



Marquee Alteration & Façade Lighting
828 - 850 MADISON AVENUE

The Westbury
(aka 15-17 East 69th Street)
New York, New York 10021

January 15, 2019

**BEYER
BLINDER
BELLE**

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ZONING MAP - (ZONING DISTRICT: C5-1)



TAX MAP - (LOT: 7502)



SANBORN MAP: 2016 - (BLOCK: 1384)

828 - 850 MADISON AVENUE - SITE MAPS



EXISTING MARQUEE ON MADISON AVENUE (ELEVATION)
 (FRONT SECTION OF ACRYLIC SKIRT AND SUPPORTING ELEMENTS ARE SEVERELY DAMAGED OR MISSING)



EXISTING MARQUEE ON MADISON AVE (LOOKING NORTH)



EXISTING MARQUEE ON MADISON AVE (LOOKING SOUTH)



EXISTING MARQUEE ELEVATION ON 69TH STREET
 (NO PROPOSED CHANGES)



EXISTING MARQUEE ON 69TH STREET (LOOKING WEST)
 (NO PROPOSED CHANGES)



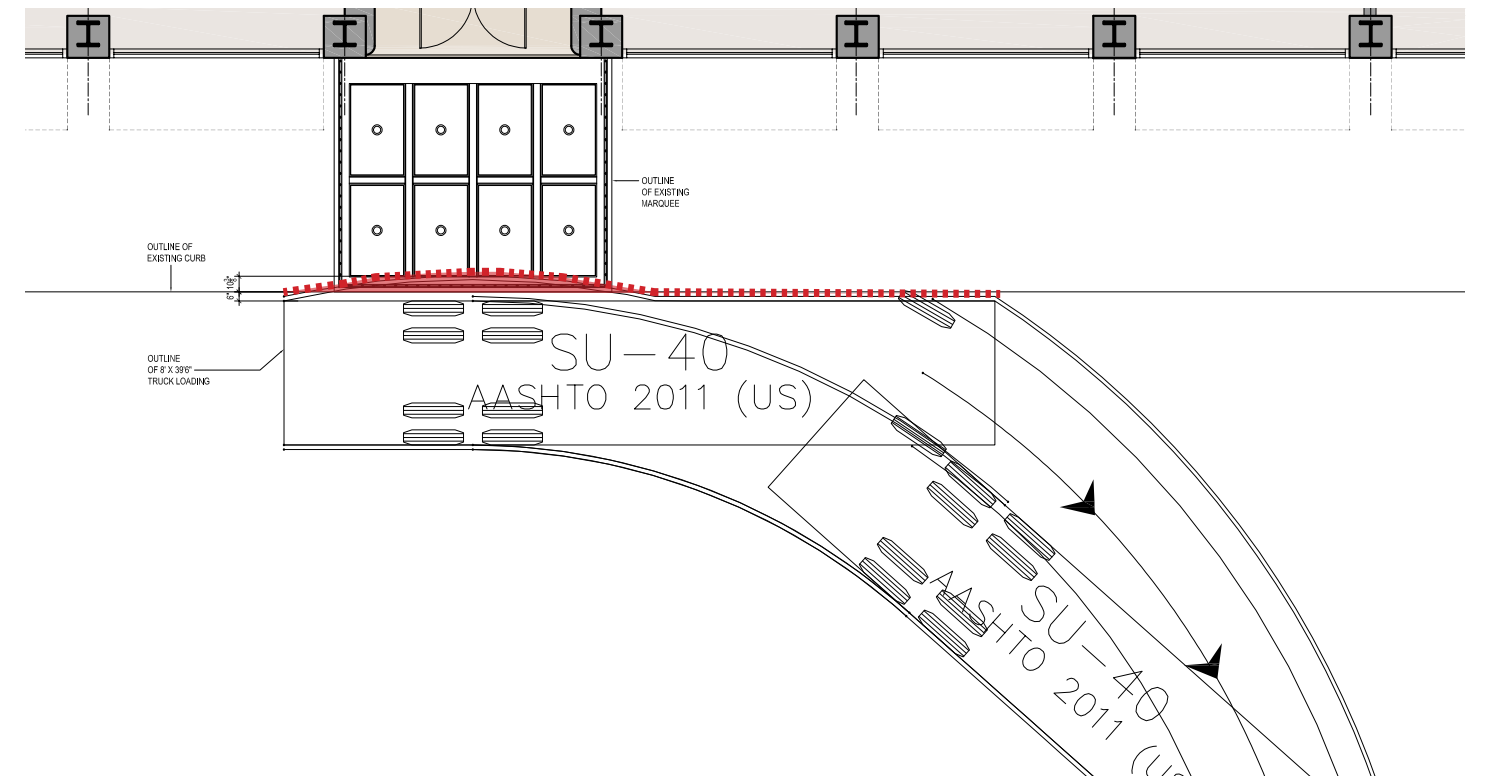
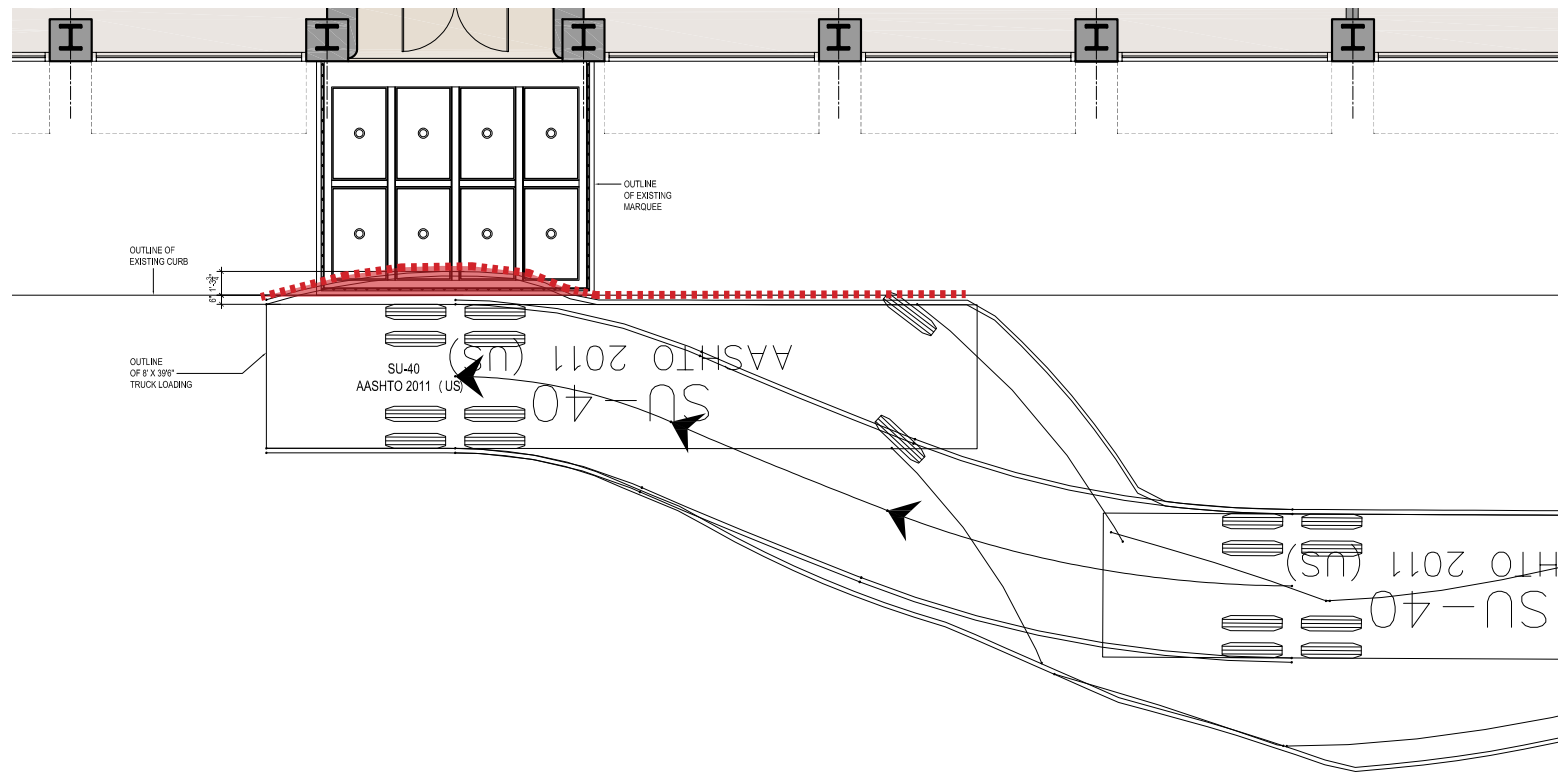
EXISTING MARQUEE ON 69TH STREET (LOOKING EAST)
 (NO PROPOSED CHANGES)

MARQUEE - CURRENT CONDITIONS



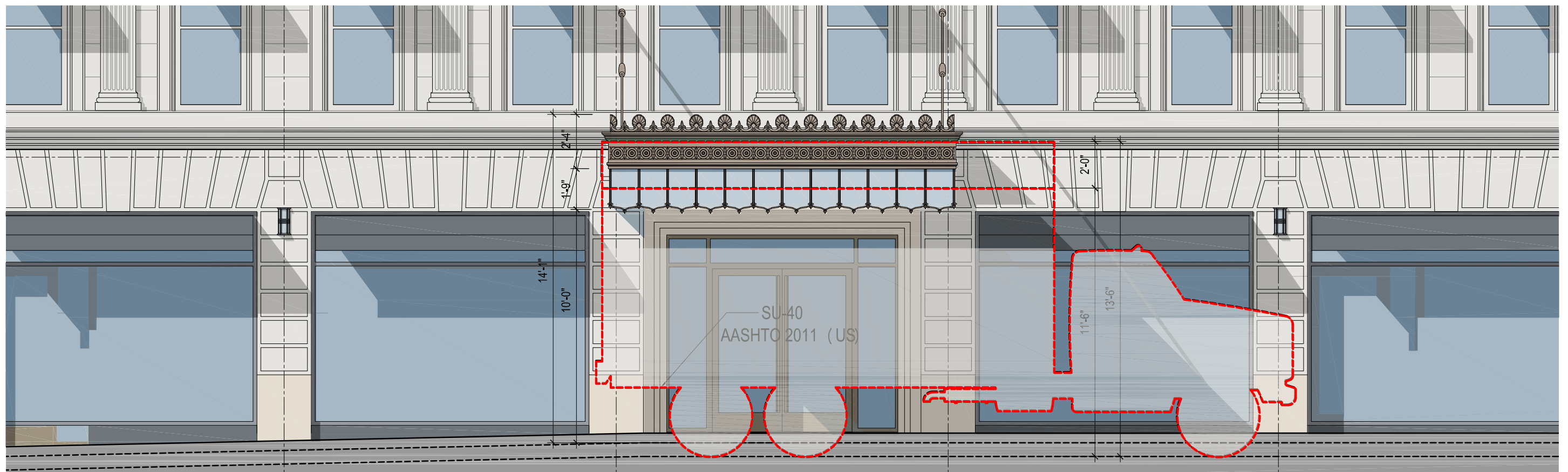
DETERIORATED CONIDITIONS (CURRENT -): FRONT SECTION OF ACRYLIC SKIRT AND SUPPORTING ELEMENTS ARE SEVERELY DAMAGED OR MISSING.

MARQUEE - CURRENT CONDITIONS



MARQUEE LOADING SCENARIO (BACK IN) - EXISTING

MARQUEE LOADING SCENARIO (FORWARD) - EXISTING



MADISON AVENUE ELEVATION - TRUCK VS. EXISTING MARQUEE

EXISTING MARQUEE - TRUCK (SU-40) LOADING SCENARIOS & ELEVATION

828 - 850 Madison Avenue Marquee Alteration

feet above the ground or sidewalk level, may be constructed to project not more than twenty-two inches beyond the street line. When permitted by the provisions of subchapter six of this chapter, fire escapes that are part of a required exit may be constructed to project not more than four feet six inches beyond the street line provided no part, including any movable ladder or stair, is lower than ten feet above the ground or sidewalk level when not in use.

(4) **MARQUEES.** - Marquees may be erected on public buildings, theaters, hotels, terminals, large department stores, supermarkets, multi-family dwellings, and similar buildings of an essentially public nature, or upon a warehouse or market in an established market area as designated by reference standard RS 4-3, so as to project beyond the street line, but not nearer than two feet to the curb line, provided that no parts of such marquees are less than ten feet above the ground or sidewalk level. Marquees must not be more than two feet to curb lines hereafter established or changed. When measured from top to bottom, marquees shall not be thicker nor shall the fascia be higher than three feet. This dimension shall include all decorations, but shall exclude any tension supports suspending the marquee from the wall. Marquees shall be supported entirely from the building and be constructed of noncombustible materials, except that the roof or any part of the roof may contain skylights complying with the requirements of subdivision (d) of section 27-338 of article four of subchapter five of this chapter. Marquee roofs shall be drained in accordance with the provisions of subchapter sixteen of this chapter. When the occupancy or use of a building with a marquee projecting beyond the street line is changed to occupancy or use for which a marquee is not permitted by this section the marquee shall be removed.

(5) **LIGHT FIXTURES.** - Light fixtures that are supported entirely from the building may be constructed to project not more than two feet beyond the street line, provided no part of the fixture is less than eight feet above the ground or sidewalk level.

(6) **FLAGPOLES.** - Flagpoles that are supported entirely from the building may be constructed to project not more than eighteen feet beyond the street line, but not closer than two feet to the curb line, provided that no part of the flagpole is less than fifteen feet above the ground or sidewalk level.

(7) **WALL SIGNS.** - Wall signs may be constructed to project not more than twelve inches beyond the street line when conforming to the requirements of subchapter seven of this chapter.

(8) **PROJECTING SIGNS.** - Projecting signs may be constructed to project not more than ten feet beyond the street line, but not closer than two feet to the curb line, when conforming to the requirements of subchapter seven of this chapter, and provided that no part of the

sign is less than ten feet above the ground or sidewalk level.

(b) **Awnings.** - Awnings supported entirely from the building may be constructed to project beyond the street line as follows:

(1) **STORE FRONT AWNINGS.** - Store front awnings may be constructed to project beyond the street line not more than eight feet, provided no part of the awning is less than eight feet above the ground or sidewalk level, except for a flexible valance, which may be not less than seven feet above the ground or sidewalk level, and provided that the awning box or cover does not project more than twelve inches.

(2) **AWNINGS.** - Awnings over windows or doors may be constructed to project beyond the street line not more than five feet, provided that no part of the awning is less than eight feet above the ground or sidewalk level.

(3) **CONSTRUCTION.** - Awnings shall be constructed of a noncombustible frame covered with flameproofed canvas or cloth, slow-burning plastic, sheet metal, or other equivalent material.

(c) **Storm enclosures.** - Storm enclosures projecting not more than eighteen inches beyond the street line may be permitted during the period between November fifteenth and the following April fifteenth. Such enclosures shall be removed at the end of this period. Construction shall follow the requirements of section 27-336 of subchapter five of this chapter.

(d) **Bridges between buildings.** - Bridges connecting buildings, and projecting beyond street lines, may be constructed subject to the approval of the board of estimate and the department of highways. Such bridges shall be of a construction class that is at least equal to the higher class of the two buildings connected, and shall otherwise comply with the provisions of this code and other applicable laws and regulations.

(e) **Sidewalk cafes.** - (1) Enclosures for sidewalk cafes, where permitted by the commissioner of consumer affairs, may be provided beyond the building line, within a street, provided such enclosures are constructed of incombustible material or slow-burning plastic or other material which will not support combustion, and provided the sides of such enclosures do not extend more than eight feet above the sidewalk.

(2) Awnings supported entirely from the building may be placed over sidewalk cafes provided they are at least eight feet clear above the sidewalk and provided they are within the limits specified by the commissioner of consumer affairs. Such awnings shall be supported on metal frames and constructed of canvas treated to render it fire-resistive or other material, which will not support combustion.

(3) No part of any awning, enclosure, fixture or equipment of a sidewalk cafe shall be located beneath a fire-escape so as to obstruct operation of fire-escape

(4) **MARQUEES.** - Marquees may be erected on public buildings, theaters, hotels, terminals, large department stores, supermarkets, multi-family dwellings, and similar buildings of an essentially public nature, or upon a warehouse or market in an established market area as designated by reference standard RS 4-3, so as to project beyond the street line, but not nearer than two feet to the curb line, provided that no parts of such marquees are less than ten feet above the ground or sidewalk level. Marquees must not be more than two feet to curb lines hereafter established or changed. When measured from top to bottom, marquees shall not be thicker nor shall the fascia be higher than three feet. This dimension shall include all decorations, but shall exclude any tension supports suspending the marquee from the wall. Marquees shall be supported entirely from the building and be constructed of noncombustible materials, except that the roof or any part of the roof may contain skylights complying with the requirements of subdivision (d) of section 27-338 of article four of subchapter five of this chapter. Marquee roofs shall be drained in accordance with the provisions of subchapter sixteen of this chapter. When the occupancy or use of a building with a marquee projecting beyond the street line is changed to occupancy or use for which a marquee is not permitted by this section the marquee shall be removed.



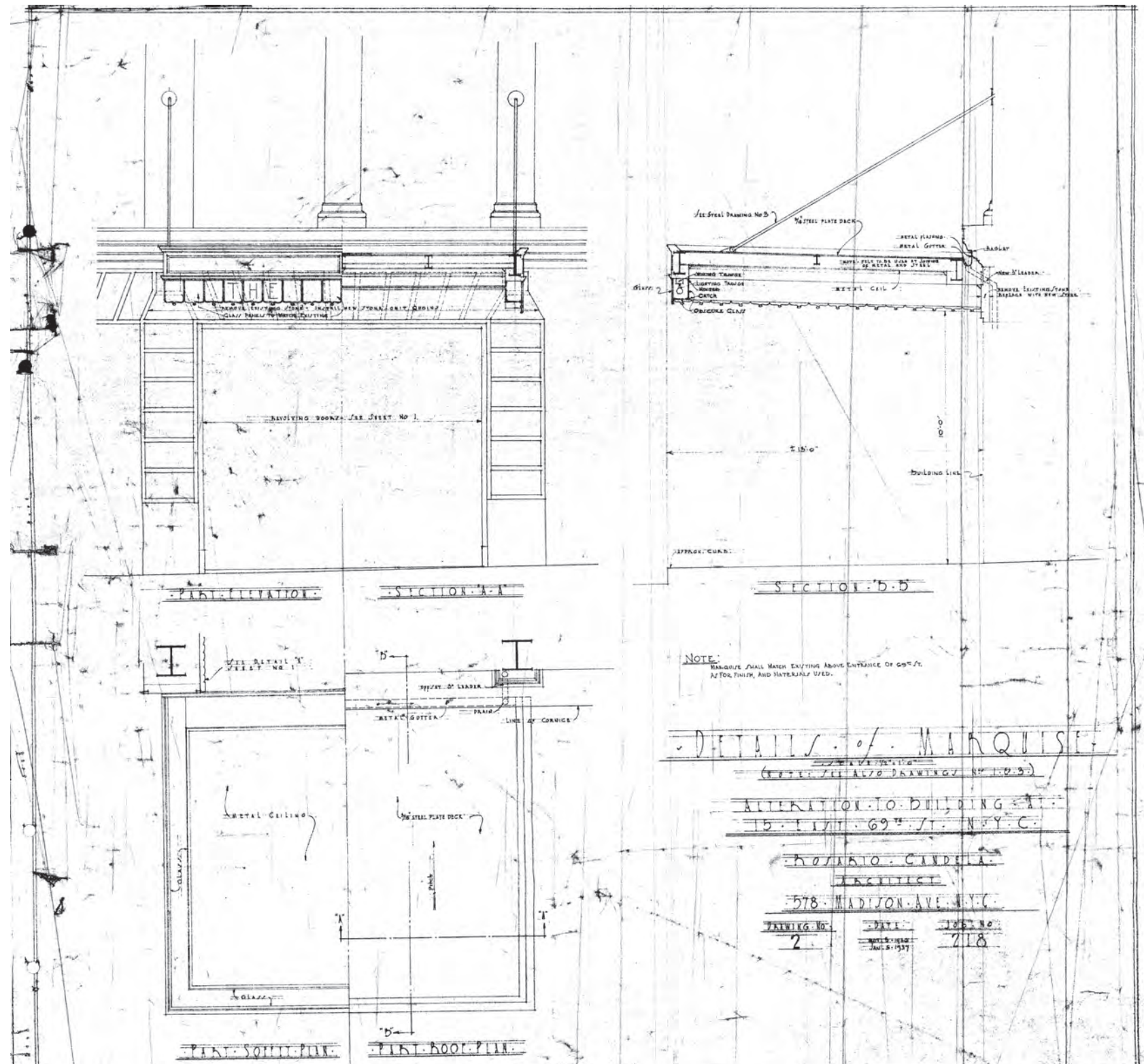
1925 - MADISON AVENUE ELEVATION
(NO MARQUEE IS SHOWN)

1925 ELEVATION - MADISON AVENUE



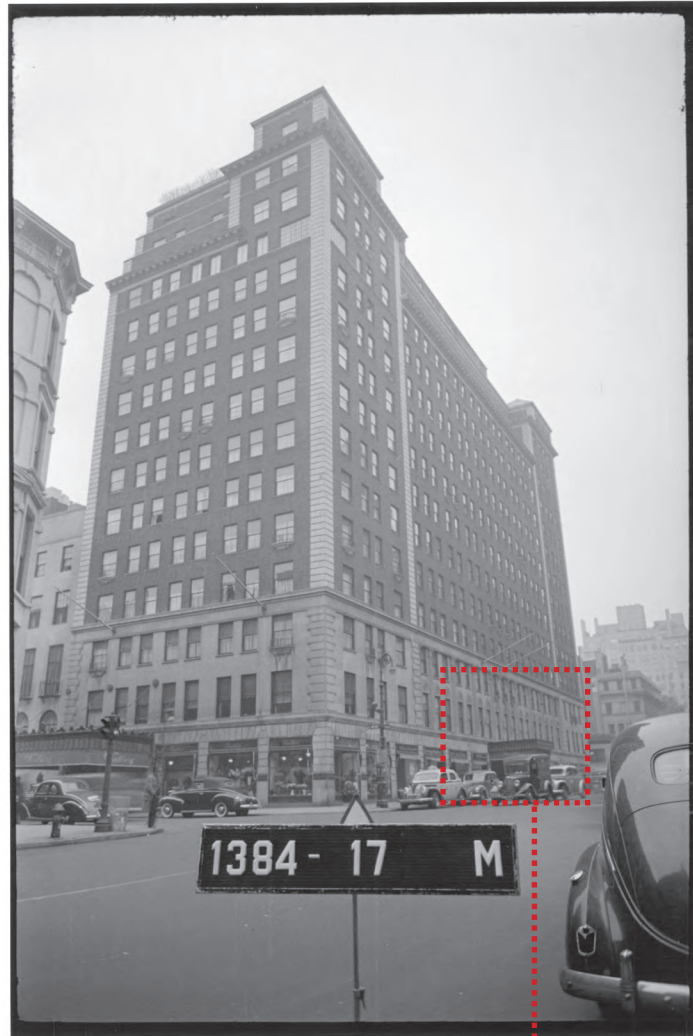
1926 - WESBURY HOTEL - RENDERING
(NO MARQUEE IS SHOWN)

1926 RENDERING - WESTBURY HOTEL

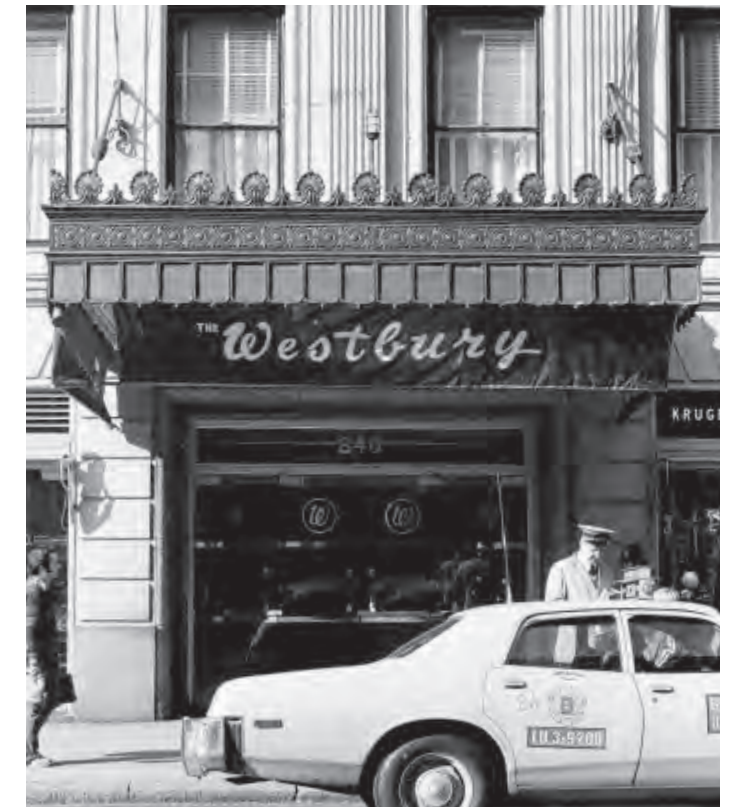


1937 - DETAIL DRAWINGS
(MARQUEE IS SHOWN WITHOUT METAL DETAILS ON TOP)

MARQUEE - 1937 DETAIL DRAWINGS



1940 - NYC TAX PHOTO PHOTOS
 SHOWS NO METAL DETAILS ON TOP OF ACRYLIC SKIRT (NOT RECESSED) WITH FABRIC BELOW



1971 - SCENE FROM THE FRENCH CONNECTION FILM
 SHOWS METAL DETAILS ON TOP AND ACRYLIC SKIRT NOT RECESSED WITH FABRIC BELOW

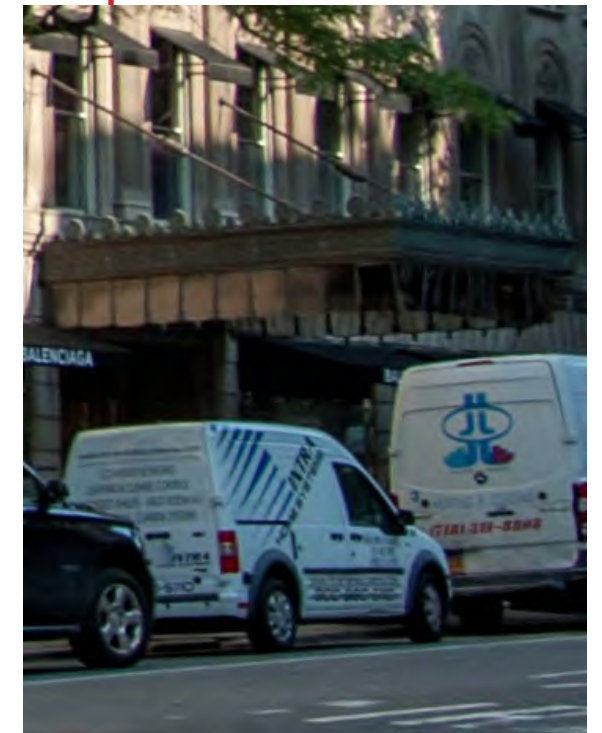
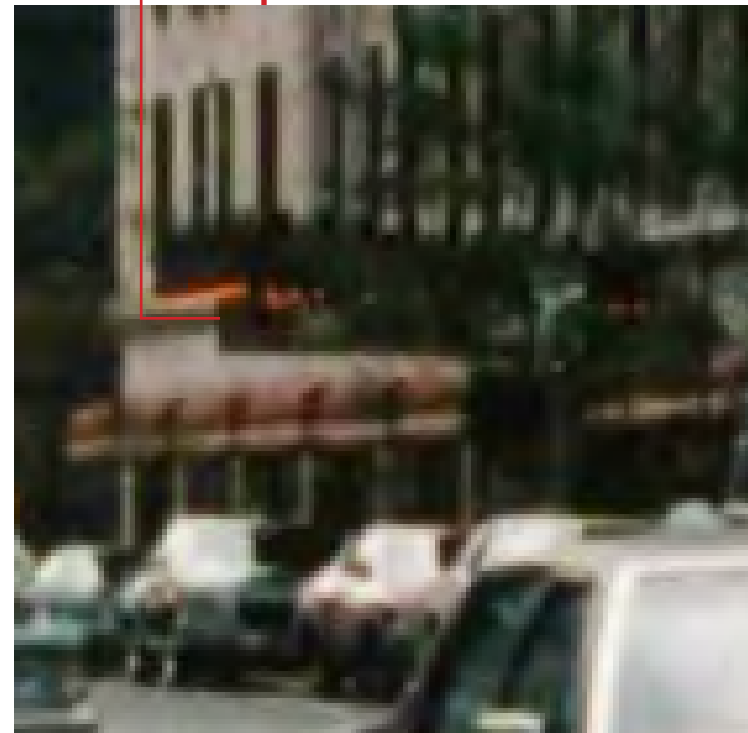
MARQUEE - NYC TAX (1940) & 1971 FILM PHOTOS

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January 15, 2018



SKIRT
RECESSED



DESIGNATION PHOTO (NYC LPC) - C1981

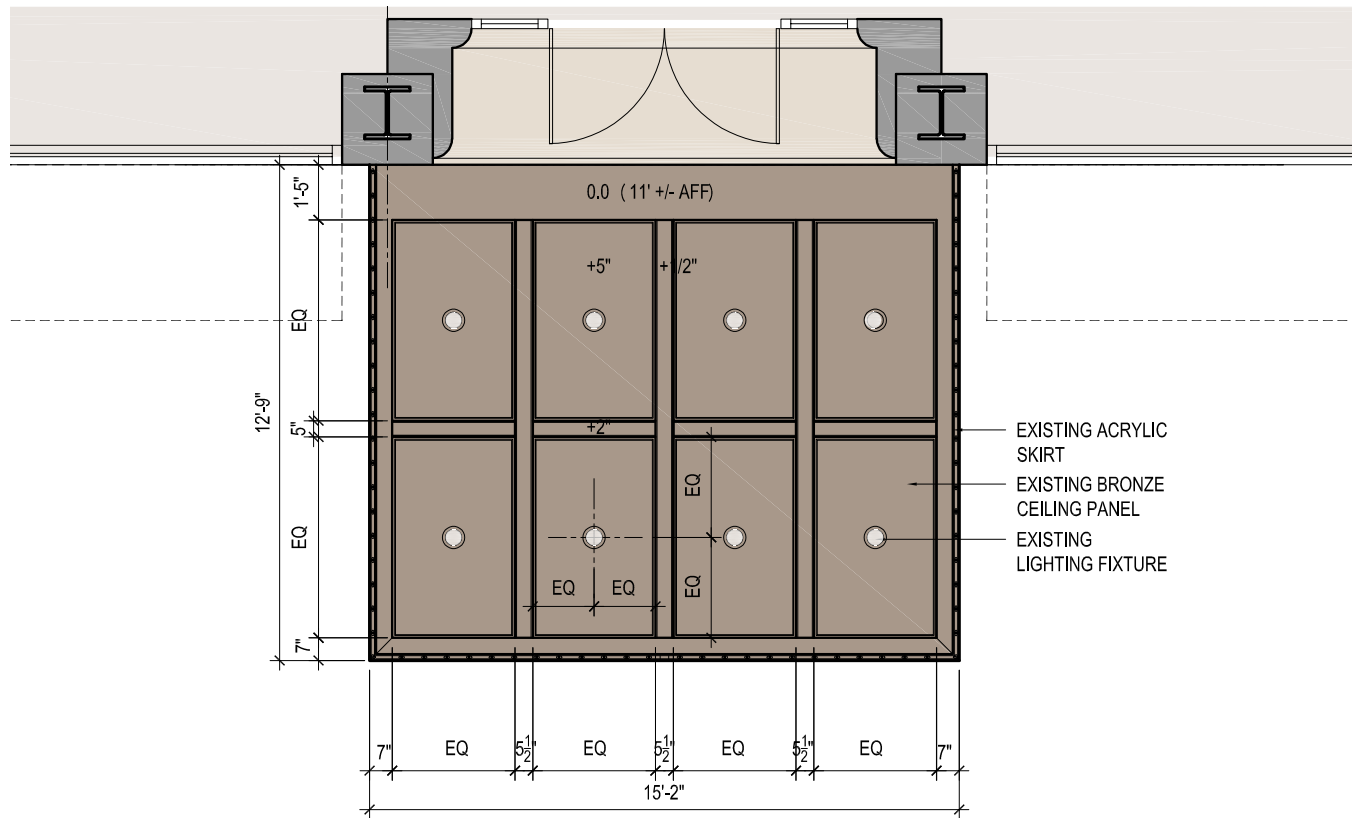
SHOWS METAL DETAILS ON TOP WITH RECESSED MARQUEE ACRYLIC SKIRT (NO FABRIC BELOW)

CURRENT PHOTO (2017-)

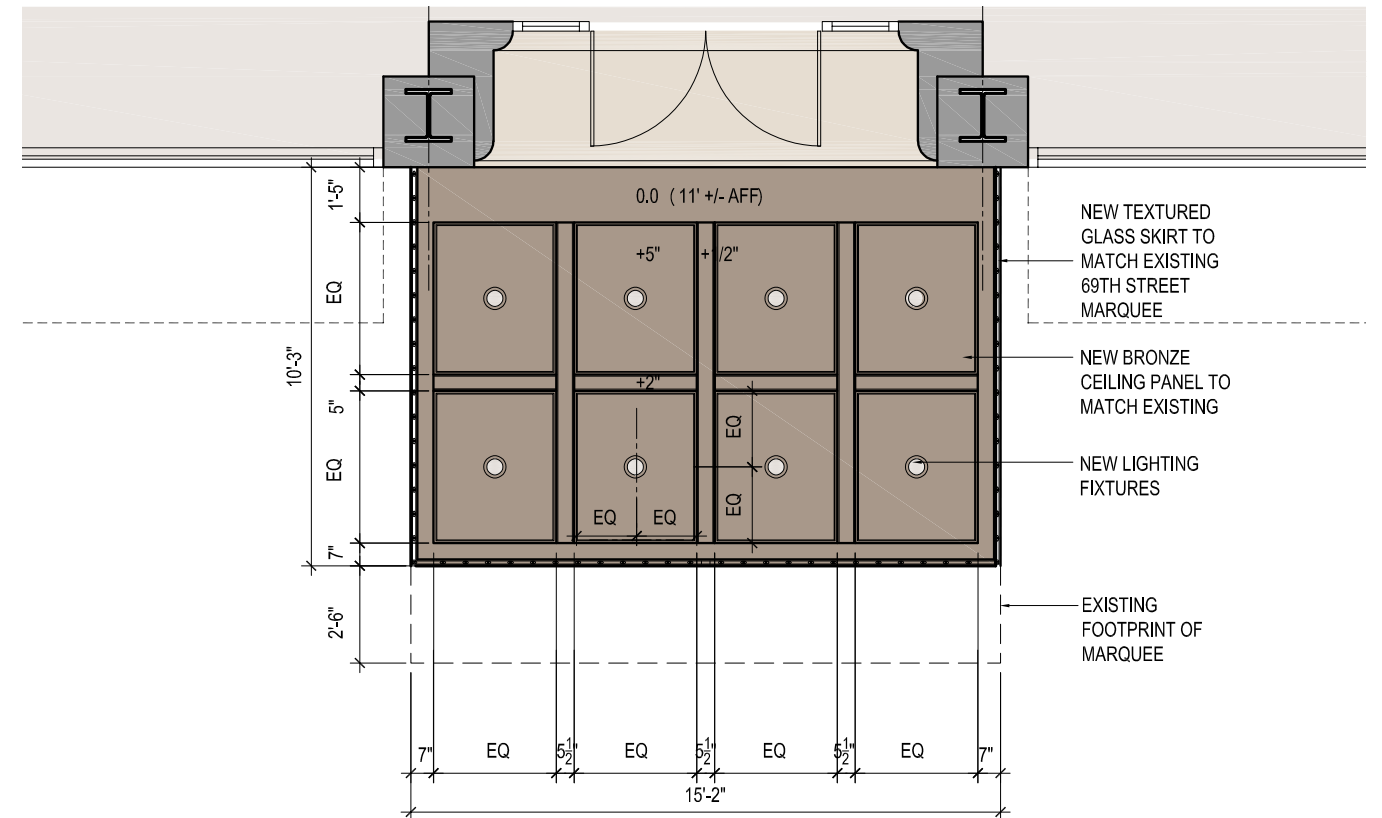
FRONT SECTION OF ACRYLIC SKIRT AND SUPPORTING ELEMENTS ARE DAMAGED OR MISSING. MODULE OF SKIRT ALTERED (TO 12 BAYS), AND MATERIAL ALTERED TO PLEXIGLASS

MARQUEE - DESIGNATION (C1981) & CURRENT PHOTOS

828 - 850 Madison Avenue Marquee Alteration



MARQUEE REFLECTIVE CEILING PLAN - EXISTING



MARQUEE REFLECTIVE CEILING PLAN - PROPOSED
(MARQUEE FRONT 2' 6" SETS BACK - 2 MODULES)



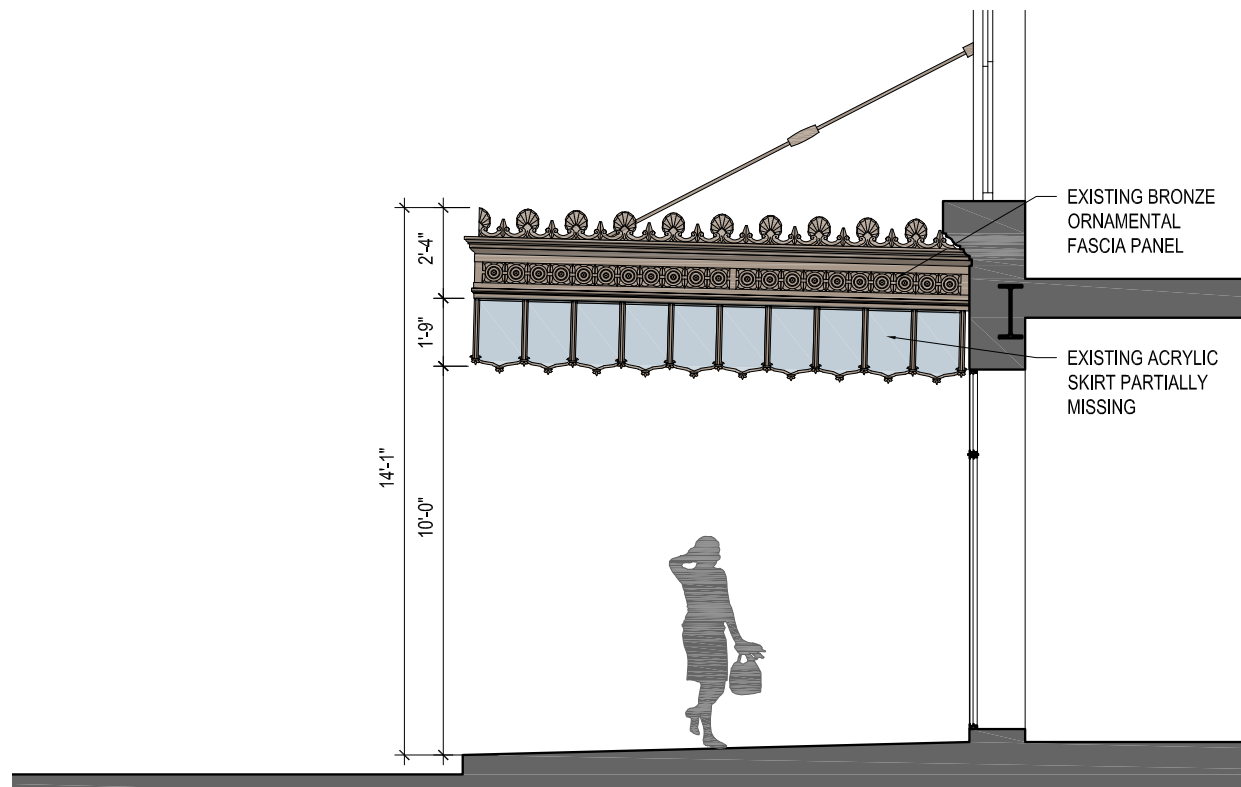
MARQUEE MADISON AVE ELEVATION - EXISTING



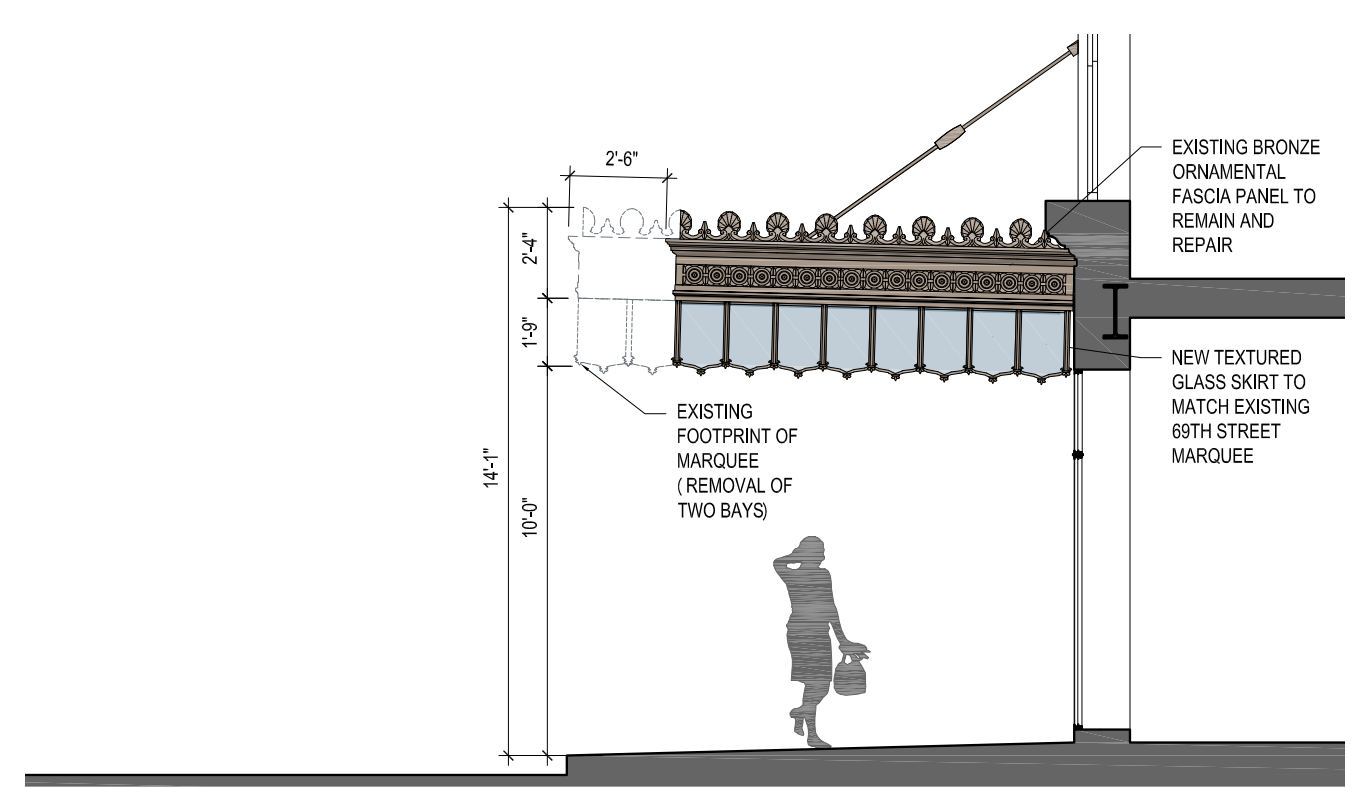
MARQUEE MADISON AVE ELEVATION - PROPOSED
(MARQUEE FRONT 2' 6" SETS BACK - 2 MODULES)

MARQUEE REFLECTIVE CEILING PLANS & MADISON AVENUE ELEVATIONS

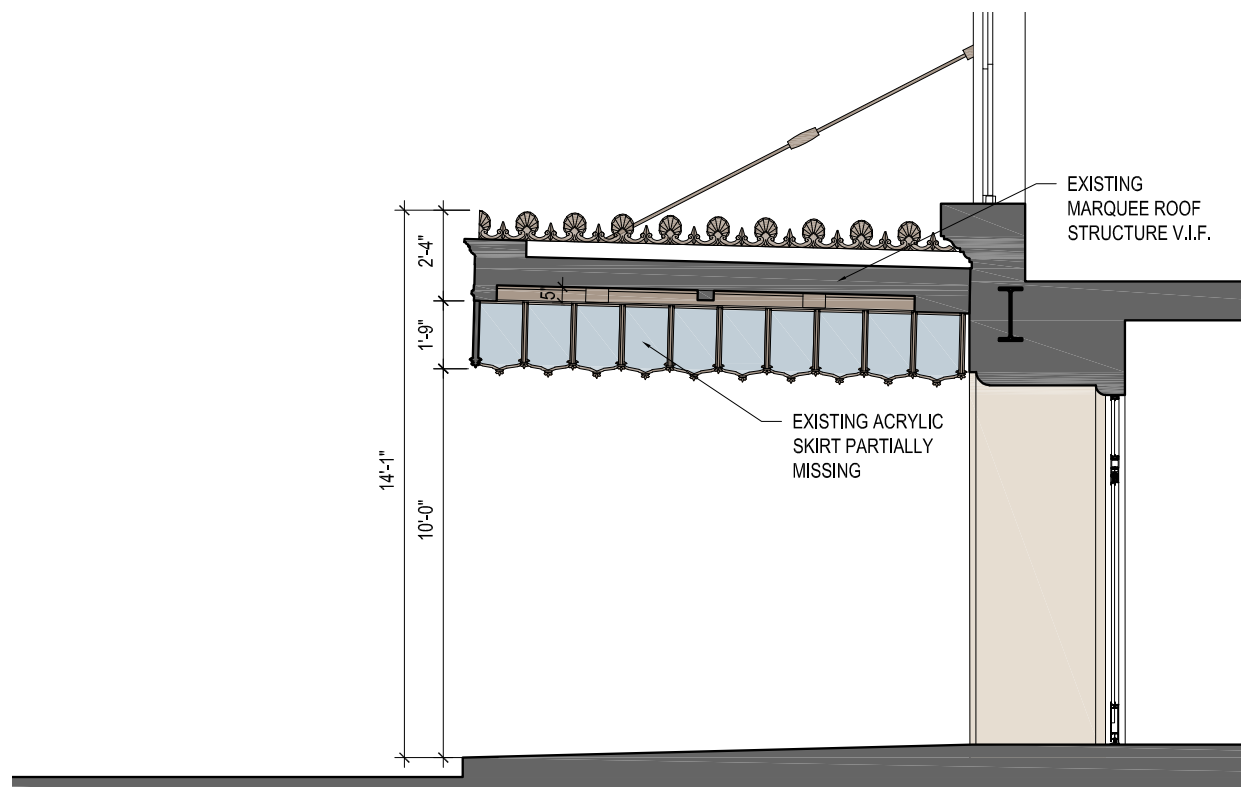
828 - 850 Madison Avenue Marquee Alteration



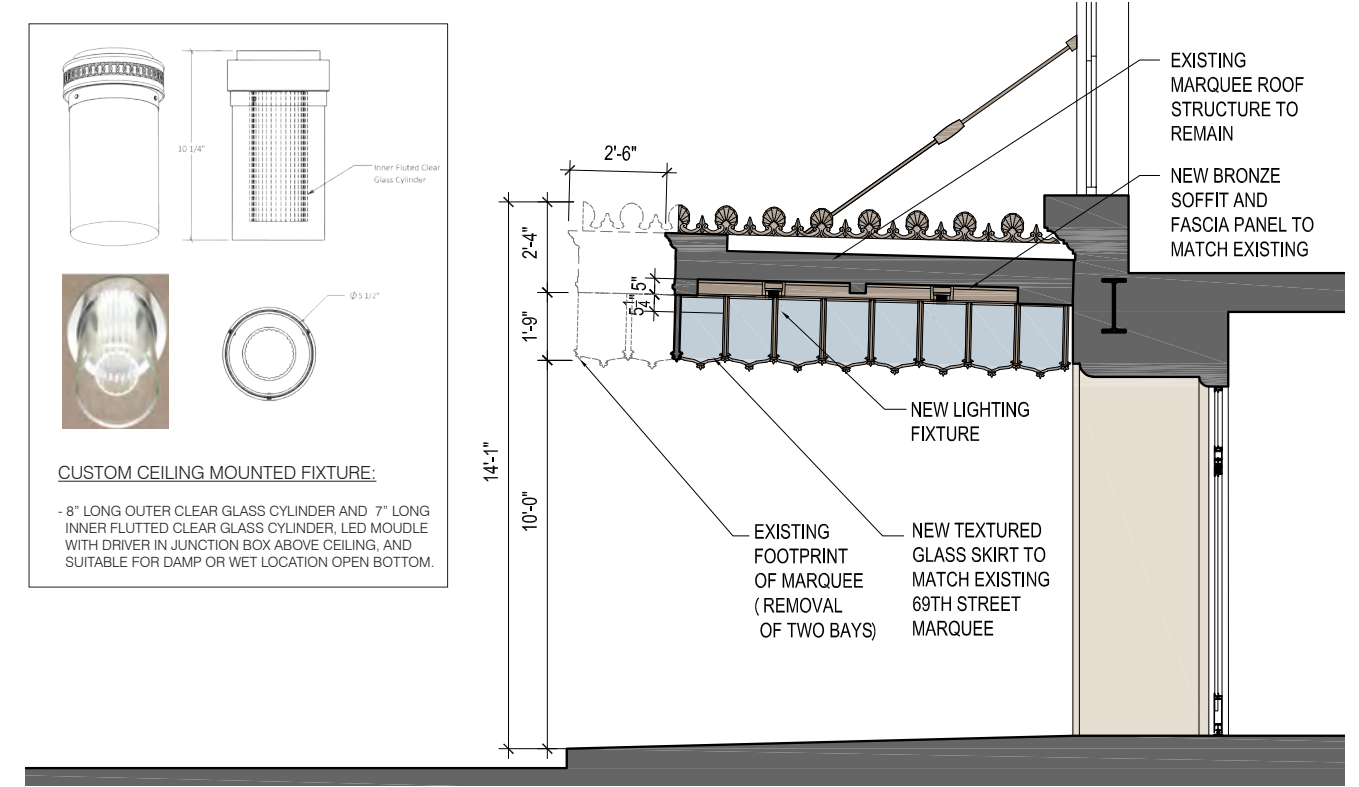
MARQUEE NORTH ELEVATION - EXISTING



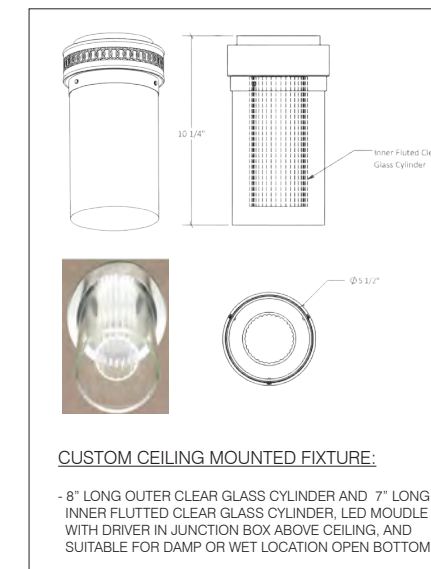
MARQUEE NORTH ELEVATION - PROPOSED
(MARQUEE FRONT 2' 6" SETS BACK - 2 MODULES)



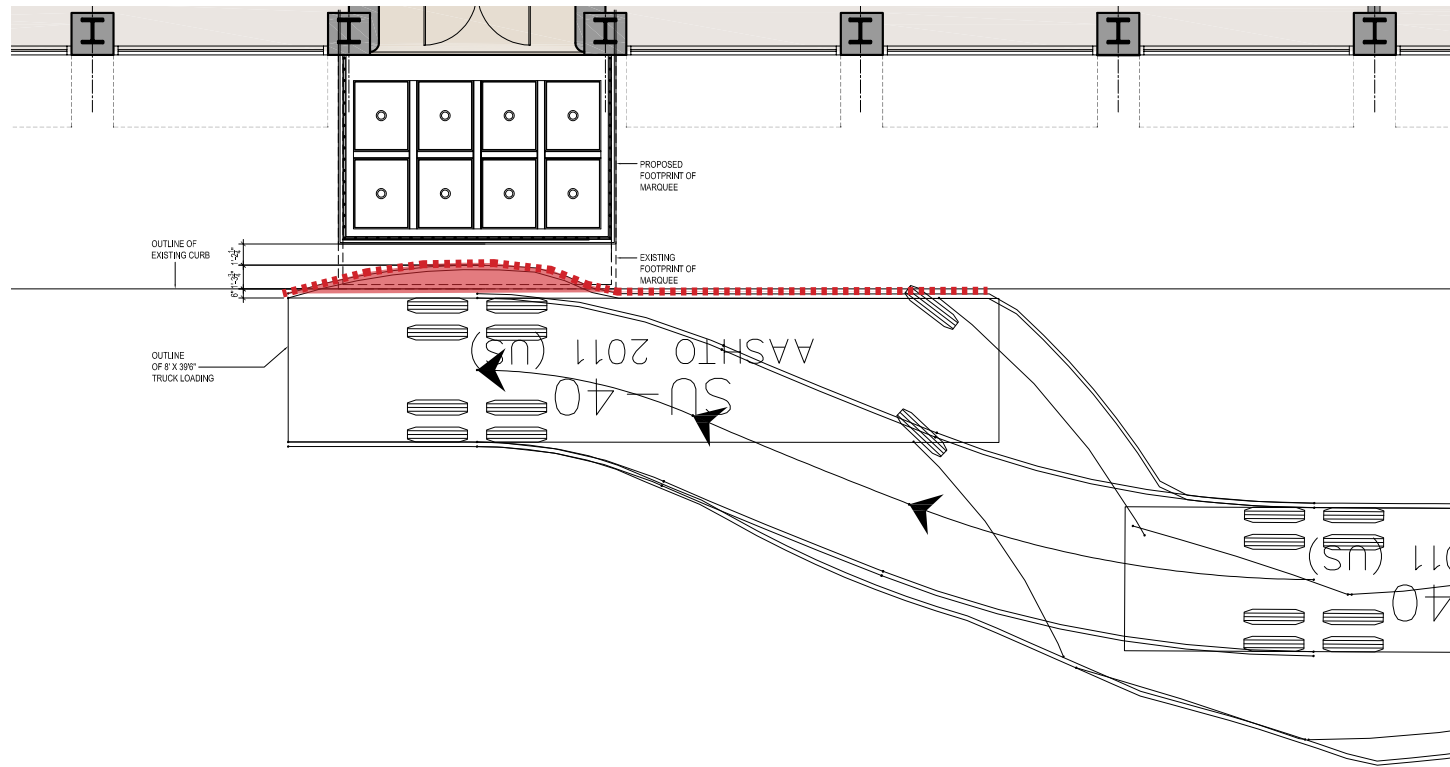
MARQUEE NORTH SECTION - EXISTING



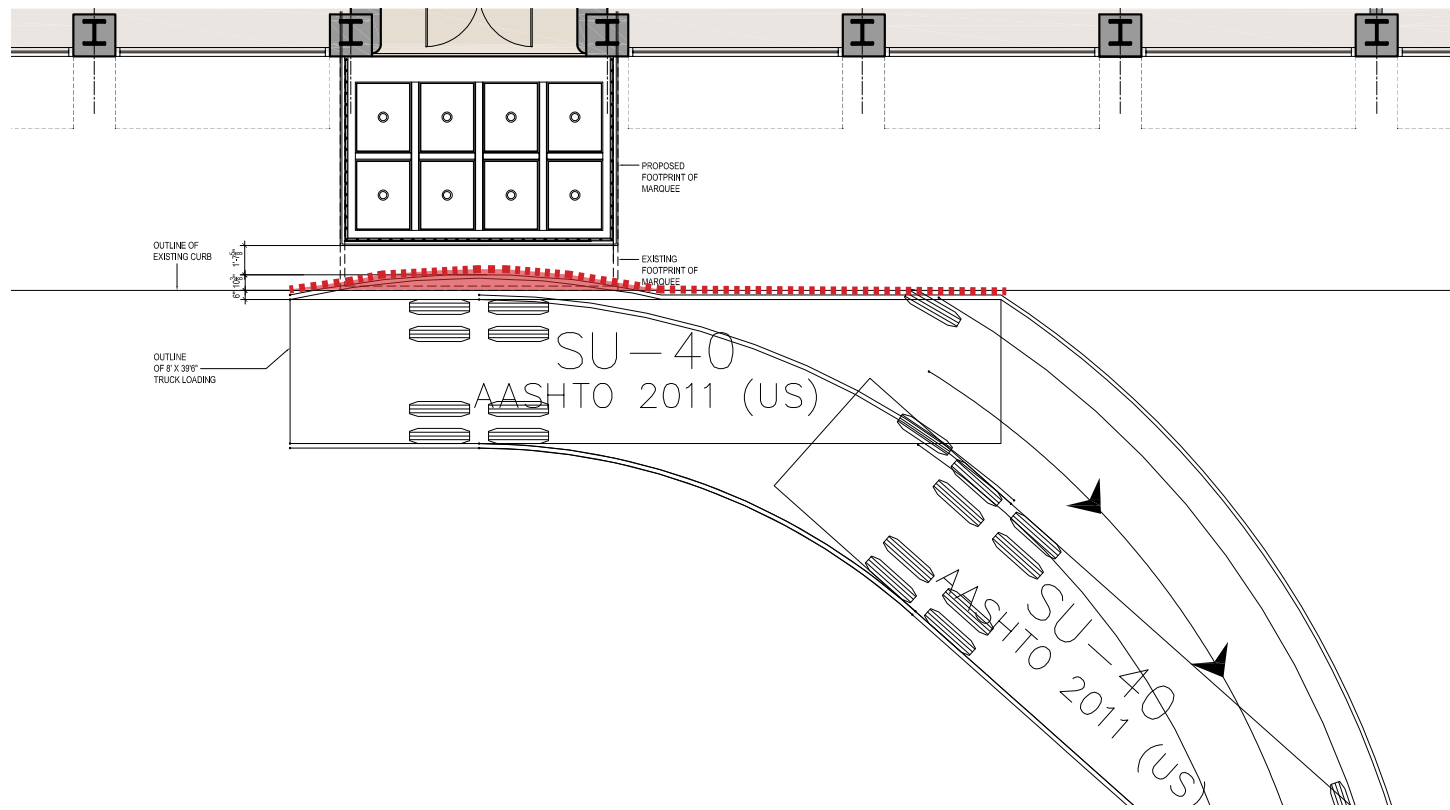
MARQUEE NORTH SECTION - PROPOSED
(MARQUEE FRONT 2' 6" SETS BACK - 2 MODULES)



MARQUEE NORTH ELEVATIONS & SECTIONS



MARQUEE LOADING SCENARIO (BACK IN) - PROPOSED



MARQUEE LOADING SCENARIO (FORWARD) - PROPOSED



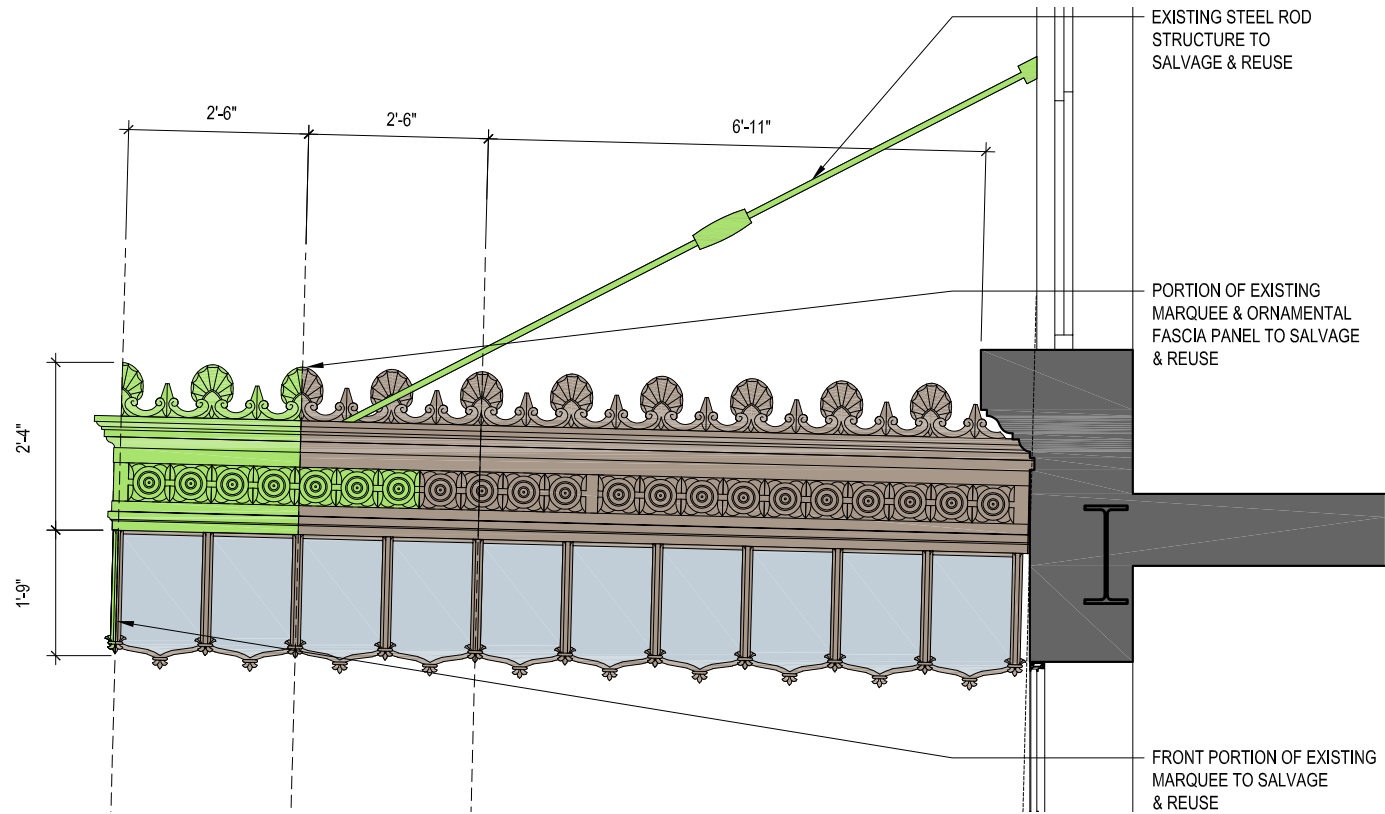
PERSPECTIVE VIEW FROM MADISON AVENUE - EXISTING MARQUEE
(MARQUEE IS SEVERLY DETERIORATED & DAMAGED)



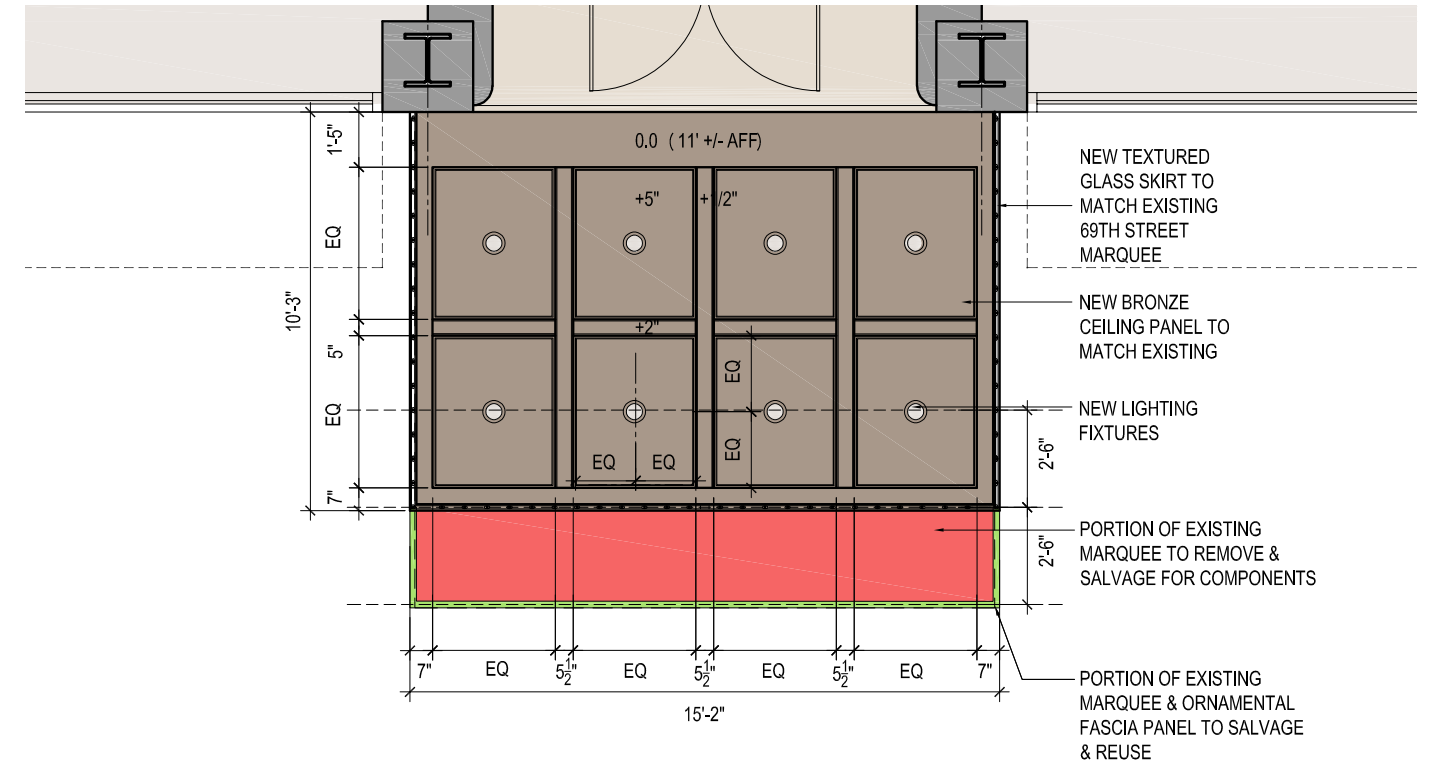
PERSPECTIVE VIEW FROM MADISON AVENUE - PROPOSED MARQUEE
(MARQUEE FRONT 2' 6" SETS BACK - 2 MODULES)

PROPOSED MARQUEE - TRUCK (SU-40) LOADING SCENARIOS & PERSPECTIVE VIEWS

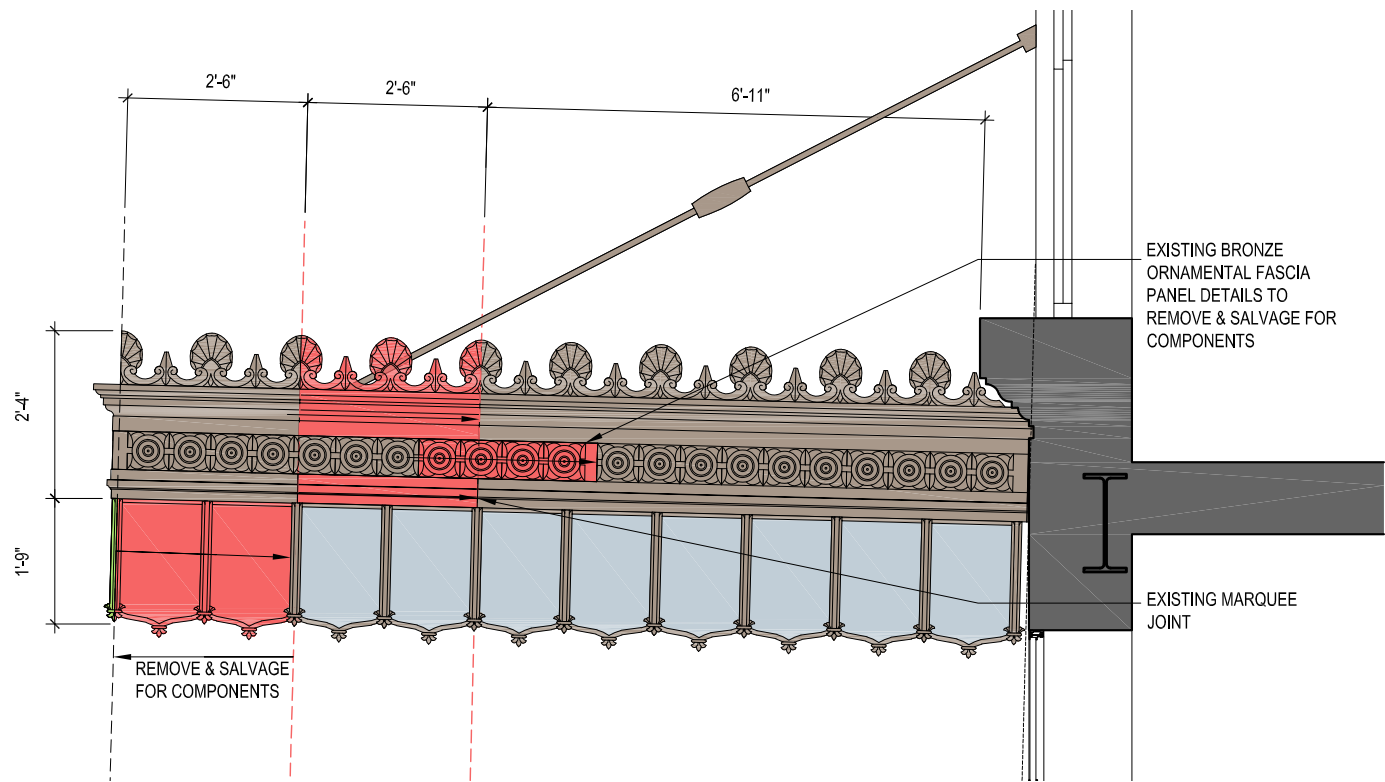
828 - 850 Madison Avenue Marquee Alteration



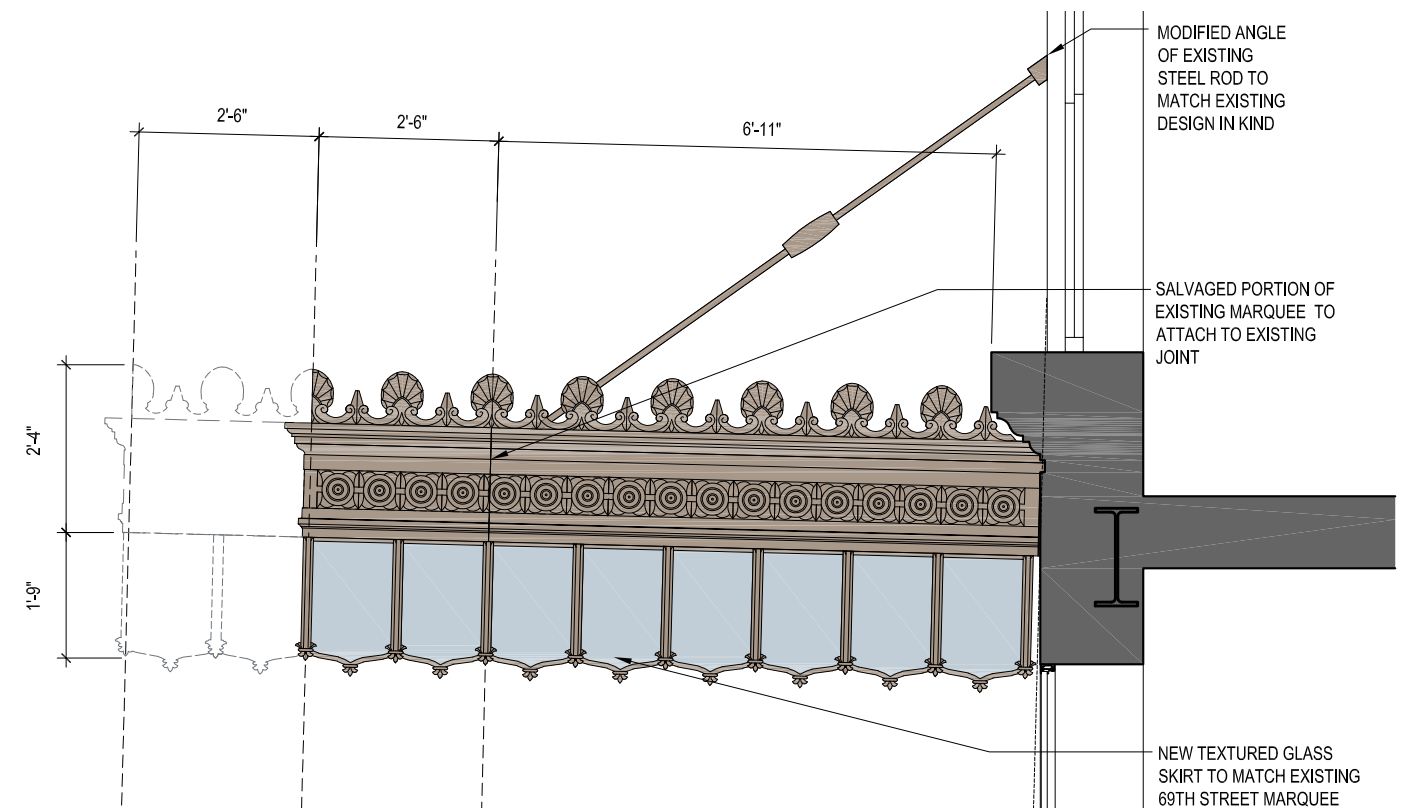
MARQUEE NORTH ELEVATION - EXISTING
(AREA OF SALVAGE & REUSE)



MARQUEE REFLECTIVE CEILING PLAN - PROPOSED
(MARQUEE FRONT 2' 6" SETS BACK - 2 MODULES)



MARQUEE NORTH ELEVATION - EXISTING
(AREA OR REMOVAL & SALVAGE FOR COMPONENTS)

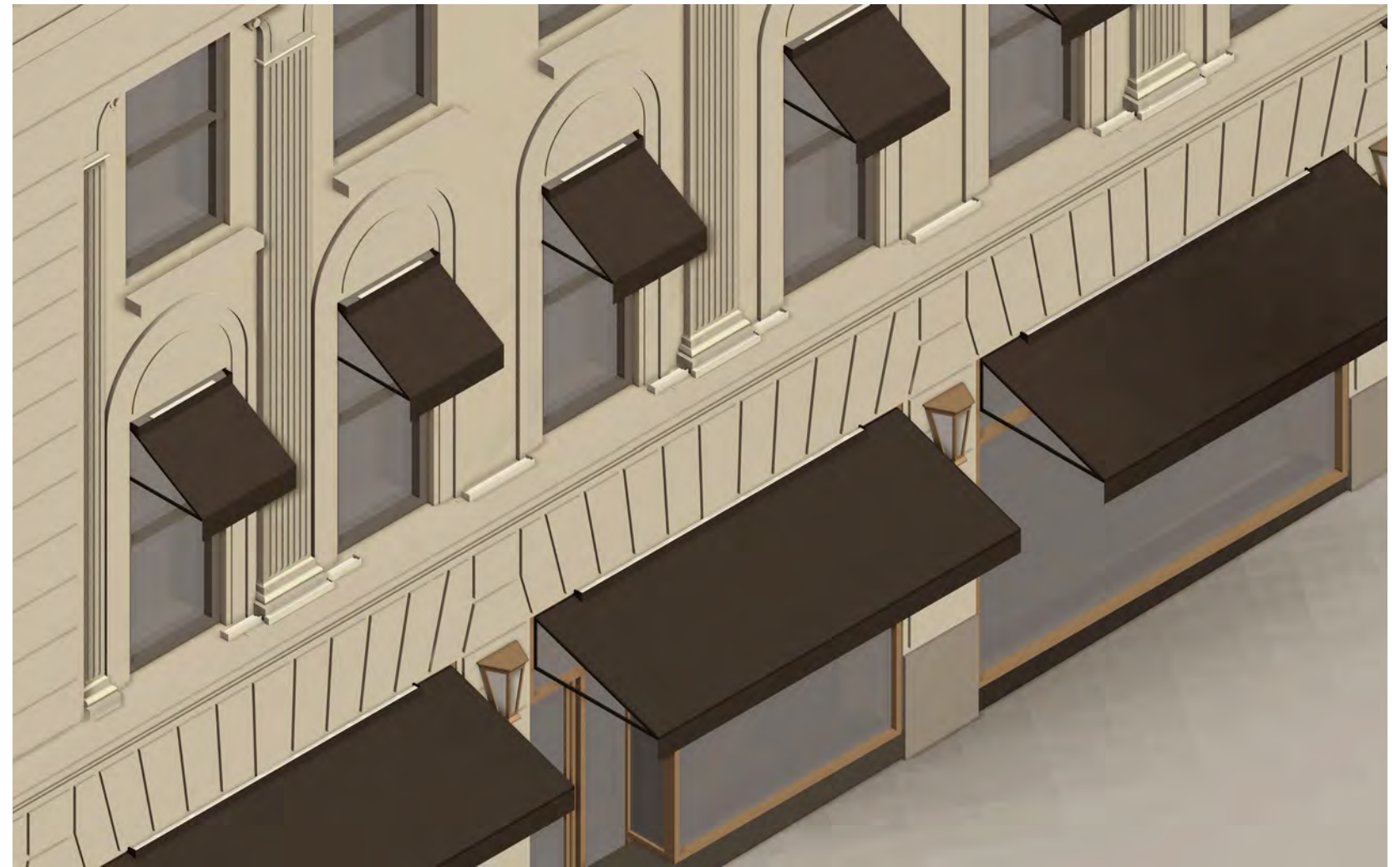
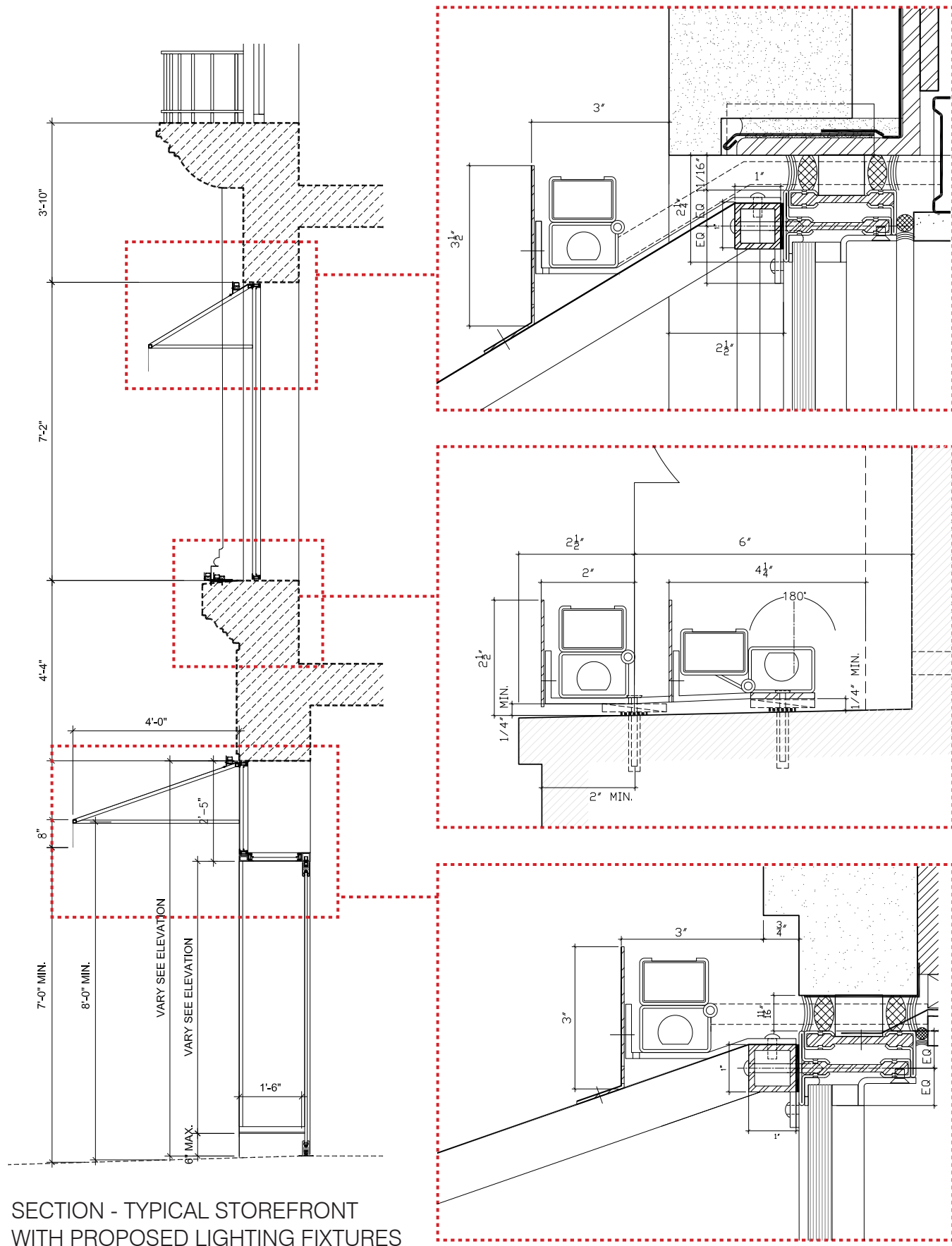


MARQUEE NORTH ELEVATION - PROPOSED
(MARQUEE FRONT 2' 6" SETS BACK - 2 MODULES)

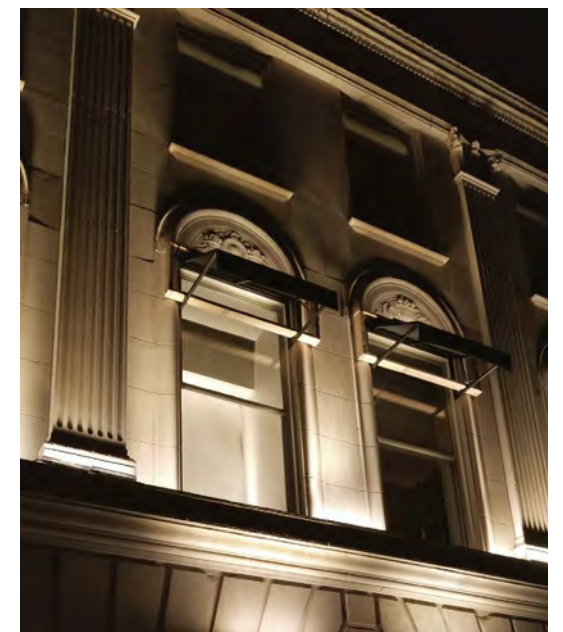
NIGHT LIGHTING RENDERING

- Surface mounted fixtures with glass trims at Entry Canopy
- Uplights at tree pits
- Small linear uplights over Levels 1 and 2 awnings
- New glowing wall sconces with downlight component along Level 1 facade
- Linear uplights between windows at Level 2





AXONOMETRIC VIEW - PROPOSED LIGHTING FIXTURES



LIGHTING EFFECT MOCK-UP PHOTO ON SITE



OVERALL MOCK-UP PHOTO:
TAKEN ACROSS FROM MADISON AVENUE LOOKING SOUTHWEST

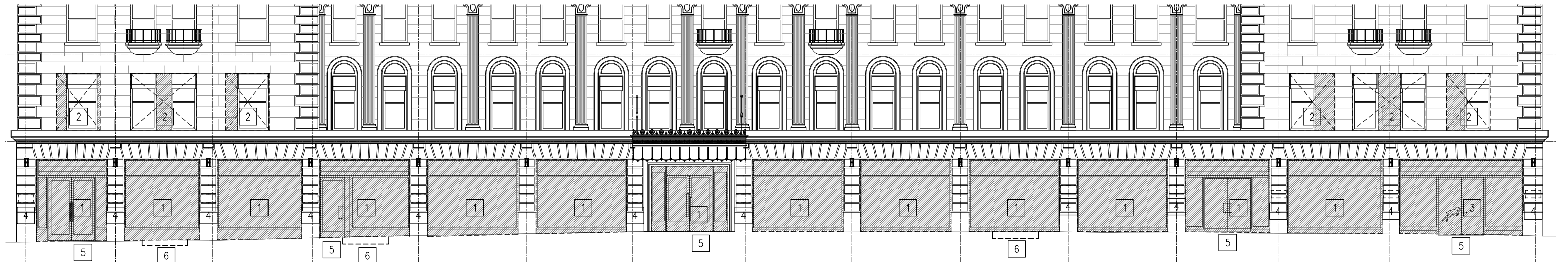


DETAIL MOCK-UP PHOTO:
TAKEN FROM EDGE OF SIDEWALK ON MADISON AVE. LOOKING UP

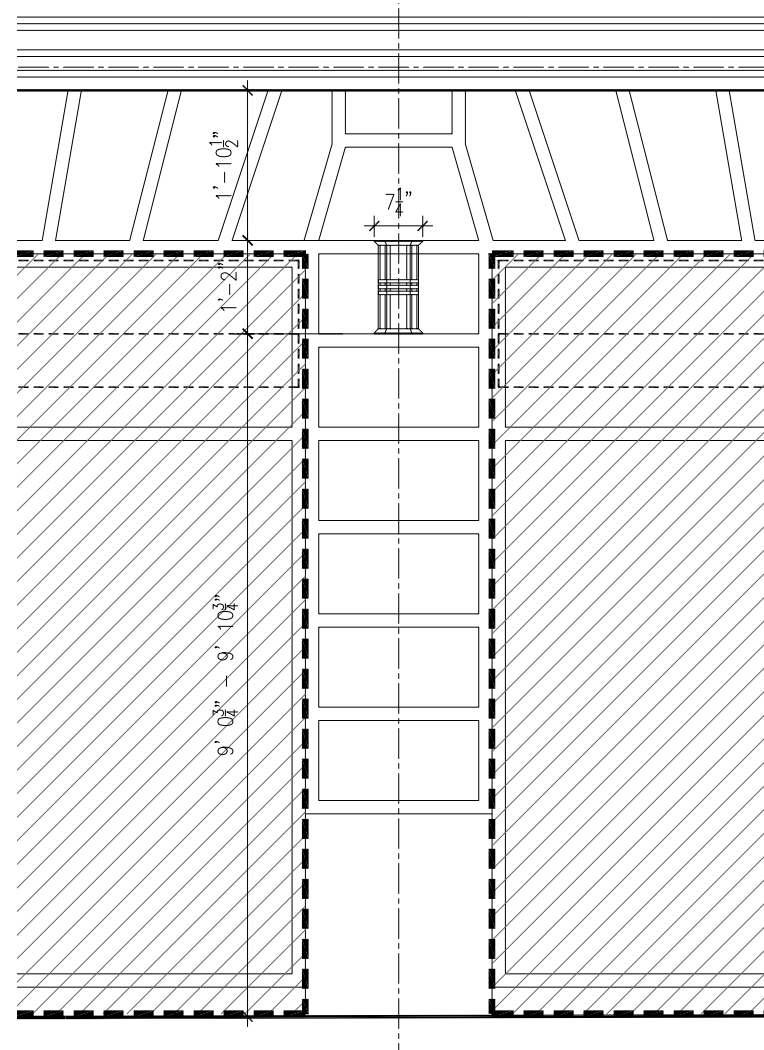


- 1. LIGHTING FIXTURES ON LV2 AWNING (L2-1)
- 2. LIGHTING FIXTURES ON LV2 STONE SILL (LV2-1 & LV2)
- 3. LIGHTING FIXTURES ON L1 AWNING (LV2-1)

DETAIL MOCK-UP PHOTO:
TAKEN ON SIDEWALK OF MADISON AVENUE LOOKING SOUTH



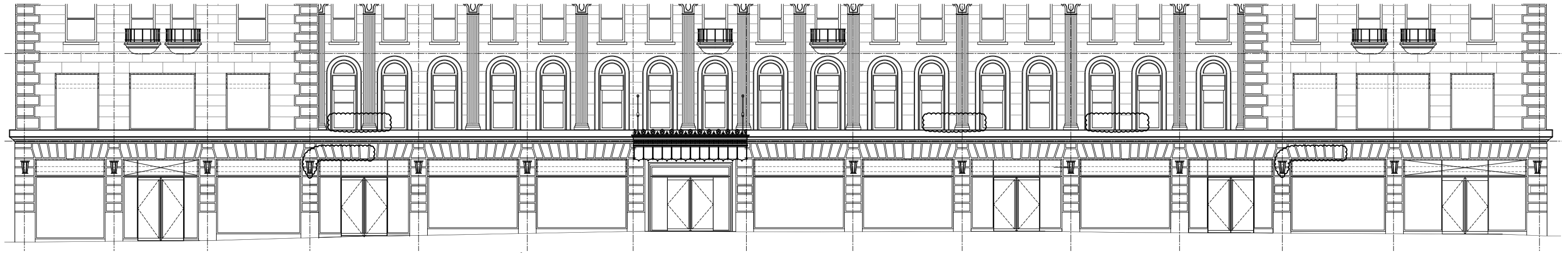
MADISON ELEVATION - EXISTING WALL SCONCES



ENLARGED MADISON ELEVATION - EXISTING



PHOTO OF EXISTING WALL SCONCES ON MADIOSN AVENUE

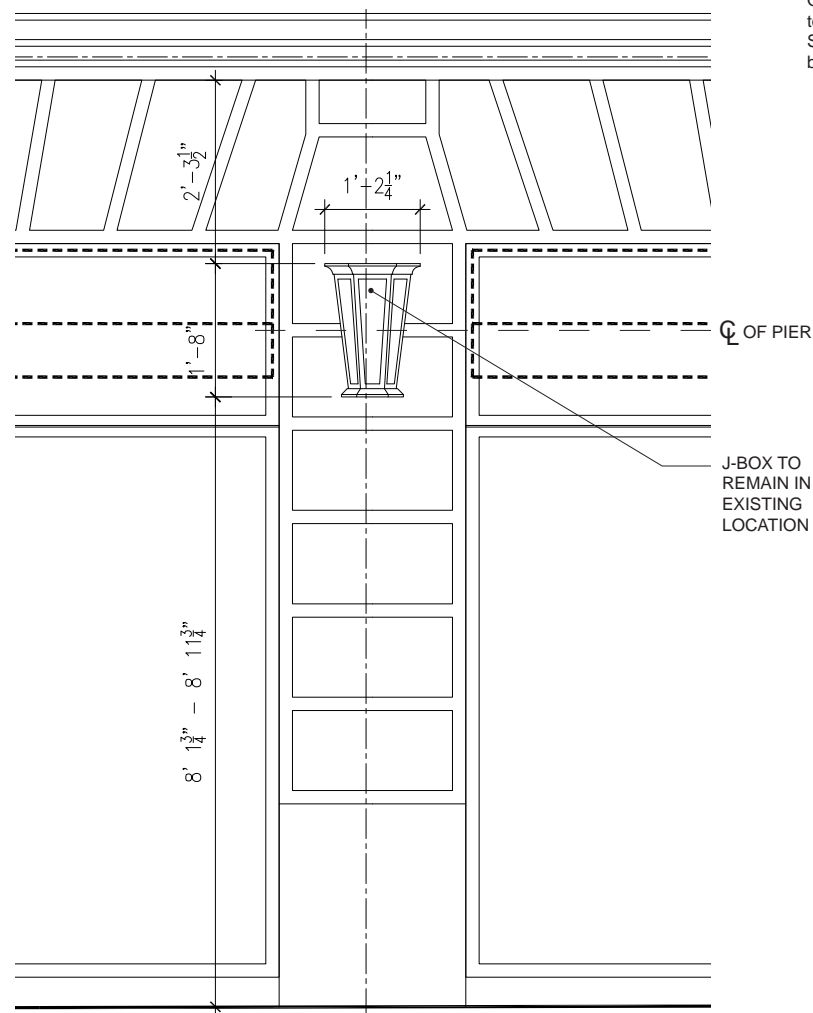


MADISON ELEVATION - PROPOSED WALL SCONCES



WALL SCONCE WITH GLOW AND DOWNLIGHT:

- WALL SCONCE WITH BRASS FINISH METAL, GLOWING FLASH OPAL GLASS DIFFUSERS AT FRONT AND TOP, SOLITE™ LENS AND DOWNLIGHT COMPONENT AT BOTTOM.
- MODIFIED TO HAVE OPAL GLASS AT TOP AND SIDES, SOLITE™ AT BOTTOM.



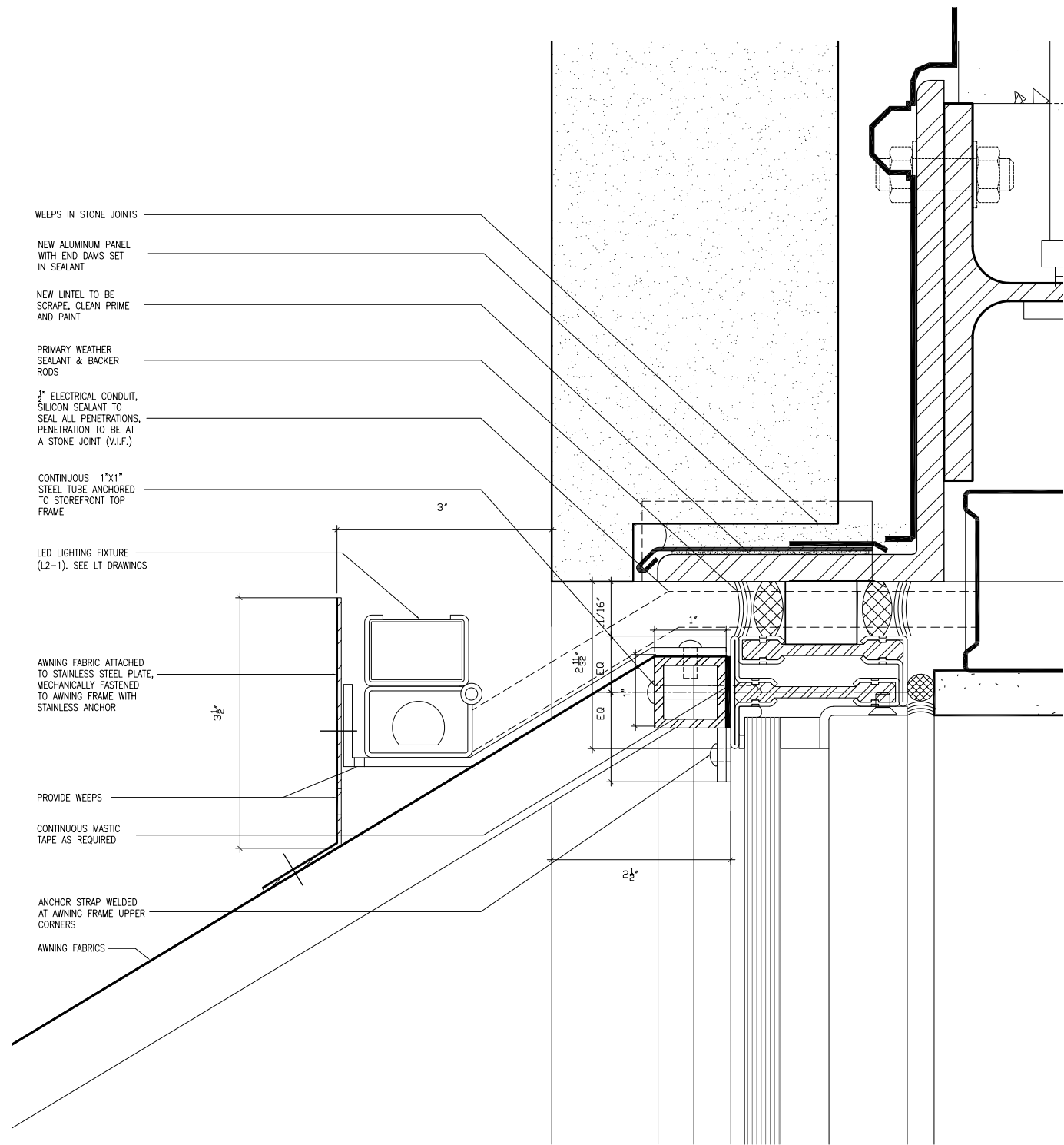
ENLARGED MADISON ELEVATION - PROPOSED



PERSPECTIVE VIEW OF PROPOSED WALL SCONCES - MADISON AVENUE



PHOTO OF THE LIGHTING EFFECT MOCK UPS FROM MADISON AVENUE



SECTION DETAILS -
LIGHTING - AWNING FRAME ON LV 2



AXONOMETRIC VIEW - LIGHTING FIXTURES ON AWNING FRAME (LEVEL 2)



PHOTO OF STONE SILL (LV2) FROM MADISON AVENUE



PHOTOS FROM OUT THE SECOND FLOOR WINDOW TO THE LEDGE (FLUTED PIER)



PHOTO WITH LIGHTING FIXTURE MOCK-UPS AT FUTED PIER (DETAIL 1&2)



PHOTOS FROM OUT THE SECOND FLOOR WINDOW TO THE LEDGE (FLAT PIER)

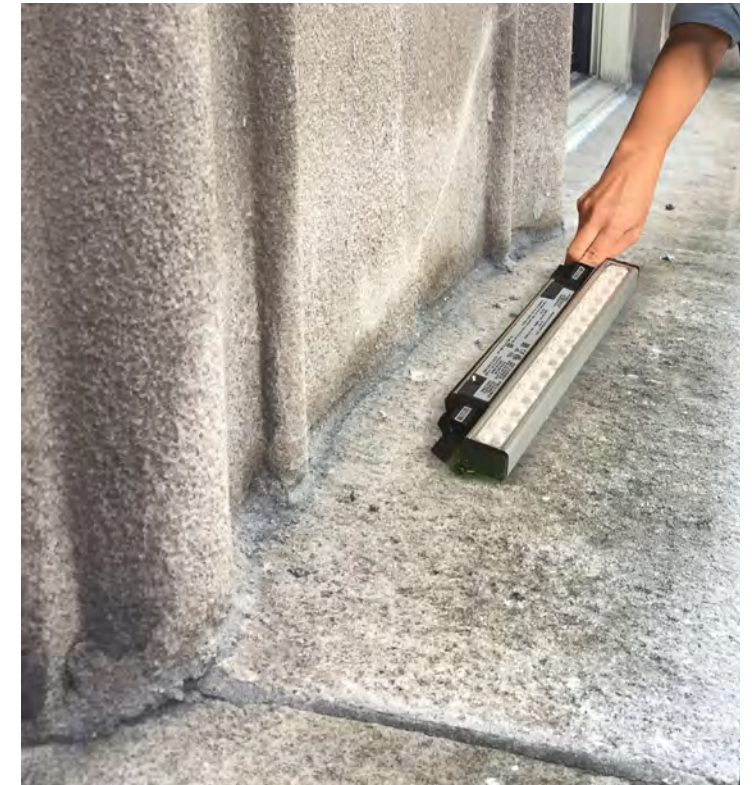
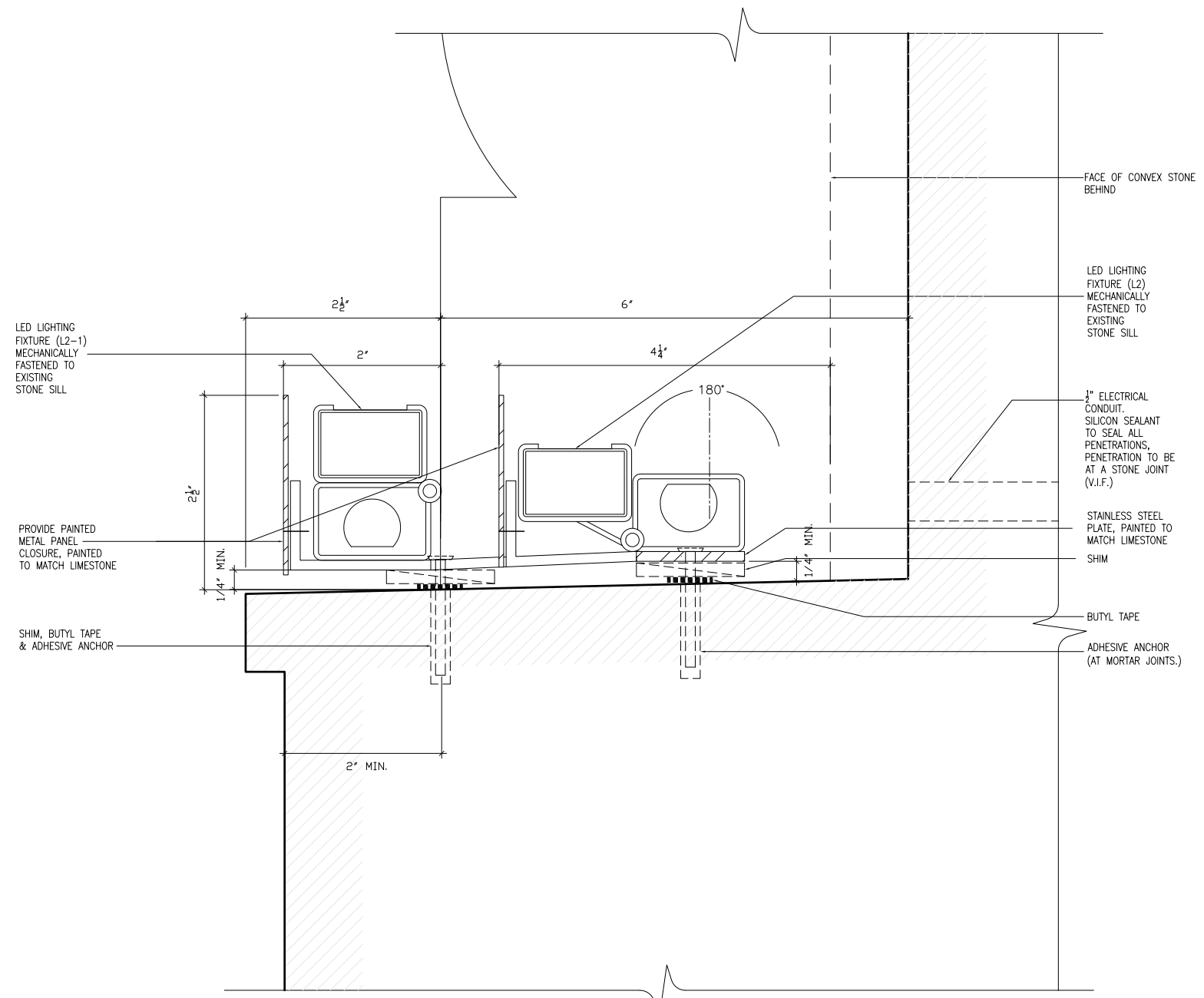
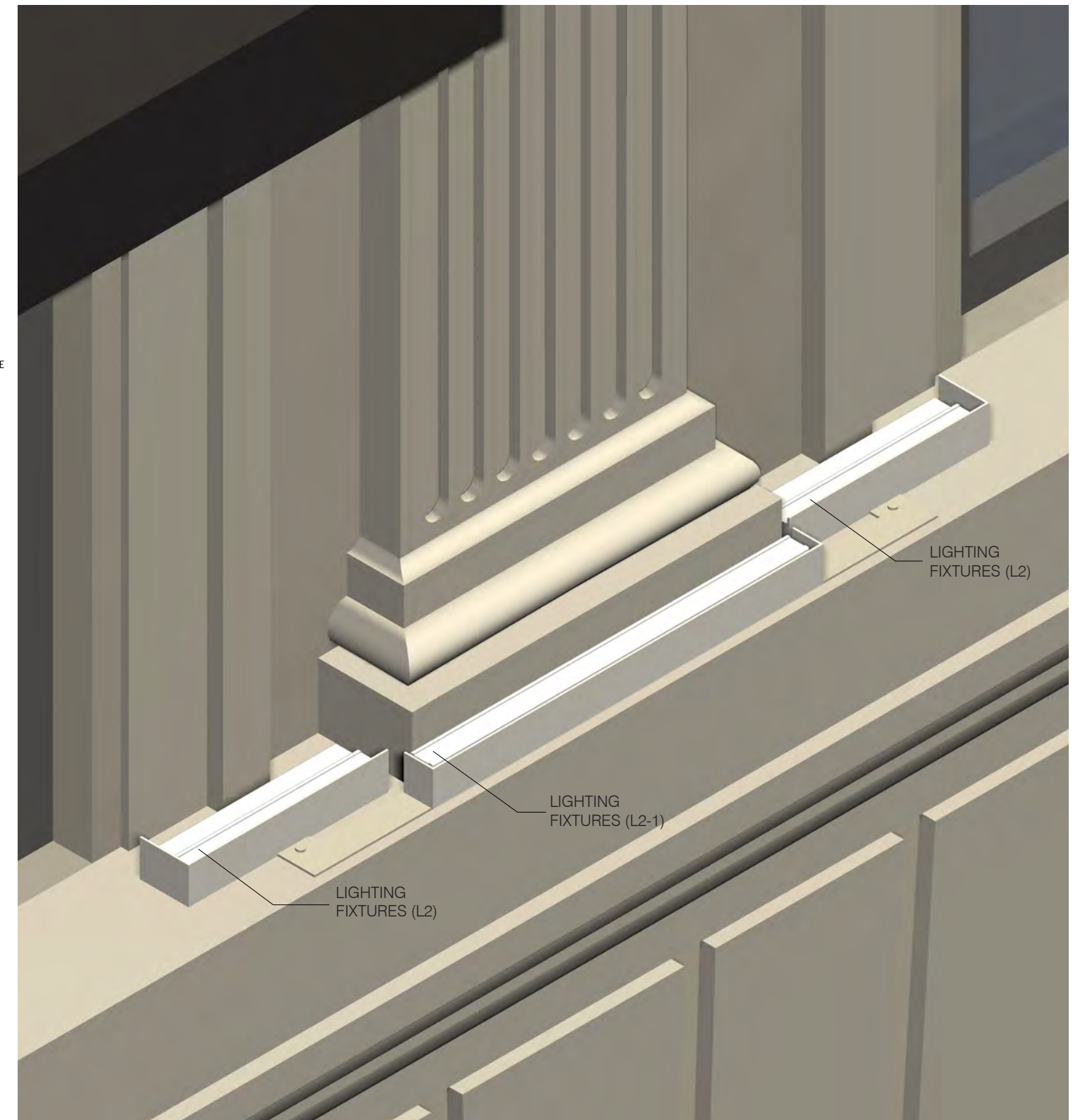


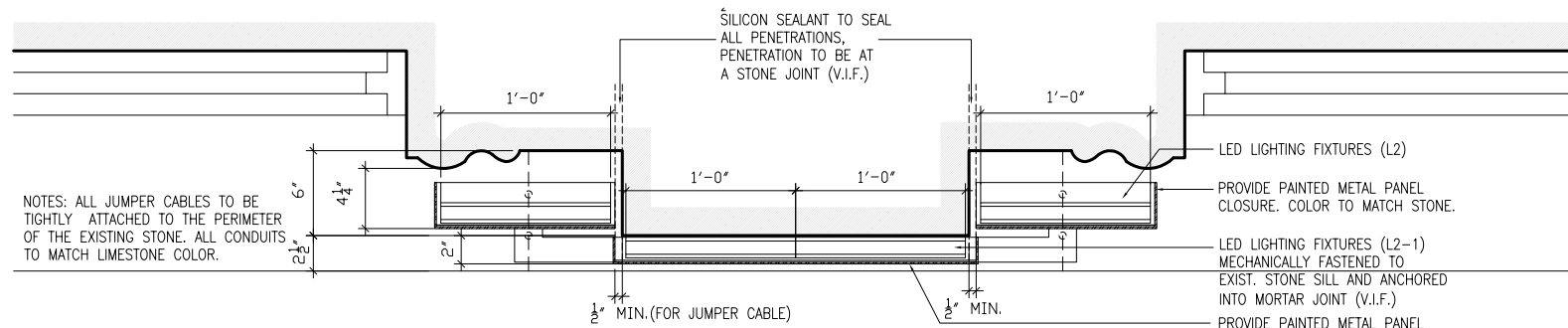
PHOTO WITH LIGHTING FIXTURE MOCK-UPS AT FLAT PIER (DETAIL 3)



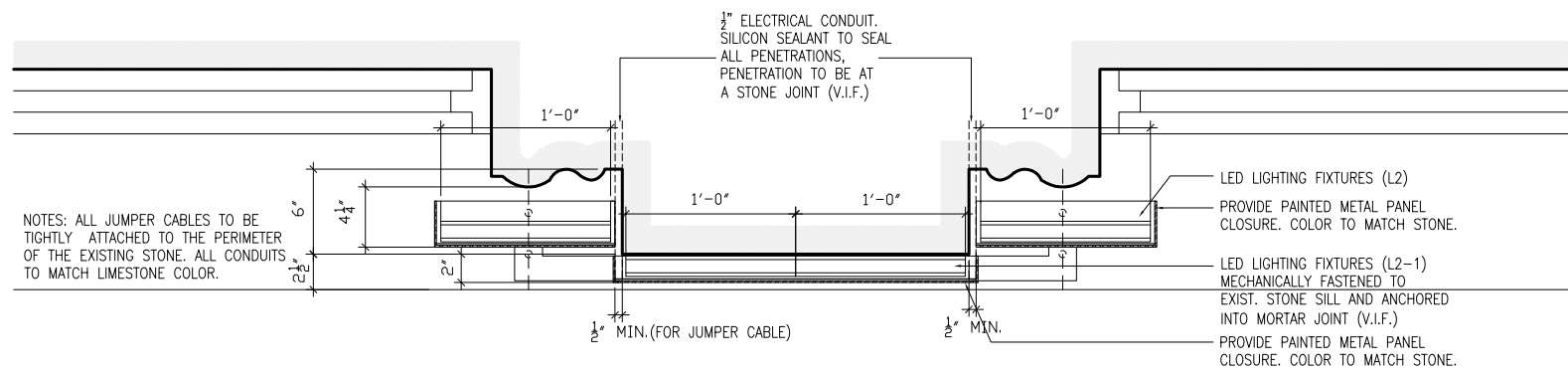
SECTION DETAIL - PROPOSED LIGHTING FIXTURES - LEVEL 2 STONE SILL



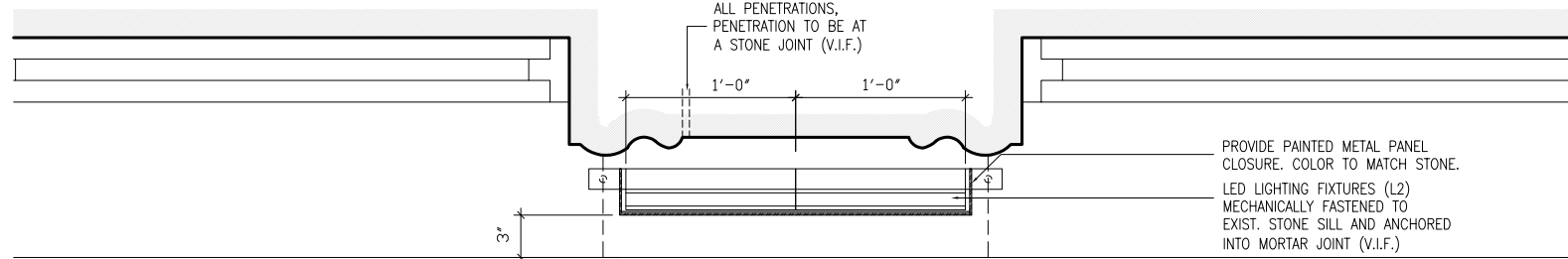
AXONOMETRIC VIEW - LIGHTING FIXTURES AT FLUTED PIER (DETAIL 1 & 2 - SIM.)



PLAN DETAIL 1 - AT FLUTED PIER (2ND FL)

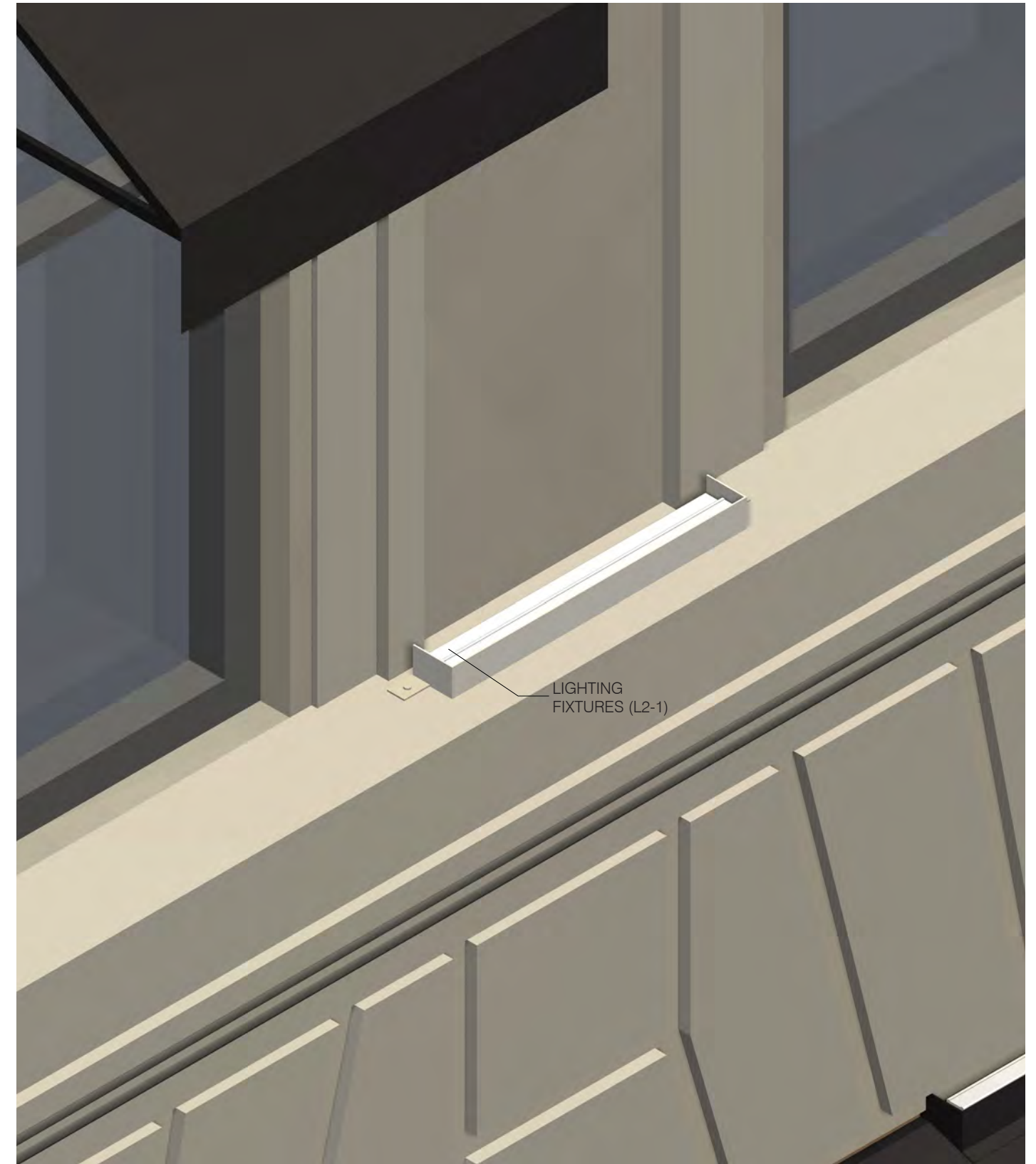


PLAN DETAIL 2 - AT FLUTED PIER (2ND FL)

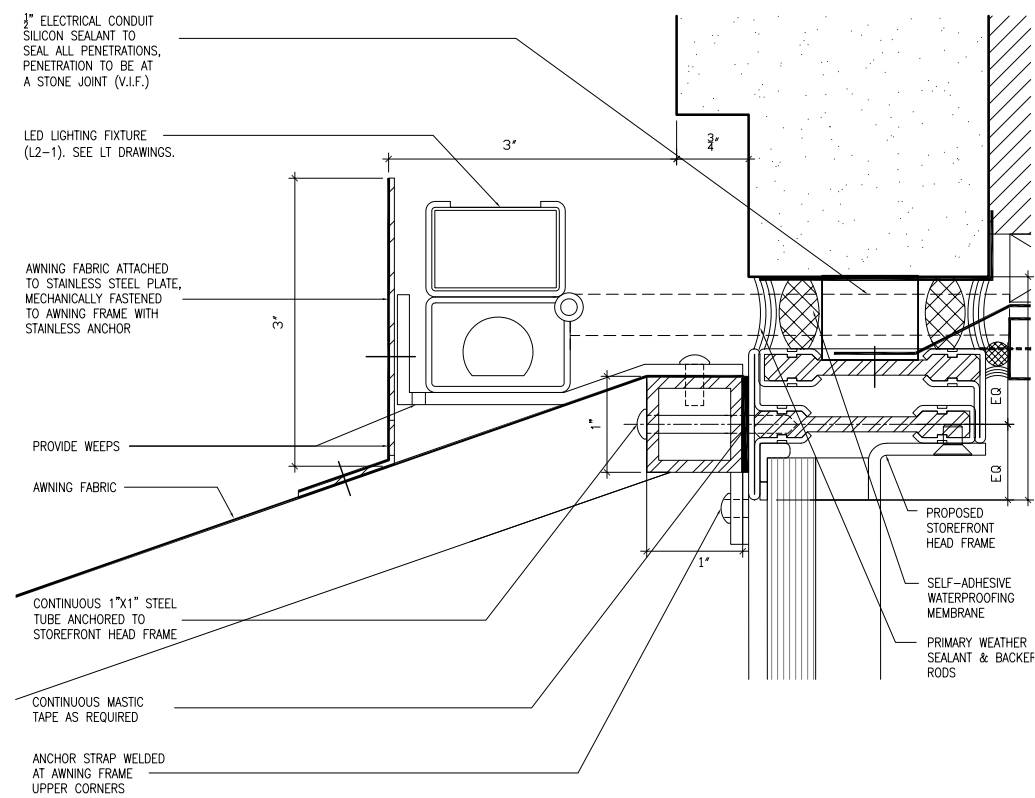
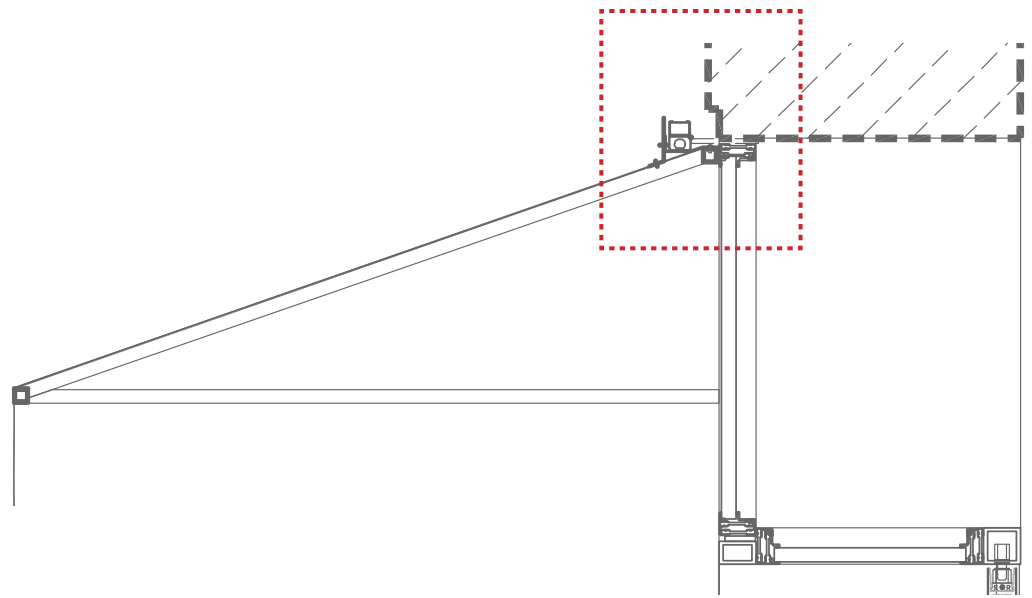


PLAN DETAIL 3 - AT FLAT PIER (2ND FL)

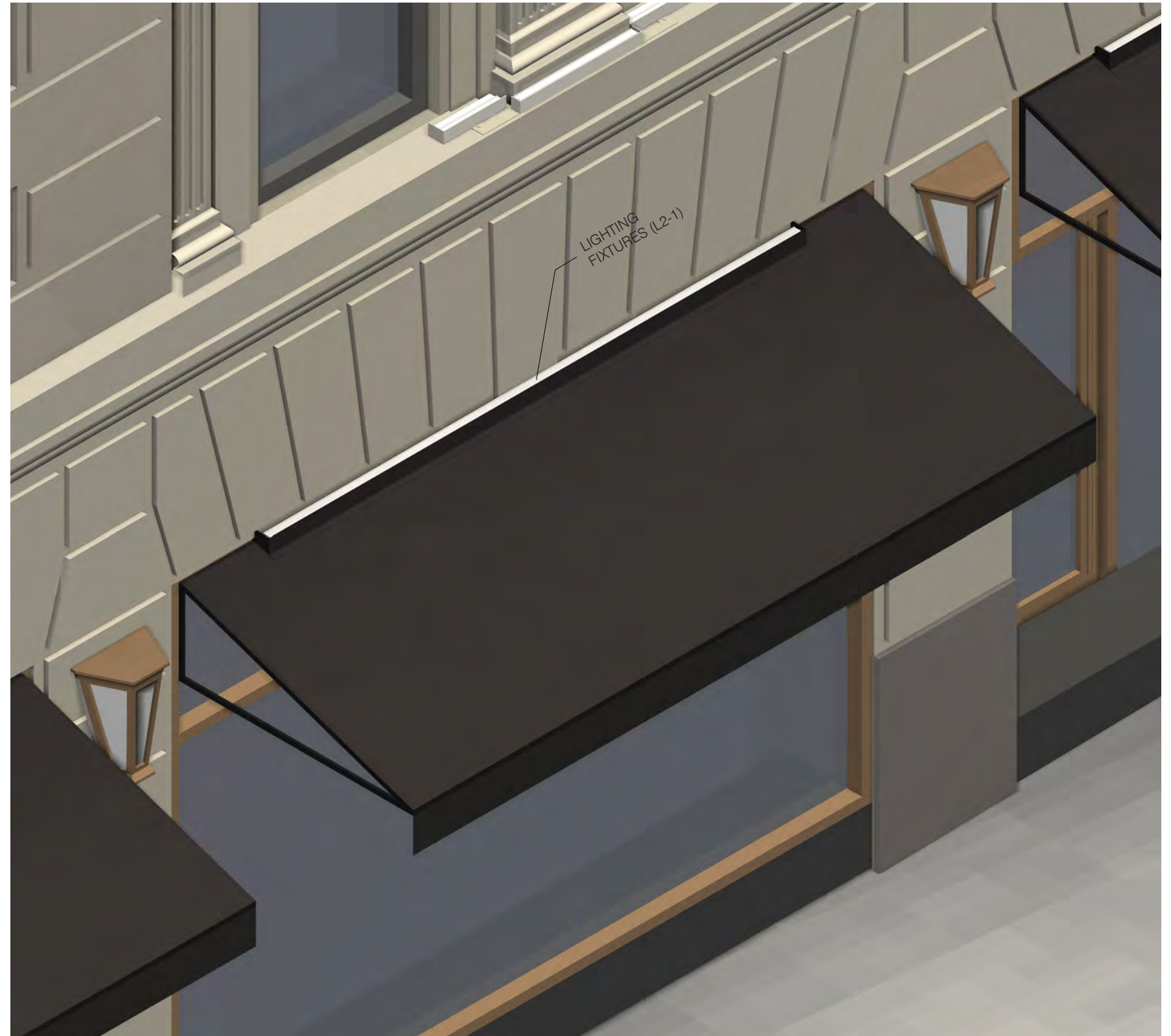
PLAN DETAILS - PROPOSED LIGHTING FIXTURES - LEVEL 2 STONE SILL



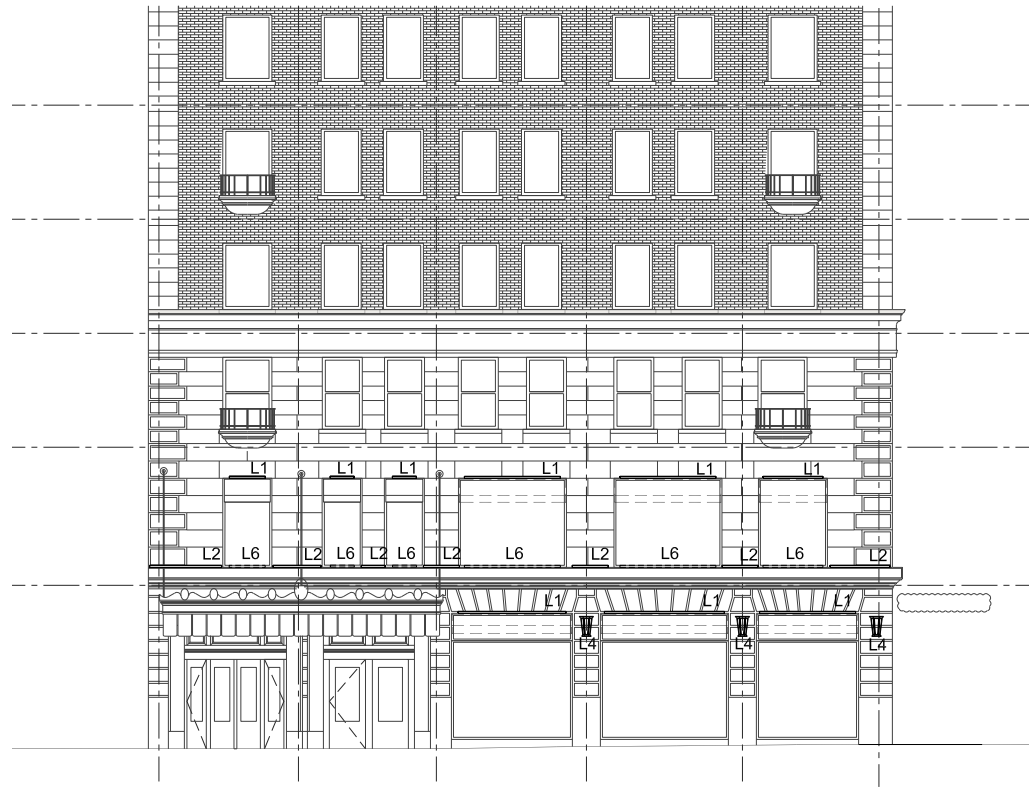
AXONOMETRIC VIEW - LIGHTING FIXTURES AT FLAT PIER (DETAIL 3)



SECTION DETAILS - LIGHTING FIXTURES - AWNING FRAME (LEVEL 1)



AXONOMETRIC VIEW - LIGHTING FIXTURES ON AWNING FRAME (LEVEL 1)



69TH STREET OVERALL BUILDING ELEVATION



70TH STREET OVERALL BUILDING ELEVATION

LEGENDS

L1 : SURFACE MOUNTED 3"W X 1.4"H LINEAR LED UPLIGHT, CONTINUOUS RUN LOCATED WITHIN ARCHITECTURAL CHANNEL, MULTIPLE RUN LENGTHS, RATED FOR EXTERIOR WET LOCATION. LOCATION : OVER AWNINGS AT 1ST AND 2ND FLOOR.

L2: SURFACE MOUNTED 3"W X 1.4" H LINEAR LED UPLIGHT, CONTINUOUS RUN IN FRONT OF FLAT FACADE WALLS, RATED FOR EXTERIOR WET LOCATION. LOCATION: 2ND FLOOR IN BETWEEN WINDOWS (± 8.5" WIDE LEDGE)

L2-1: SURFACE MOUNTED 1.64" W X 2"H LINEAR LED UPLIGHT, 1-FT & 2-FT RUN IN FRONT OF PILASTERS, CONCEALED BEHIND ARCHITECTURAL METALWORK SHIELD, FIXTURE RATED FOR EXTERIOR WET LOCATION. LOCATION: 2ND FL LEDGE IN BETWEEN WINDOWS, IN FRONT OF PILASTERS (2.5" WIDE LEDGE)

L4: FLUSH WALL MOUNTED 1'-2" W X 1'-8" H TAPERED HALF-LANTERN FIXTURE WITH GLOW AND DOWNLIGHT COMPONENTS; PROJECTION IS APPROXIMATELY 9" TO ACCOMMODATE DOWNLIGHT COMPONENT, FIXTURE RATED FOR EXTERIOR WET LOCATION, REUSE JUNCTION BOXES OF EXISTING FIXTURES. LOCATION: 1ST FL FACADE

L5: CEILING MOUNTED 5" DIA X 10 1/4" H DOWNLIGHT FIXTURE WITH GLASS TRIM, RE-USE JUNCTION BOXES OF EXISTING FIXTURES, RATED FOR EXTERIOR DAMP OR WET LOCATION. LOCATION: MADISON AVE. ENTRY CANOPY

L7: SURFACE MOUNTED 3" DIA. UPLIGHT FIXTURE, MOUNTED TO TREES WITH STRAPS, RATED FOR EXTERIOR WET LOCATION. LOCATION: TREES ON MADISON AVE. & 69TH ST. SIDEWALKS



MADISON AVENUE OVERALL BUILDING ELEVATION

L5 (8 FIXTURES TOTAL)
REPLACE EXISTING CEILING FIXTURES UNDER CANOPY WITH L5 FIXTURES USING EXISTING JUNCTION BOXES