ASTM C1019.

THE MINIMUM REQUIRED COMPRESSIVE STRENGTH (F'M AT 28 DAYS) OF BRICK MASONRY CONSTRUCTION, CONCRETE MASONRY CONSTRUCTION, AND BRICK AND CONCRETE MASONRY CONSTRUCTION IS AS FOLLOWS:

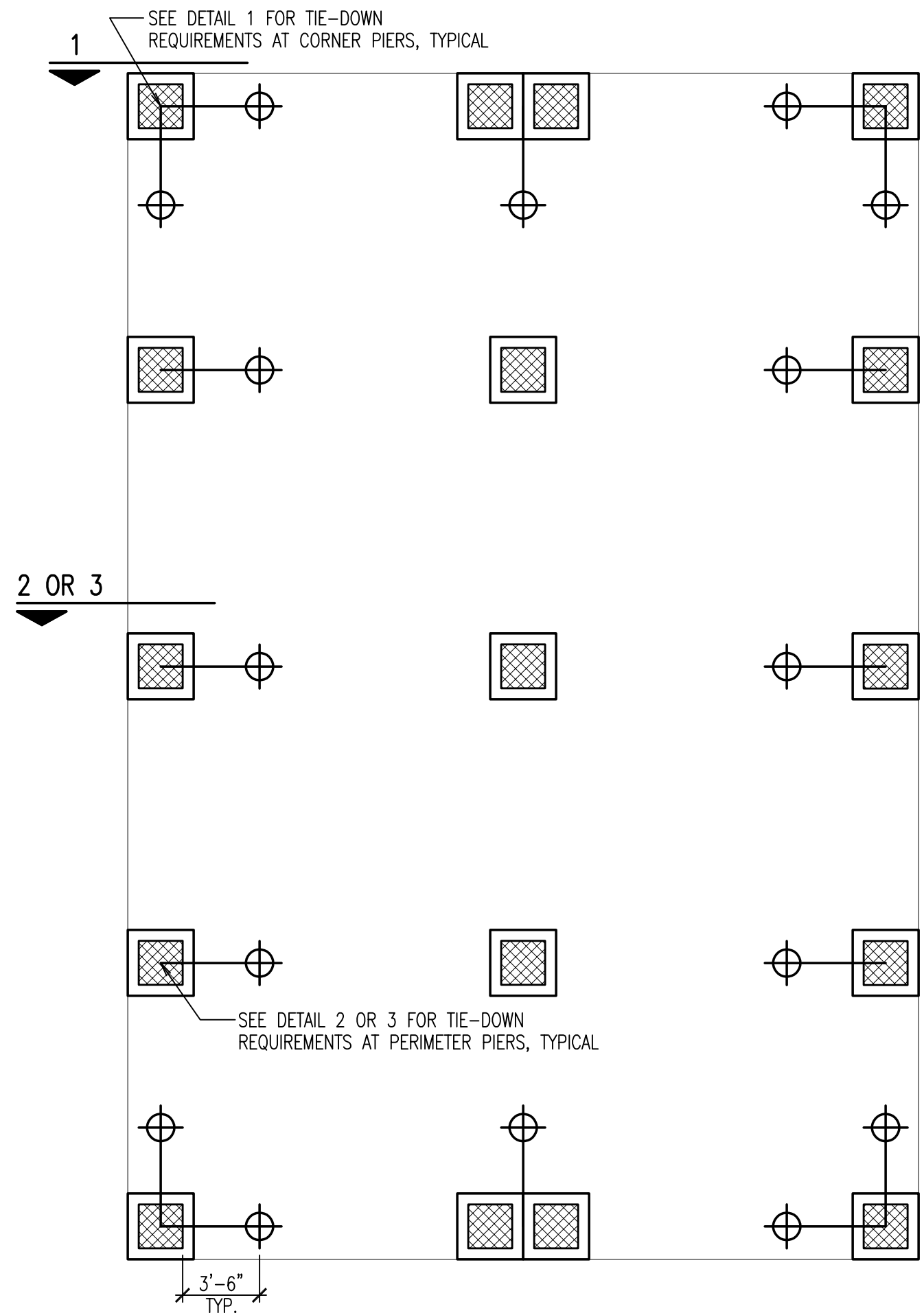
MIN. REQUIRED F'M AT 28 DAYS 2,000 PSI

ABBREVIATION & SYMBOLS LEGEND			
Ø	DIAMETER	LLH	LONG LEG HORIZONTAL
AHU	AIR HANDLING UNIT	LLV	LONG LEG VERTICAL
ARCH.	ARCHITECTURAL	LVL	LAMINATED VENEER LUMBER
BOTT	BOTTOM	L.W.	LIGHT WEIGHT (CONCRETE)
BP	BEARING PLATE, BASE PLATE	MAX.	MAXIMUM
CFS	COLD FORMED STEEL	MECH.	MECHANICAL
C.J.	CONTRACTION JOINT	MIN.	MINIMUM
CL	CENTERLINE	N.W.	NORMAL WEIGHT (CONCRETE)
CONC	CONCRETE	O.C.	ON CENTER
CONT.	CONTINUOUS	PCF	POUNDS PER CUBIC FOOT
CMU	CONCRETE MASONRY UNIT	PL	PLATE
DIA	DIAMETER	PLF	POUNDS PER LINEAL FOOT
DN	DOWN	PSF	POUNDS PER SQUARE FOOT
E.F.	EACH FACE	PSI	POUNDS PER SQUARE INCH
E.J.	EXPANSION JOINT	PWT	PRE-ENGINEERED WOOD TRUSS
EL.	ELEVATION	PMT	PRE-ENGINEERED METAL TRUSS
ELEV.	ELEVATION	REINF	REINFORCED, REINFORCEMENT
E.O.S.	EDGE OF SLAB	REQ'D	REQUIRED
EQ.	EQUAL	RTU	ROOF TOP UNIT
E.W.	EACH WAY	SCJ	SLAB CONTRACTION JOINT
EX.	EXISTING	SM	SMILAR
FT.	FOOT	S.O.G.	SLAB ON GRADE
FTG	FOOTING	T&G	TONGUE AND GROOVE
GA	GAGE	T.O.S.	TOP OF STEEL
GB	GRADE BEAM	TYP.	TYPICAL
HORIZ	HORIZONTAL	U.N.O.	UNLESS NOTED OTHERWISE
IN.	INCH	VERT	VERTICAL
KSF	KIPS PER SQUARE FOOT	V.I.F.	VERIFY IN FIELD
KSI	KIPS PER SQUARE INCH	w/	WITH
LGM	LIGHT GAGE METAL		
EL	ELEVATOR BY ELEVATOR CONTRACTOR		
ST	STAIR BY STAIR CONTRACTOR		
OP	OPEN TO BELOW		
SO	SLAB OPENING		



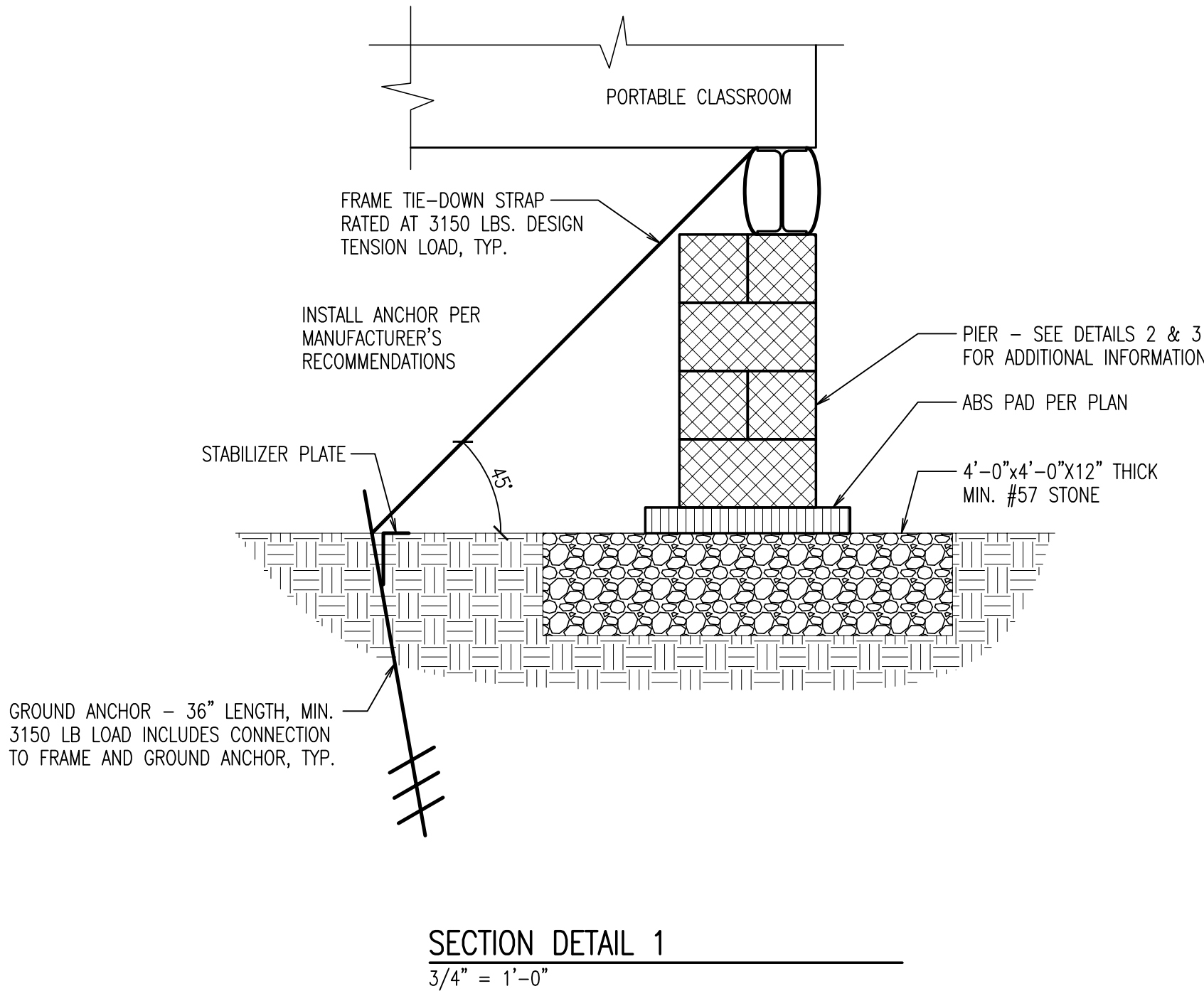
ABS FOUNDATION PLAN 1/4" = 1'-0"

- NOTES:
- (XXXX) INDICATES MAX. ASD PIER LOAD IN POUNDS DUE TO LIVE AND DEAD LOAD.
 - 2,000 PSF MINIMUM BEARING REQUIRED.
 - NOTIFY AGE-P.A. OF ANY DISCREPANCIES FROM PLANS.

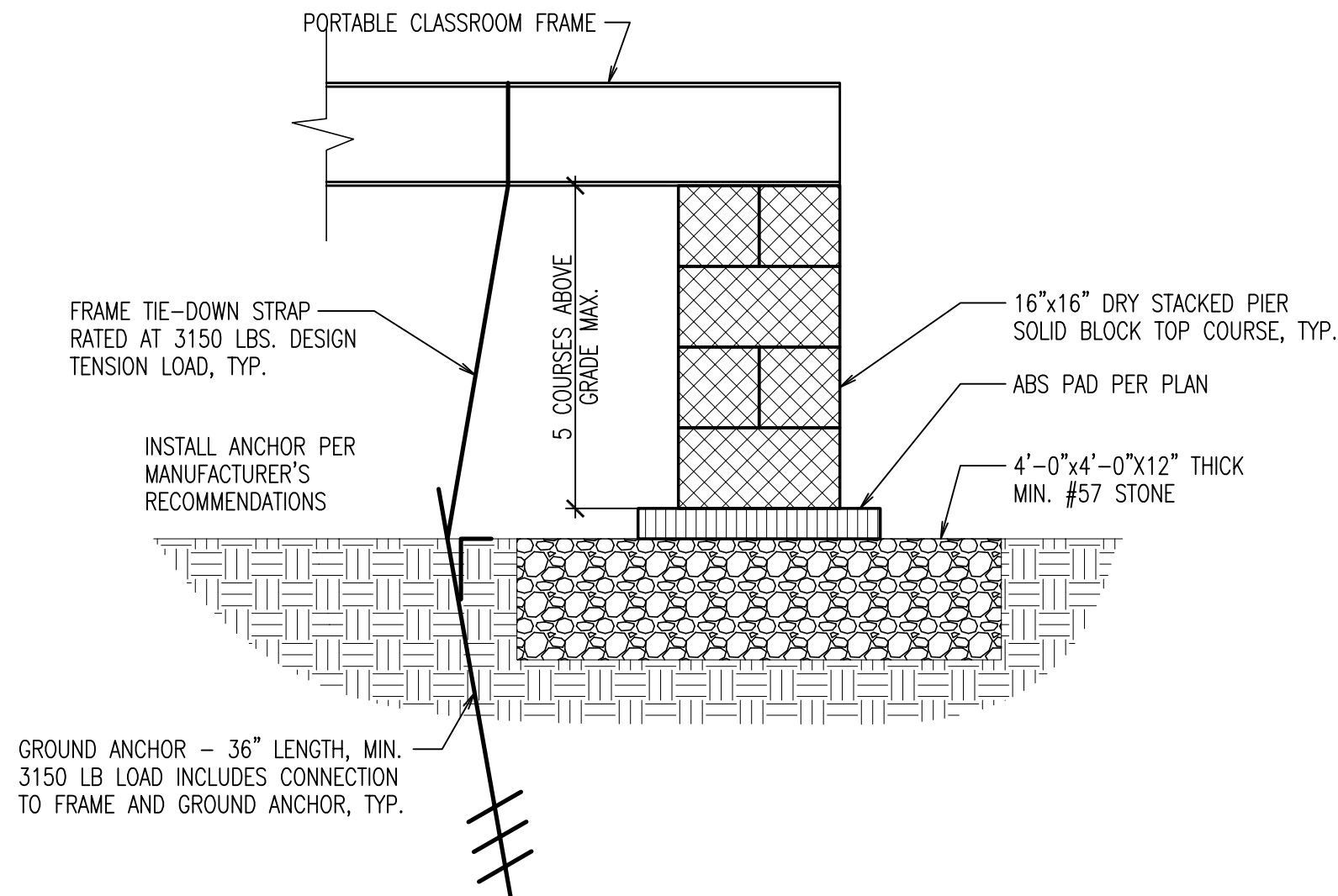


MINUTE MAN TIE-DOWN PLAN 1/4" = 1'-0"

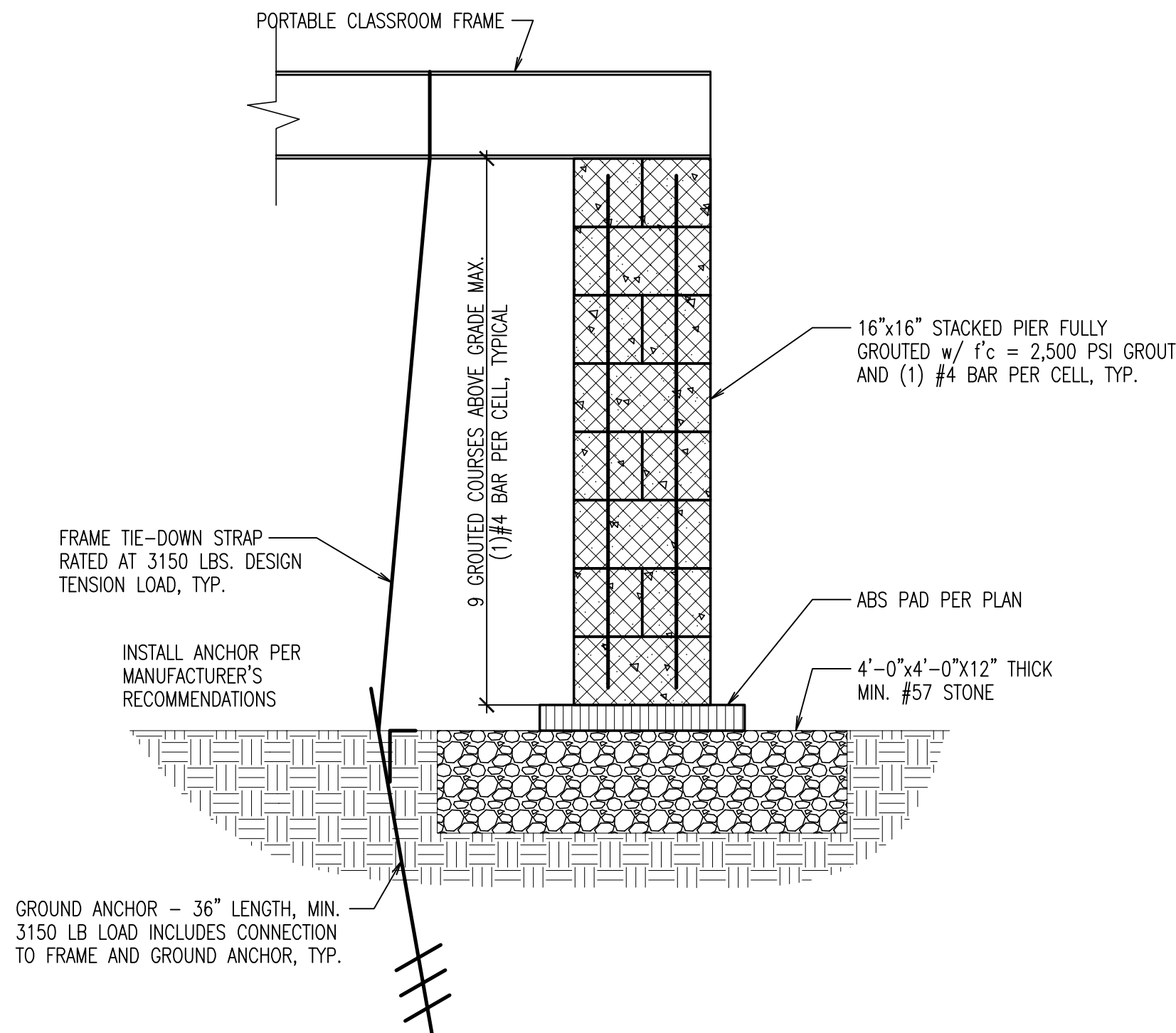
- NOTES:
- ➔ DENOTES MINUTE MAN TIE-DOWN ANCHOR LOCATION AND DIRECTION.
 - SEE DETAILS FOR ANCHOR AND STRAP REQUIREMENTS.
 - ANCHORS TO BE WITHIN 3'-6" OF THE PIERS.



SECTION DETAIL 1 3/4" = 1'-0"



SECTION DETAIL 2 3/4" = 1'-0"



SECTION DETAIL 3 3/4" = 1'-0"

PROJECT INFORMATION

PROJECT TITLE

PORTABLE CLASSROOMS RENOVATIONS AND RELOCATION

PROJECT ADDRESS

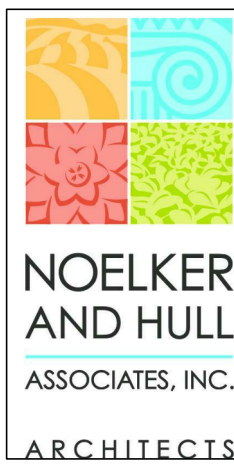
1101 SOUTH POTOMAC ST.
HAGERSTOWN, MD 21740

PROJECT OWNER

WCPS

PROJECT TEAM

ARCHITECT



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C.J. ENGINEERING

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| JOHNSTOWN, PA | 15902
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FOOD SERVICE CONSULTANT

CIVIL ENGINEER

CIVIL ENGINEER NAME

CIVIL ADDRESS 1
CIVIL ADDRESS 2 | CIVIL CITY, ST | 00000-0000
P: 000.000.0000 | F: 000.000.0000
LANDSCAPE ARCHITECT

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 49411, EXPIRATION DATE: 06/01/2022.



SHEET INFORMATION

KEY PLAN

REVISIONS		
REV. #:	DESCRIPTION:	DATE:

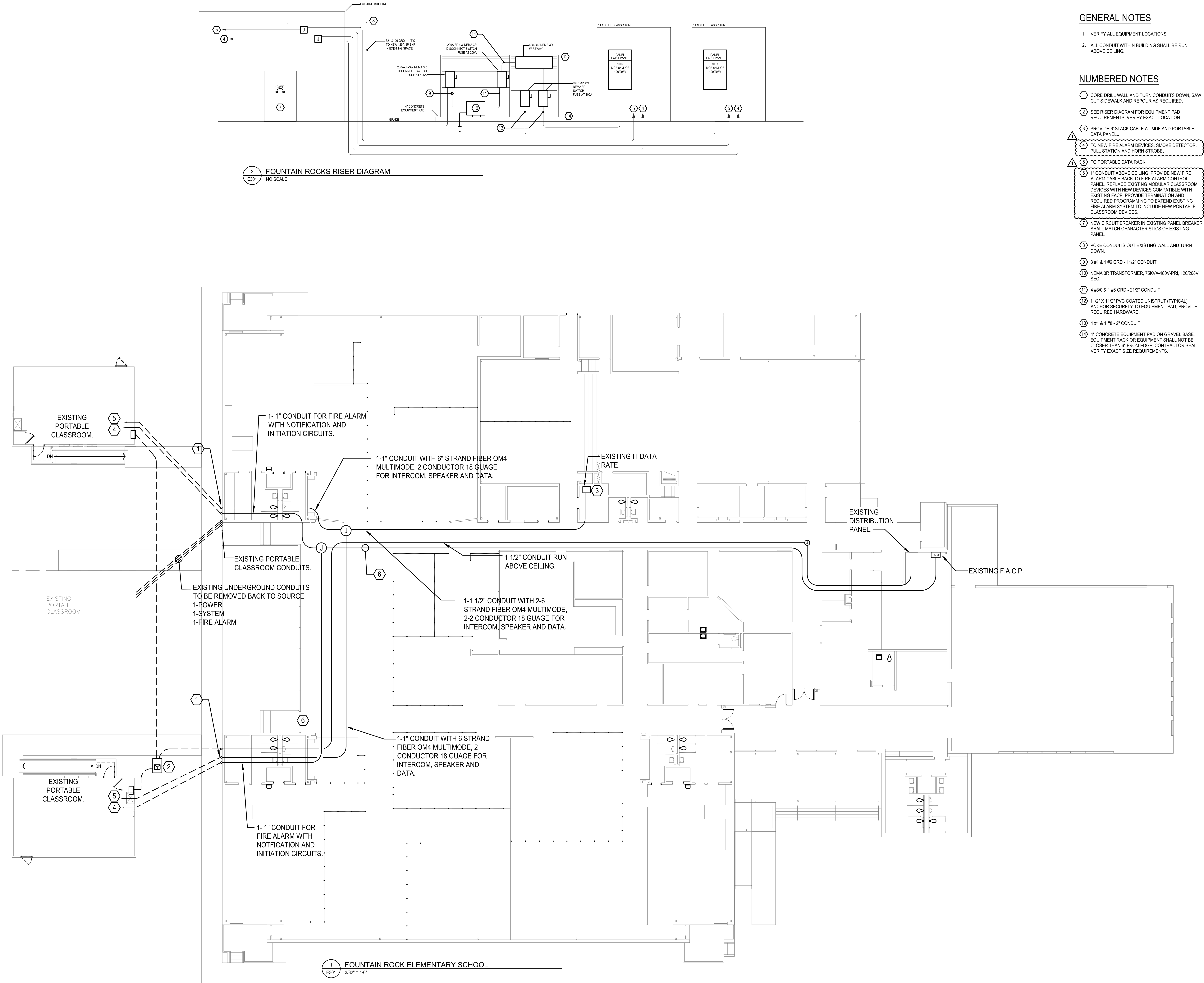
PROJECT STATUS

JOB NUMBER:	21909
ISSUE DATE:	31 AUGUST, 2021
SCALE:	AS INDICATED
SHEET TITLE:	

STRUCTURAL FOUNDATION PLAN , DETAILS, AND NOTES

SHEET NUMBER:

S100



2 FOUNTAIN ROCKS RISER DIAGRAM
NO SCALE

1 FOUNTAIN ROCK ELEMENTARY SCHOOL
3/32\"/>

GENERAL NOTES

1. VERIFY ALL EQUIPMENT LOCATIONS.
2. ALL CONDUIT WITHIN BUILDING SHALL BE RUN ABOVE CEILING.

NUMBERED NOTES

- 1 CORE DRILL WALL AND TURN CONDUITS DOWN, SAW CUT SIDEWALK AND REPAIR AS REQUIRED.
- 2 SEE RISER DIAGRAM FOR EQUIPMENT PAD REQUIREMENTS. VERIFY EXACT LOCATION.
- 3 PROVIDE 6' SLACK CABLE AT MDF AND PORTABLE DATA PANEL.
- 4 TO NEW FIRE ALARM DEVICES, SMOKE DETECTOR, PULL STATION AND HORN STROBE.
- 5 TO PORTABLE DATA RACK.
- 6 1\"/>
- 7 NEW CIRCUIT BREAKER IN EXISTING PANEL BREAKER SHALL MATCH CHARACTERISTICS OF EXISTING PANEL.
- 8 POKE CONDUITS OUT EXISTING WALL AND TURN DOWN.
- 9 3 #1 & 1 #6 GRD - 11/2\"/>
- 10 NEMA 3R TRANSFORMER, 75KVA-480V-FRL, 120/208V SEC.
- 11 4 #30 & 1 #6 GRD - 21/2\"/>
- 12 11/2\"/>
- 13 4 #1 & 1 #8 - 2\"/>
- 14 4\"/>

PROJECT TITLE

PORTABLE
CLASSROOMS
RENOVATIONS AND
RELOCATION

PROJECT ADDRESS

17145 LAPPANS RD,
HAGERSTOWN MD 21740

PROJECT OWNER

WCPS

WCPS | Washington County
Public Schools

ARCHITECT



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AND HULL
ASSOCIATES, INC.

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FOOD SERVICE ENGINEER NAME

CIVIL ENGINEER

CIVIL ENGINEER NAME

CIVIL ADDRESS 1

CIVIL ADDRESS 2 | CIVIL CITY, ST | 00000-0000
P: 000.000.0000 | F: 000.000.0000

LANDSCAPE ARCHITECT

LANDSCAPE ENGINEER NAME

Professional Certification. I
hereby certify that these
documents were prepared or
approved by me, and that I am
a duly licensed professional
engineer under the laws of the
State of Maryland.
License No: 45511
Expiration Date: 06/03/2022

KEY PLAN

REVISIONS

REV. #:	DESCRIPTION:	DATE:
1	ADDENDUM #2	08/30/2021

PROJECT STATUS

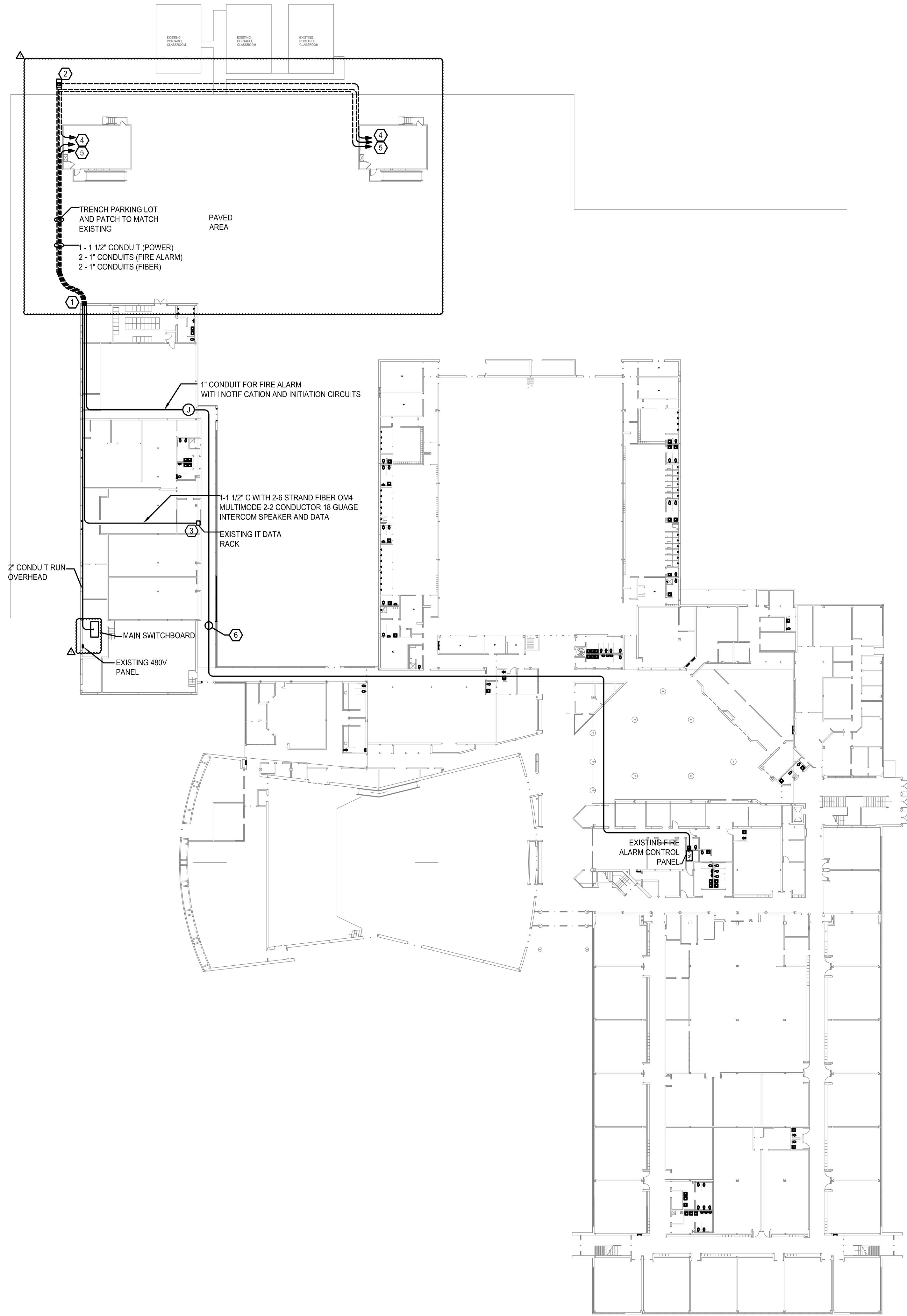
CONSTRUCTION DOCUMENTS

JOB NUMBER:	21-0089
ISSUE DATE:	4 AUGUST, 2021
SCALE:	AS INDICATED
SHEET TITLE:	

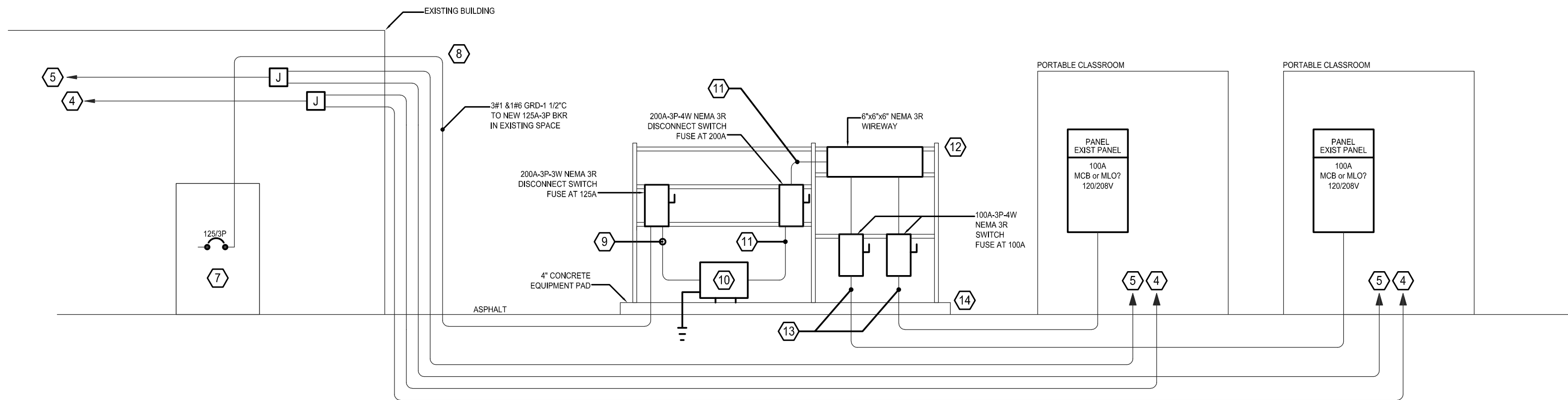
FOUNTAIN ROCKS ELEMENTARY
SCHOOL ELECTRICAL PLAN

SHEET NUMBER:

E301



1 NORTH HAGERSTOWN HIGH SCHOOL
E302 1/32\" = 1'-0"



2 NORTH HAGERSTOWN
E302 NOT TO SCALE

GENERAL NOTES

1. VERIFY ALL EQUIPMENT LOCATIONS.
2. ALL CONDUIT WITHIN BUILDING SHALL BE RUN ABOVE THE CEILING.

NUMBERED NOTES

- 1 CORE DRILL WALL AND TURN CONDUITS DOWN. PROVIDE 2 - 1\"/>
- 2 SEE POWER RISER DIAGRAM FOR EQUIPMENT PAD REQUIREMENTS-VERIFY EXACT LOCATION.
- 3 PROVIDE 6\"/>
- 4 TO NEW FIRE ALARM DEVICES, SMOKE DETECTOR, PULL STATION AND HORN STROBE.
- 5 TO PORTABLE DATA RACK.
- 6 1\"/>
- 7 NEW CIRCUIT BREAKER IN EXISTING PANEL BREAKER SHALL MATCH CHARACTERISTICS OF EXISTING PANEL.
- 8 POKE CONDUITS OUT EXISTING WALL AND TURN DOWN.
- 9 3 #1 & 1 #8 GRD-2\"/>
- 10 NEMA 3R TRANSFORMER, 75KVA-480V PRL 120/208V SEC.
- 11 4 #3/0 & 1 #6 GRD-2-1/2\"/>
- 12 1-1/2\" X 1-1/2\" PVC COATED UNISTRUT (TYPICAL), ANCHOR SECURELY TO EQUIPMENT PAD, PROVIDE REQUIRED HARDWARE.
- 13 4 #1 & 1 #8 GRD-2\"/>
- 14 4\" CONCRETE EQUIPMENT PAD O GRAVEL BASE EQUIPMENT RACK OR EQUIPMENT PAD SHALL NOT BE CLOSER THAN 6\" FROM EDGE. CONTRACTOR SHALL VERIFY EXACT SIZE REQUIREMENTS.

PROJECT TITLE
PORTABLE CLASSROOMS RENOVATIONS AND RELOCATION

PROJECT ADDRESS
**1200 PENNSYLVANIA AVE.
HAGERSTOWN MD, 21742**

PROJECT OWNER
WCPS

WCPS | Washington County Public Schools

ARCHITECT



NOELKER AND HULL
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FOOD SERVICE CONSULTANT

FOOD SERVICE ENGINEER NAME

CIVIL ENGINEER

CIVIL ENGINEER NAME

CIVIL ADDRESS 1

CIVIL ADDRESS 2 | CIVIL CITY, ST | 00000-0000

P: 000.000.0000 | F: 000.000.0000

LANDSCAPE ARCHITECT

LANDSCAPE ENGINEER NAME

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No: 45511
Expiration Date: 05/03/2022

KEY PLAN

REVISIONS

REV. #:	DESCRIPTION:	DATE:
1	ADDENDUM #2	08/30/2021

PROJECT STATUS

CONSTRUCTION DOCUMENTS

JOB NUMBER:	21-0089
ISSUE DATE:	4 AUGUST, 2021
SCALE:	AS INDICATED
SHEET TITLE:	

NORTH HAGERSTOWN HIGH SCHOOL ELECTRICAL PLAN

SHEET NUMBER:

E302

PROJECT TITLE

PORTABLE CLASSROOMS RENOVATIONS AND RELOCATION

PROJECT ADDRESS

301 E MAGNOLIA, AVE.
HAGERSTOWN MD. 21742

PROJECT OWNER

WCPS

WCPS | Washington County Public Schools

ARCHITECT



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AND HULL
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FOOD SERVICE CONSULTANT

FOOD SERVICE ENGINEER NAME

CIVIL ENGINEER

CIVIL ENGINEER NAME

CIVIL ADDRESS 1

CIVIL ADDRESS 2 | CIVIL CITY, ST | 00000-0000

P: 000.000.0000 | F: 000.000.0000

LANDSCAPE ARCHITECT

LANDSCAPE ENGINEER NAME

Professional Certification. I

hereby certify that these

documents were prepared or

approved by me, and that I am

a duly licensed professional

engineer under the laws of the

State of Maryland.

License No: 45511

Expiration Date: 06/03/2022

KEY PLAN

REVISIONS

REV. #	DESCRIPTION	DATE
1	ADDENDUM #2	08/30/2021

PROJECT STATUS

CONSTRUCTION DOCUMENTS

JOB NUMBER:	21-0089
ISSUE DATE:	4 AUGUST, 2021
SCALE:	AS INDICATED
SHEET TITLE:	

POTOMAC HEIGHTS ELEMENTARY
SCHOOL SITE PLAN

SHEET NUMBER:

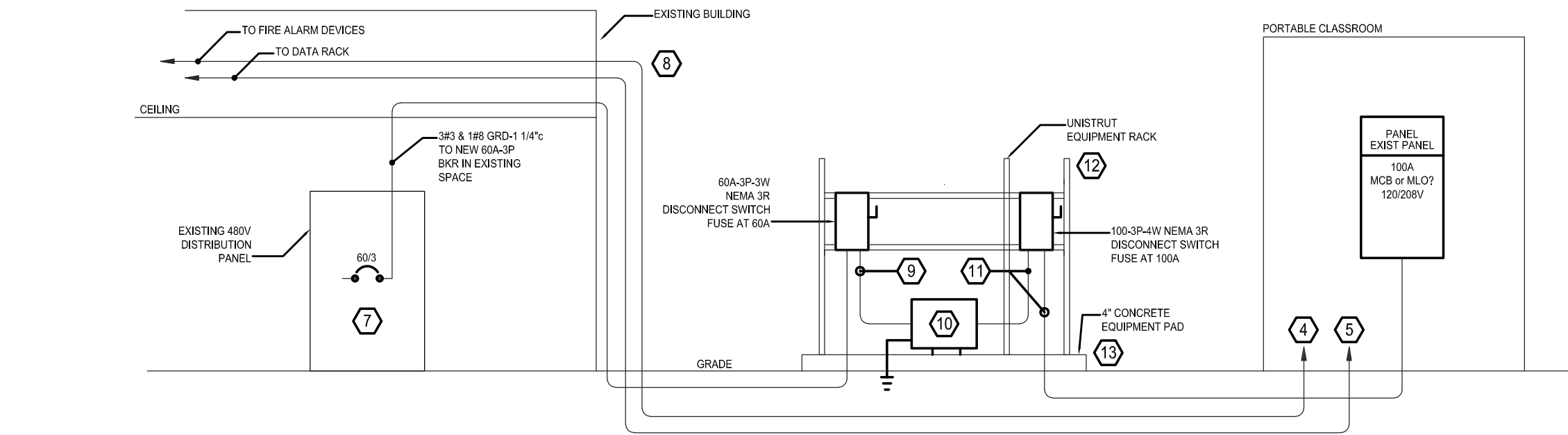
E303

GENERAL NOTES

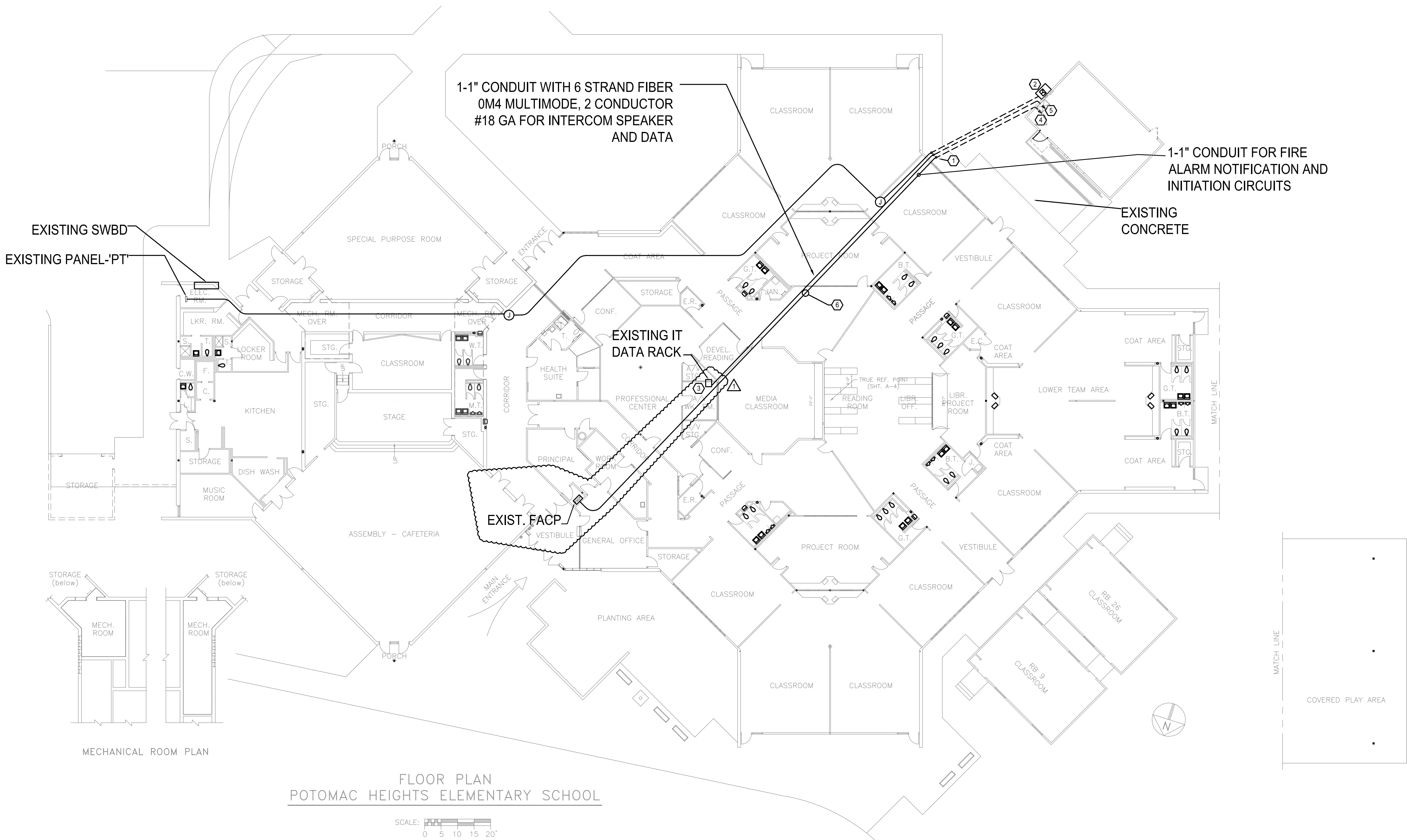
1. VERIFY ALL EQUIPMENT LOCATIONS.
2. ALL CONDUIT WITHIN BUILDING SHALL BE RUN ABOVE THE CEILING.

NUMBERED NOTES

- 1 CORE DRILL WALL AND TURN CONDUITS DOWN, SAW CUT SIDEWALK AND REPAIR AS REQUIRED.
- 2 SEE POWER RISER DIAGRAM FOR EQUIPMENT PAD REQUIREMENTS - VERIFY EXACT LOCATION.
- 3 PROVIDE 6' SLACK CABLE AT DATA RACK AND AT PORTABLE DATA PANEL.
- 4 TO NEW FIRE ALARM DEVICES, SMOKE DETECTOR, PULL STATION AND HORN STROBE.
- 5 TO PORTABLE DATA RACK.
- 6 PROVIDE NEW FIRE ALARM CABLING BACK TO EXISTING FIRE ALARM CONTROL PANEL. REPLACE EXISTING MODULAR CLASSROOM DEVICES WITH NEW DEVICES COMPATIBLE WITH EXISTING FACP. PROVIDE TERMINATION AND REQUIRED PROGRAMMING TO EXTEND EXISTING FIRE ALARM SYSTEM TO INCLUDE NEW PORTABLE CLASSROOM DEVICES.
- 7 NEW CIRCUIT BREAKER IN EXISTING DISTRIBUTION PANEL BREAKER SHALL MATCH CHARACTERISTICS OF EXISTING PANEL.
- 8 POKE CONDUITS OUT EXISTING WALL AND TURN DOWN.
- 9 3 #3 & 1 #8 GRD - 1 1/4" CONDUIT.
- 10 NEMA 3R TRANSFORMER, 37.5 KVA-480V PRI, 120/208V SEC.
- 11 4 #1 & 1 #8 GRD-2" CONDUIT
- 12 1 1/2" X 1 1/2" PVC COATED UNISTRUT (TYPICAL) ANCHOR SECURELY TO EQUIPMENT PAD PROVIDE REQUIRED HARDWARE.
- 13 4" CONCRETE EQUIPMENT PAD ON GRAVEL BASE. EQUIPMENT RACK OR EQUIPMENT SHALL NOT BE CLOSER THAN 6" FROM EDGE. CONTRACTOR SHALL VERIFY EXACT SIZE REQUIREMENTS.



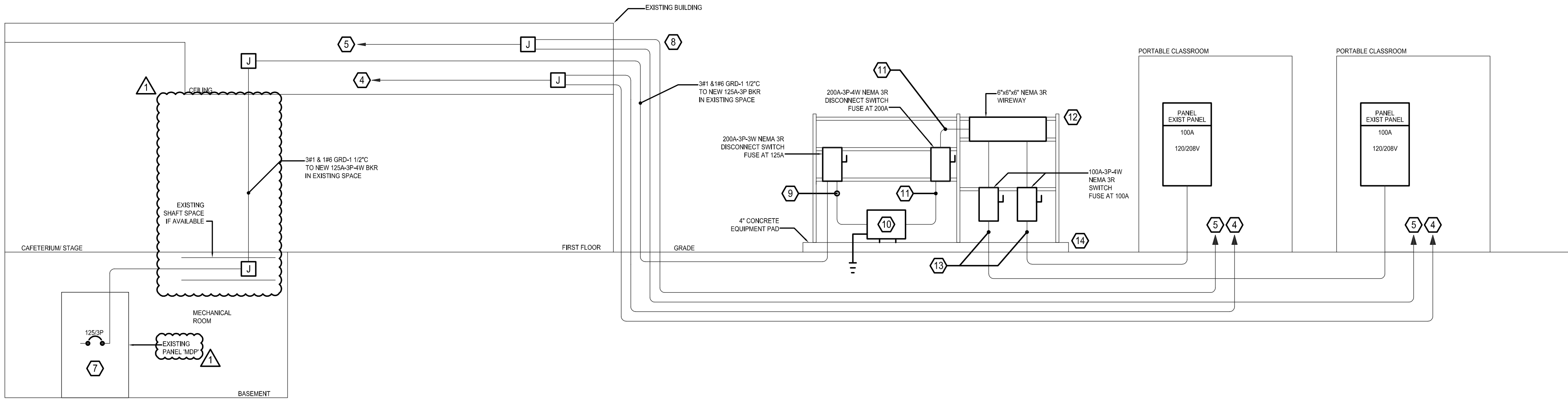
2 POTOMAC HEIGHTS - RISER DIAGRAM
NOT TO SCALE



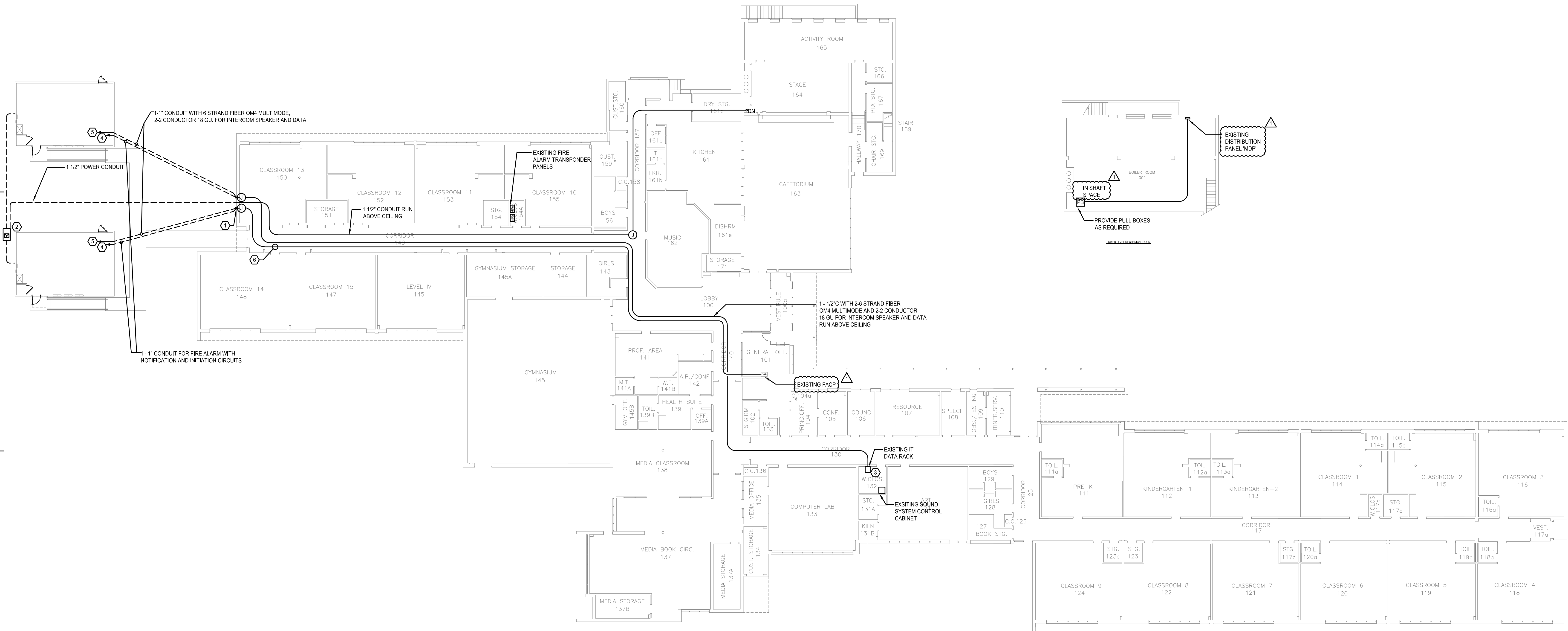
FLOOR PLAN
POTOMAC HEIGHTS ELEMENTARY SCHOOL

SCALE: 1/16" = 1'-0"

1 POTOMAC HEIGHTS ELEMENTARY SCHOOL
1/16" = 1'-0"



2 SMITHSBURG RISER DIAGRAM
E304 NOT TO SCALE



1 SMITHSBURG ELEMENTARY SCHOOL
E304 1/16" = 1'-0"

GENERAL NOTES

1. VERIFY ALL EQUIPMENT LOCATIONS.
2. ALL CONDUIT WITHIN BUILDING SHALL BE RUN ABOVE THE CEILING.

NUMBERED NOTES

- 1 CORE DRILL WALL AND TURN CONDUITS DOWN. PROVIDE 2 - 1" FIRE ALARM CONDUITS ONE TO EACH PORTABLE AND 2 - 1" DATA/COMMUNICATIONS CONDUITS ONE TO EACH PORTABLE AND 1-POWER CONDUIT.
- 2 SEE POWER RISER DIAGRAM FOR EQUIPMENT PAD REQUIREMENTS-VERIFY EXACT LOCATION.
- 3 PROVIDE 6" SLACK CABLE AT MDF AND AT PORTABLE DATA PANEL.
- 4 TO NEW FIRE ALARM DEVICES, SMOKE DETECTOR, PULL STATION AND HORN STROBE.
- 5 TO PORTABLE DATA RACK.
- 6 1" CONDUIT ABOVE CEILING. PROVIDE NEW FIRE ALARM CABLE BACK TO FIRE ALARM CONTROL PANEL. REPLACE EXISTING MODULAR CLASSROOM DEVICES WITH NEW DEVICES COMPATIBLE WITH EXISTING FACP. PROVIDE TERMINATION AND REQUIRED PROGRAMMING TO EXTEND EXISTING FIRE ALARM SYSTEM TO INCLUDE NEW PORTABLE CLASSROOM DEVICES.
- 7 NEW CIRCUIT BREAKER IN EXISTING PANEL BREAKER SHALL MATCH CHARACTERISTICS OF EXISTING PANEL.
- 8 POKE CONDUITS OUT EXISTING WALL AND TURN DOWN.
- 9 3 #1 & 1 #6 GRD - 1-1/2" CONDUIT
- 10 NEMA 3R TRANSFORMER, 75KVA-480V-PRI, 120/208V SEC.
- 11 4 #30 & 1 #6 GRD - 2-1/2" CONDUIT
- 12 11/2" X 11/2" PVC COATED UNISTRUT (TYPICAL) ANCHOR SECURELY TO EQUIPMENT PAD. PROVIDE REQUIRED HARDWARE.
- 13 4 #1 & 1 #6 - 2" CONDUIT.
- 14 4" CONCRETE EQUIPMENT PAD ON GRAVEL BASE. EQUIPMENT RACK OR EQUIPMENT SHALL NOT BE CLOSER THAN 6" FROM EDGE. CONTRACTOR SHALL VERIFY EXACT SIZE REQUIREMENTS.

PROJECT TITLE

PORTABLE
CLASSROOMS
RENOVATIONS AND
RELOCATION

PROJECT ADDRESS

67 N. MAIN ST.
SMITHSBURG MD, 21783

PROJECT OWNER

WCPS

WCPS | Washington County
Public Schools

ARCHITECT



NOELKER
AND HULL
ASSOCIATES, INC.

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ADVANCED CONSULTING ENGINEERS, P.A.

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FOOD SERVICE CONSULTANT

FOOD SERVICE ENGINEER NAME

CIVIL ENGINEER

CIVIL ENGINEER NAME

CIVIL ADDRESS 1
CIVIL ADDRESS 2 | CIVIL CITY, ST | 00000-0000
P: 000.000.0000 | F: 000.000.0000

LANDSCAPE ARCHITECT

LANDSCAPE ENGINEER NAME

Professional Certification. I
hereby certify that these
documents were prepared or
approved by me, and that I am
a duly licensed professional
engineer under the laws of the
State of Maryland.
License No: 45511
Expiration Date: 06/03/2022

KEY PLAN

REVISIONS

REV. #:	DESCRIPTION:	DATE:
1	ADDENDUM #2	08/30/2021

PROJECT STATUS

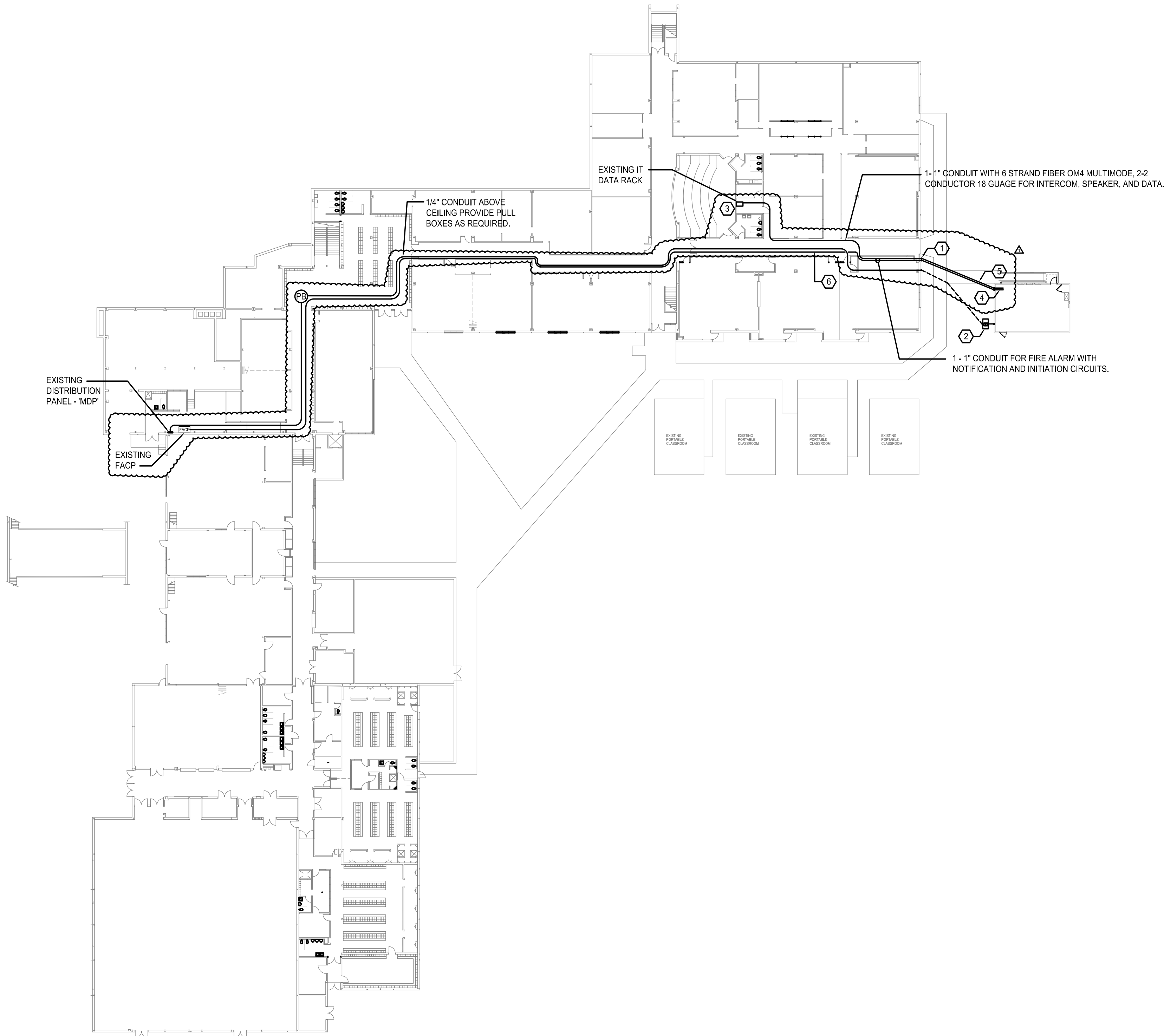
CONSTRUCTION DOCUMENTS

JOB NUMBER:	21-0089
ISSUE DATE:	4 AUGUST, 2021
SCALE:	AS INDICATED
SHEET TITLE:	

SMITHSBURG HIGH SCHOOL
ELECTRICAL PLAN

SHEET NUMBER:

E304



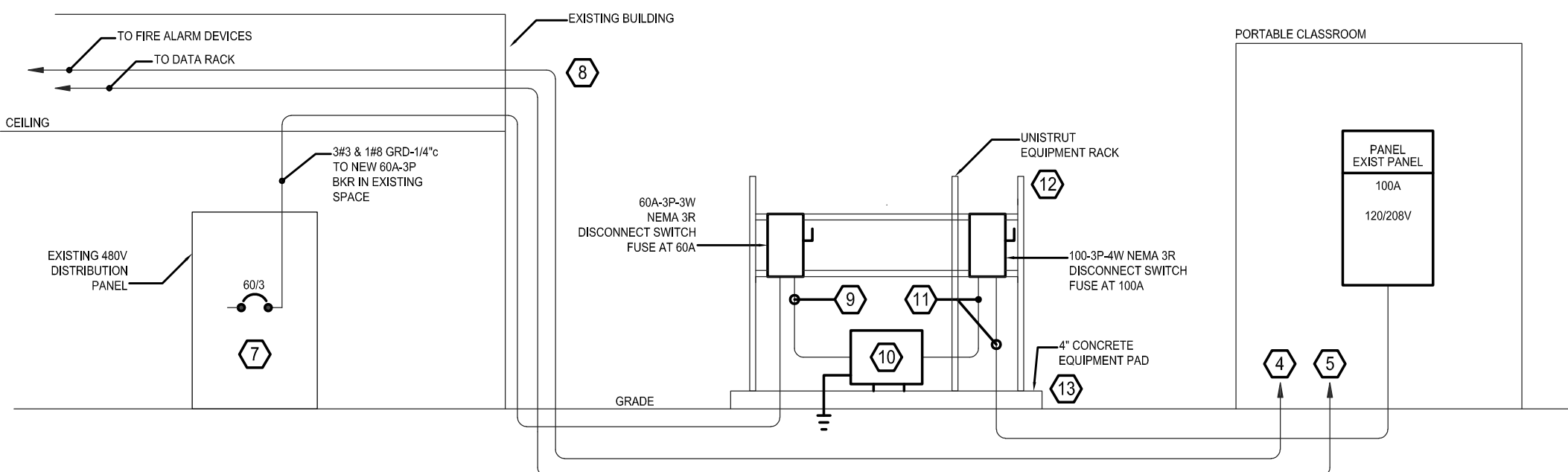
1 WILLIAMSPORT HIGH SCHOOL
1/32" = 1'-0"

GENERAL NOTES

1. VERIFY ALL EQUIPMENT LOCATIONS.
2. ALL CONDUIT WITHIN BUILDING SHALL BE RUN ABOVE THE CEILING.

NUMBERED NOTES

1. CORE DRILL WALL AND TURN CONDUITS DOWN, SAW CUT SIDEWALK AND REPAIR AS REQUIRED.
2. SEE POWER RISER DIAGRAM FOR EQUIPMENT PAD REQUIREMENTS - VERIFY EXACT LOCATION.
3. PROVIDE 6' SLACK CABLE AT DATA RACK AND AT PORTABLE DATA PANEL.
4. TO NEW FIRE ALARM DEVICES, SMOKE DETECTOR, PULL STATION AND HORN STROBE.
5. TO PORTABLE DATA RACK.
6. 1" CONDUIT ABOVE CEILING. PROVIDE NEW FIRE ALARM CABLE BACK TO FIRE ALARM CONTROL PANEL. REPLACE EXISTING MODULAR CLASSROOM DEVICES WITH NEW DEVICES COMPATIBLE WITH EXISTING FACP. PROVIDE TERMINATION AND REQUIRED PROGRAMMING TO EXTEND EXISTING FIRE ALARM SYSTEM TO INCLUDE NEW PORTABLE CLASSROOM DEVICES.
7. NEW CIRCUIT BREAKER IN EXISTING DISTRIBUTION PANEL. BREAKER SHALL MATCH CHARACTERISTICS OF EXISTING PANEL.
8. POKE CONDUITS, CUT EXISTING WALL AND TURN DOWN.
9. 3 #3 & 1 #8 GRD - 1 1/4" CONDUIT.
10. NEMA 3R TRANSFORMER, 37.5 KVA - 480V PRI, 20/200V SEC.
11. 4 #1 & 1 #8 GRD - 2" CONDUIT.
12. 1 1/2" X 1 1/2" PVC COATED UNISTRUT (TYPICAL) ANCHOR SECURLY TO EQUIPMENT PAD PROVIDE REQUIRED HARDWARE.
13. 4" CONCRETE EQUIPMENT PAD ON GRAVEL BASE. EQUIPMENT RACK OR EQUIPMENT SHALL NOT BE CLOSER THAN 6" FROM EDGE. CONTRACTOR SHALL VERIFY EXACT SIZE REQUIREMENTS.



2 WILLIAMSPORT RISER
NOT TO SCALE

PROJECT TITLE

PORTABLE
CLASSROOMS
RENOVATIONS AND
RELOCATION

PROJECT ADDRESS

5 S CLIFTON DR.
WILLIAMSPORT, MD 21795

PROJECT OWNER

WCPS

WCPS | Washington County
Public Schools

ARCHITECT



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FOOD SERVICE CONSULTANT

FOOD SERVICE ENGINEER NAME

CIVIL ENGINEER

CIVIL ENGINEER NAME

CIVIL ADDRESS 1
CIVIL ADDRESS 2 | CIVIL CITY, ST | 00000-0000
P: 000.000.0000 | F: 000.000.0000

LANDSCAPE ARCHITECT

LANDSCAPE ENGINEER NAME

Professional Certification. I
hereby certify that these
documents were prepared or
approved by me, and that I am
a duly licensed professional
engineer under the laws of the
State of Maryland.
License No: 45511
Expiration Date: 06/03/2022

KEY PLAN

REVISIONS

REV. #:	DESCRIPTION:	DATE:
1	ADDENDUM #2	08/30/2021

PROJECT STATUS

CONSTRUCTION DOCUMENTS

JOB NUMBER:	21-0089
ISSUE DATE:	4 AUGUST, 2021
SCALE:	AS INDICATED
SHEET TITLE:	

WILLIAMSPORT HIGH SCHOOL
ELECTRICAL PLAN

SHEET NUMBER:

E305