

A. PROJECT INFORMATION

1. APPLICATION IS: Development Project Protest Appeal

2. STAFF REVIEW DATE: 10/28/2021

3. SITE INFORMATION

Development Address: 726 53rd

Parcel ID(s)/Lot-and-Block Number(s): 81-E-6

Project Description: Construction of new single family dwelling

3. CONTACT INFORMATION

Applicant Name: **Page Thomas**

Applicant Contact (phone and email): pagethomas@me.com

B. ZBA HEARING INFORMATION

Zone Case #192. of 2021

Date of Hearing: [Click here to enter a date.](#)

Time of Hearing: [Click here to enter text.](#)

Zoning Designation: R1A-VH

Neighborhood: Upper Lawrenceville

Zoning Specialist: CS

C. ZBA REQUESTS

Type of Request: Variance

Code Section: 903.03.E.2

Description: 15' rear setback required, 0' requested

SEVEN TWO SIX RESIDENCE

New Three Story Single Family Residence

726 53rd Street , Pittsburgh PA, 15201

Climate and Geographic Design Criteria (Table R302.1 IRC)

Ground Snow Load	Wind Speed	Seismic Design Category	Subject to damage from			Winter Design Temp	Ice Barrier Required	Flood Hazard	Air Freezing Index	Mean Annual Temp
			Weathering	Frost Line	Depth Termites					
30psf	115	A	Severe(43)	36"	Moderate to Heavy	5 Degrees				49.1 Degrees

House Design Criteria

Heating Degree Days	Cooling Degree Days	Climate Zone	Mean Days Clear	Mean Days Rain	Mean Days Snow	Percent Possible Sunshine	Average Annual Precipitation	Average Annual Snowfall	Conditioned Area	Conditioned Volume
6,291	539	Zone 6	70	140	13	51%	36.00"	47.00"	2433 sq/ft	22,081 cu/ft

Impervious Surface Area Calculations

Lot size	3146 sf
New Residence	1538 sf
Garden Area	100 sf
Total Impervious Area Proposed	1638 sf

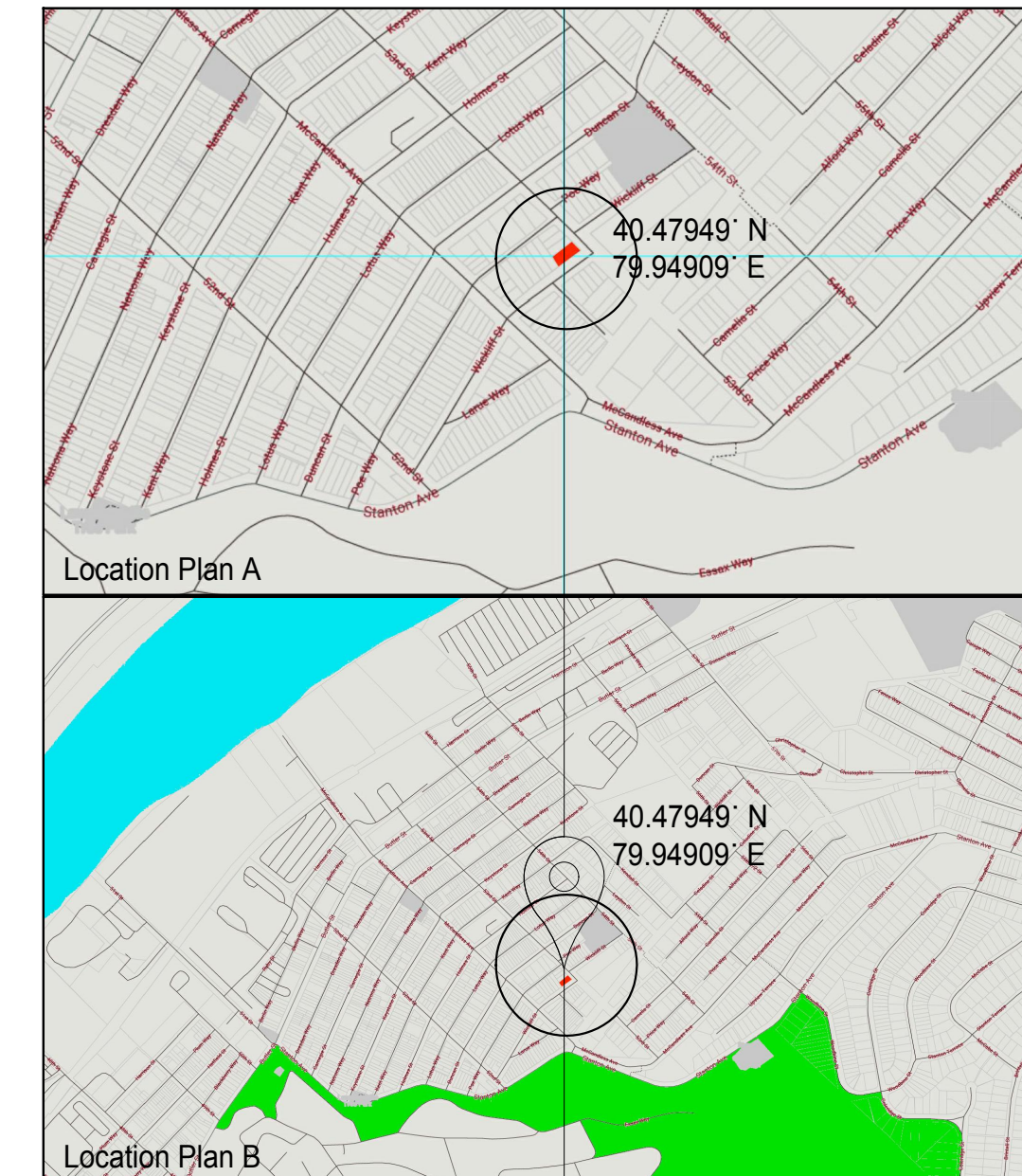
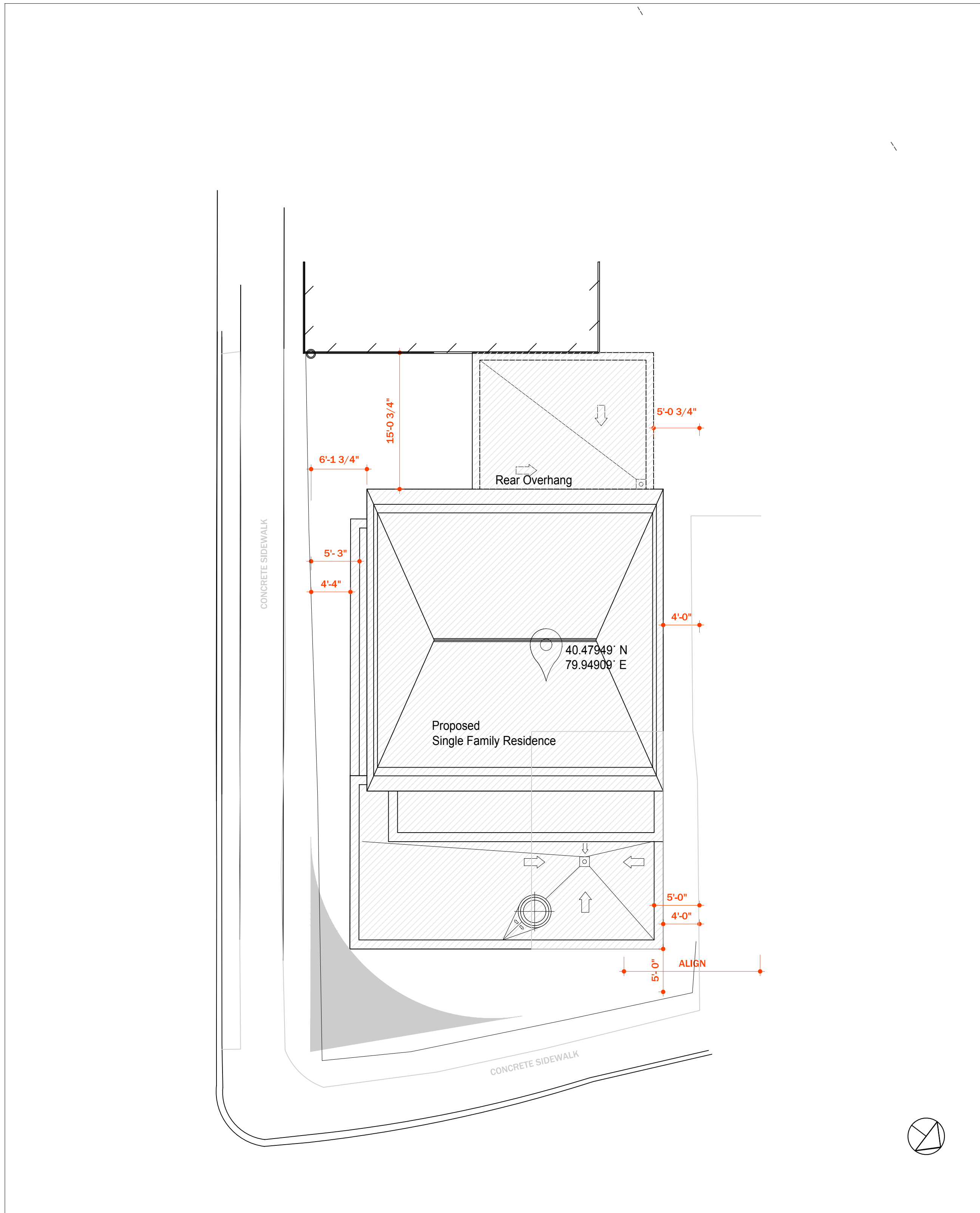
- General Notes
- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect. **When in doubt, ask.**
 - Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, PC of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
 - All work shall be installed in accordance with applicable codes and regulations.
 - Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
 - All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
 - All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

lequeu

Owner

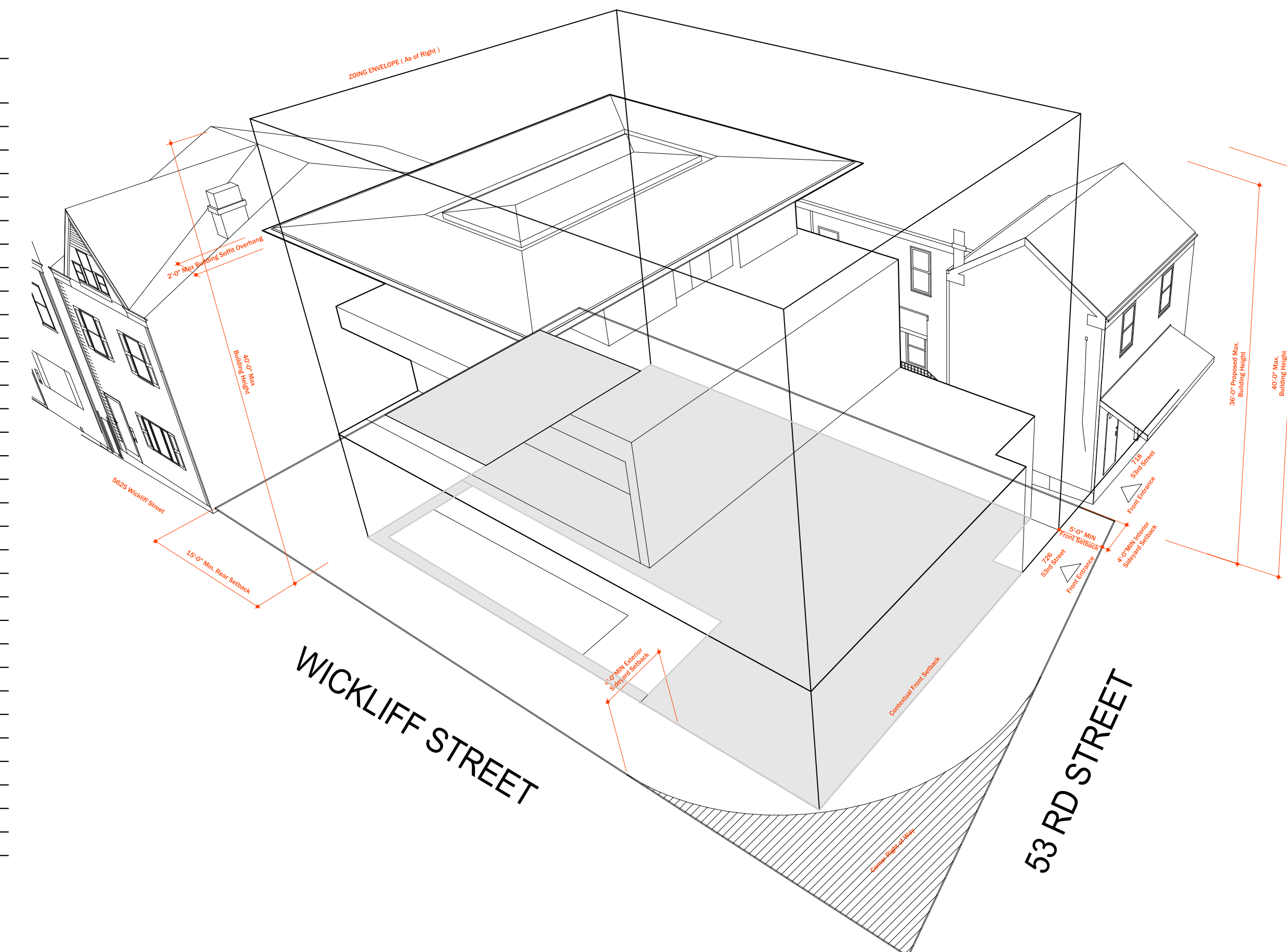
Building Code Information

General:	2015 International Residential Building Code
Energy:	2015 Inter'l Energy Conservation Code
Electrical:	2014 (NEC-NFPA 70)
Fire:	2015 International Fire Code
Occupancy Group:	Single Family Dwelling
Stories:	3



Sheet List

Number	Sheet Name
A0 SP	Site Plan
A0 PH1	Passive House Information
A0 01	Abbreviations
A0 ZA	Zoning Analysis
A0 CR1	Code Review
L1	Landscape Plan
L2	Landscape Details
A1	Foundation Plan
A2	Second Floor Plans
A3	First Floor Plans
A4	Third Floor Plans
A5	Roof Plan
A6	Elevations
A7	First/Second Floor Framing Plans
A8	Third Floor/ Roof Framing Plans
A10	Building Section A Cross
A11	Building Section B Longitudinal
A14	Wall Sections
A17	Schedules and Specifications
A17	Door Details
A18	Window Details
A19	Skylight Finish Details
A20	Kitchen / Bath Interior Elevations
A22	Interior Elevations
A23	Casework
A24	Casework
A25	Finishes
A26	Exterior Views



8 Site Plan
SCALE: 1/8" = 1'-0"

4 Sheet List
Not to Scale

1 Zoning Envelope
Not to Scale

Project

726 53rd Street
Pittsburgh PA 15201

Client Job no.
Borsch Residence 1920

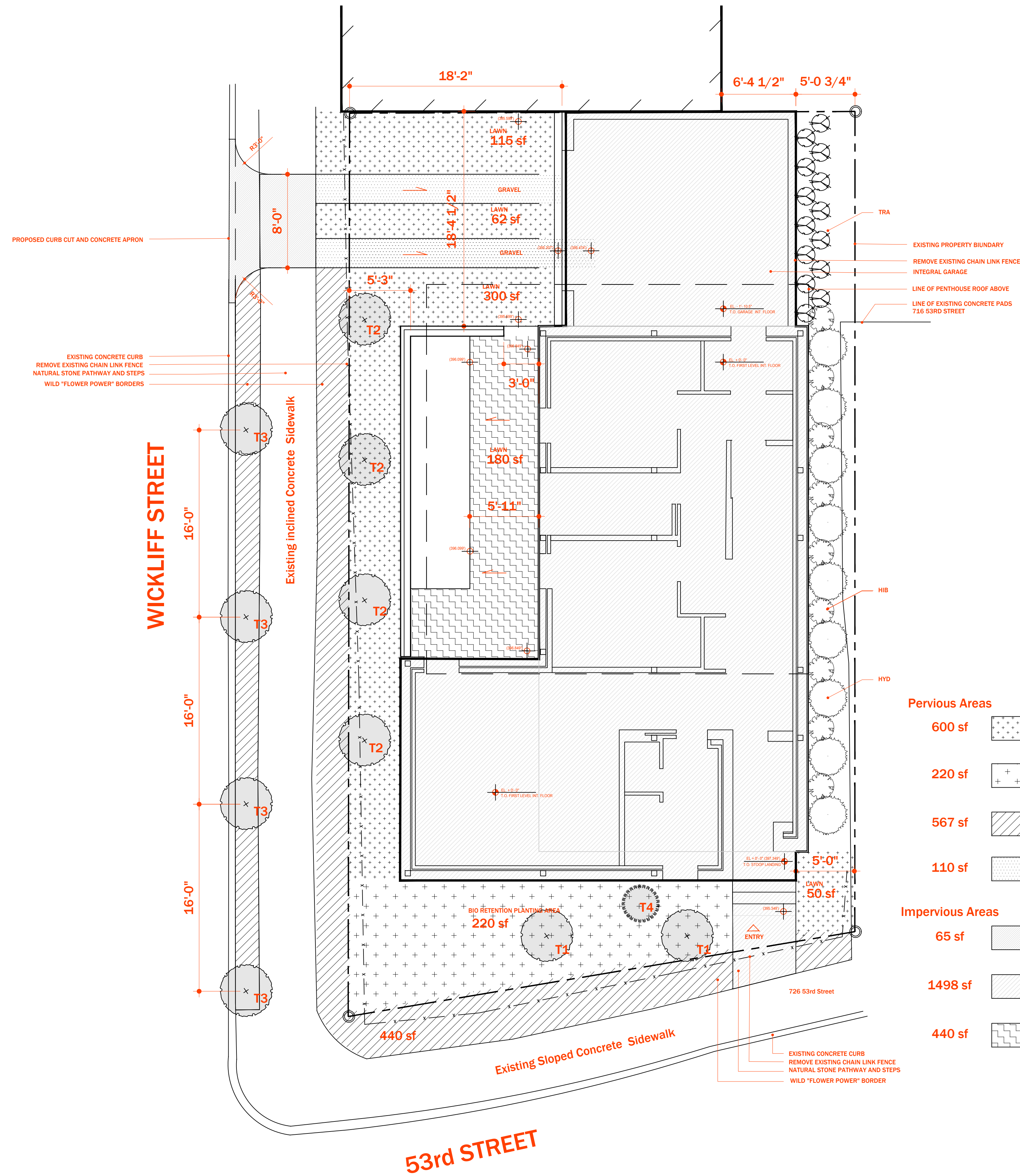
Drawing title

Site Plan
Zoning Envelope

Drawing no.	Revision	Date
A.0 SP	D	10.09.202
Scale	Drawn	Check
As Noted	pt	

empty space design

© 2020



3 Planting Diagram
SCALE: 3/16" = 1'-0" PLAN

Planting Schedule

Area	Species Type	Common Name	Size	Gender	Osgren	Native	Quantity	Material Notes
Front yard	Tree	T1 Acer Plamatum 'Sango Kaku'	Coral bark Silver Maple	4" Cal	-	1	2	
		Grasses	Buchloë dactyloides	Buffalo Grass	Seed	-	1	35 3lbs / 1k
	Shrub	T4 Hamamelis x intermedia 'Pallida'	Witch Hazel	15 gallon	-	5	9	5' height
		Perennial						
Int. Side yard	Shrub	HYD Hydrangea Annabelle		3 gallon	-	4	9	4'-0" o.c.
		HIB Hibiscus 'Rose of Sharon'	Blue Chiffon®	3 gallon	-	4	10	4'-0" o.c.
	Climbers	TRA Trachelosperum Asiaticum	Star Jasmine	1 gallon	-	5	14	1'-4" o.c.
	Ext. Side yard	Tree	T2 Amelanchier laevis	Allegheny serviceberry	3" Cal	-	3	4
T3 Tilia Cordata 'Greenspire'			Little Leaf Linden	3" Cal	-	7	4	16'-0" o.c.
Perennial								

Wildflower curb planting bed
Meadow planting bed along Wickliff

2 Planting Schedule
SCALE: Not To Scale SECTION

- Pervious Areas**
 - 600 sf Grasses
 - 220 sf Bio Retention Planting
 - 567 sf Wildflower Planting Edge
 - 110 sf Gravel
- Impervious Areas**
 - 65 sf New Concrete Apron
 - 1498 sf Concrete
 - 440 sf Synthetic Grass

- General Notes
- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect. When in doubt, ask.
 - Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, PC of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
 - All work shall be installed in accordance with applicable codes and regulations.
 - Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
 - All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
 - All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

lequeu

Owner

Project

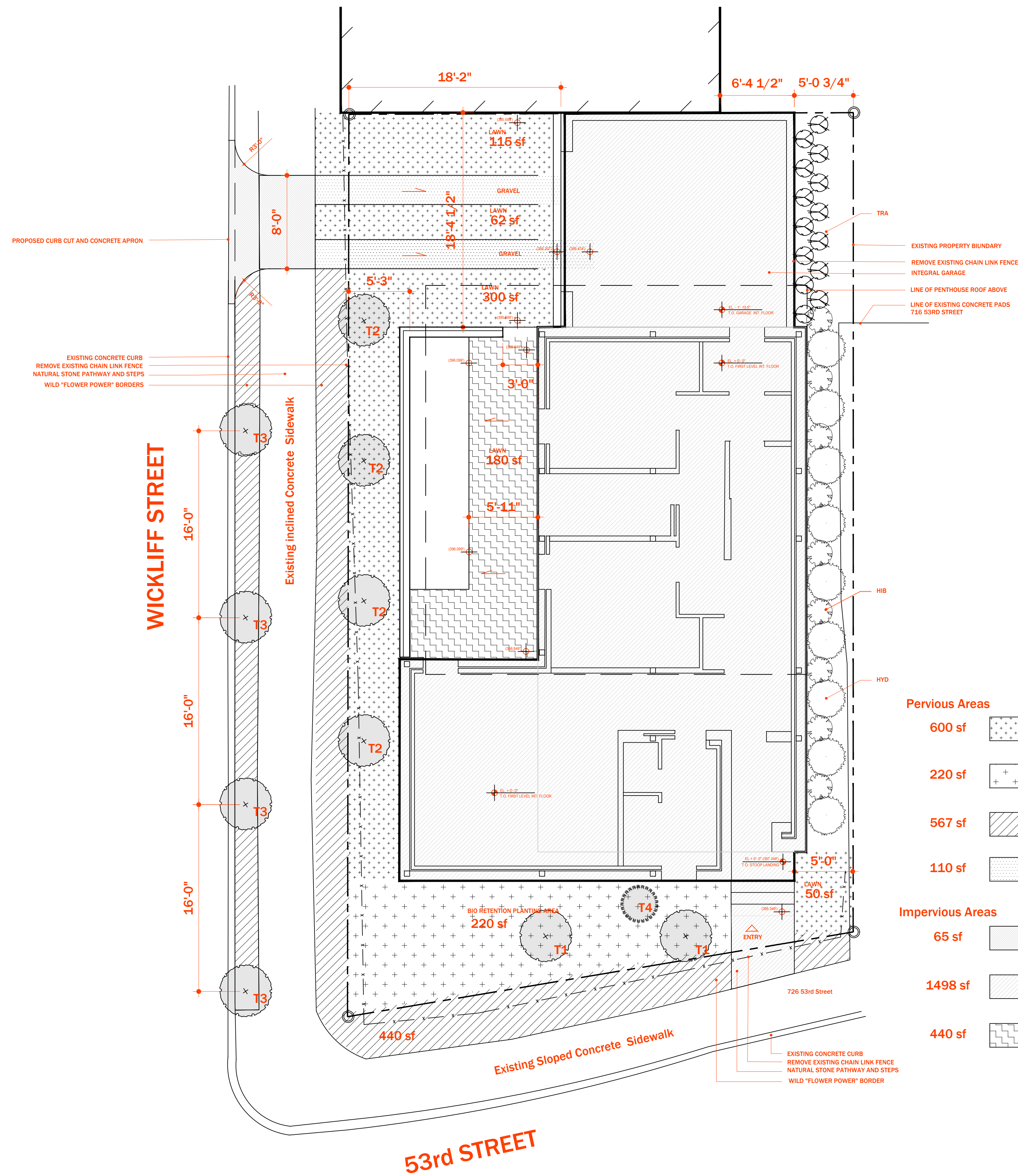
726 53rd Street
Pittsburgh PA 15201

Client Job no.
Borsch Residence 1920

Drawing title

Landscape Plan

Drawing no.	Revision	Date
L1	D	10.09.2021
Scale	Drawn	Check
As Noted	pt	



3 Planting Diagram
SCALE: 3/16" = 1'-0" PLAN

Planting Schedule

Area	Species Type	Common Name	Size	Gender	Osgren	Native	Quantity	Material Notes
Front yard	Tree	T1 Acer Plamatum 'Sango Kaku'	Coral bark Silver Maple	4" Cal	-	1	2	
		Grasses	Buchloë dactyloides	Buffalo Grass	Seed	-	1	35 3lbs / 1k
	Shrub	T4 Hamamelis x intermedia 'Pallida'	Witch Hazel	15 gallon	-	5	9	5' height
		Perennial						
Int. Side yard	Shrub	HYD Hydrangea Annabelle		3 gallon	-	4	9	4'-0" o.c.
		HIB Hibiscus 'Rose of Sharon'	Blue Chiffon®	3 gallon	-	4	10	4'-0" o.c.
	Climbers	TRA Trachelosperum Asiaticum	Star Jasmine	1 gallon	-	5	14	1'-4" o.c.
	Ext. Side yard	Tree	T2 Amelanchier laevis	Allegheny serviceberry	3" Cal	-	3	4
T3 Tilia Cordata 'Greenspire'			Little Leaf Linden	3" Cal	-	7	4	16'-0" o.c.
Perennial								

Wildflower curb planting bed
Meadow planting bed along Wickliff

2 Planting Schedule
SCALE: Not To Scale SECTION

Pervious Areas

- 600 sf Grasses
- 220 sf Bio Retention Planting
- 567 sf Wildflower Planting Edge
- 110 sf Gravel

Impervious Areas

- 65 sf New Concrete Apron
- 1498 sf Concrete
- 440 sf Synthetic Grass

- General Notes
- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect. When in doubt, ask.
 - Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, PC of any discrepancies between, additions to, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
 - All work shall be installed in accordance with applicable codes and regulations.
 - Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
 - All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
 - All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

lequeu

Owner

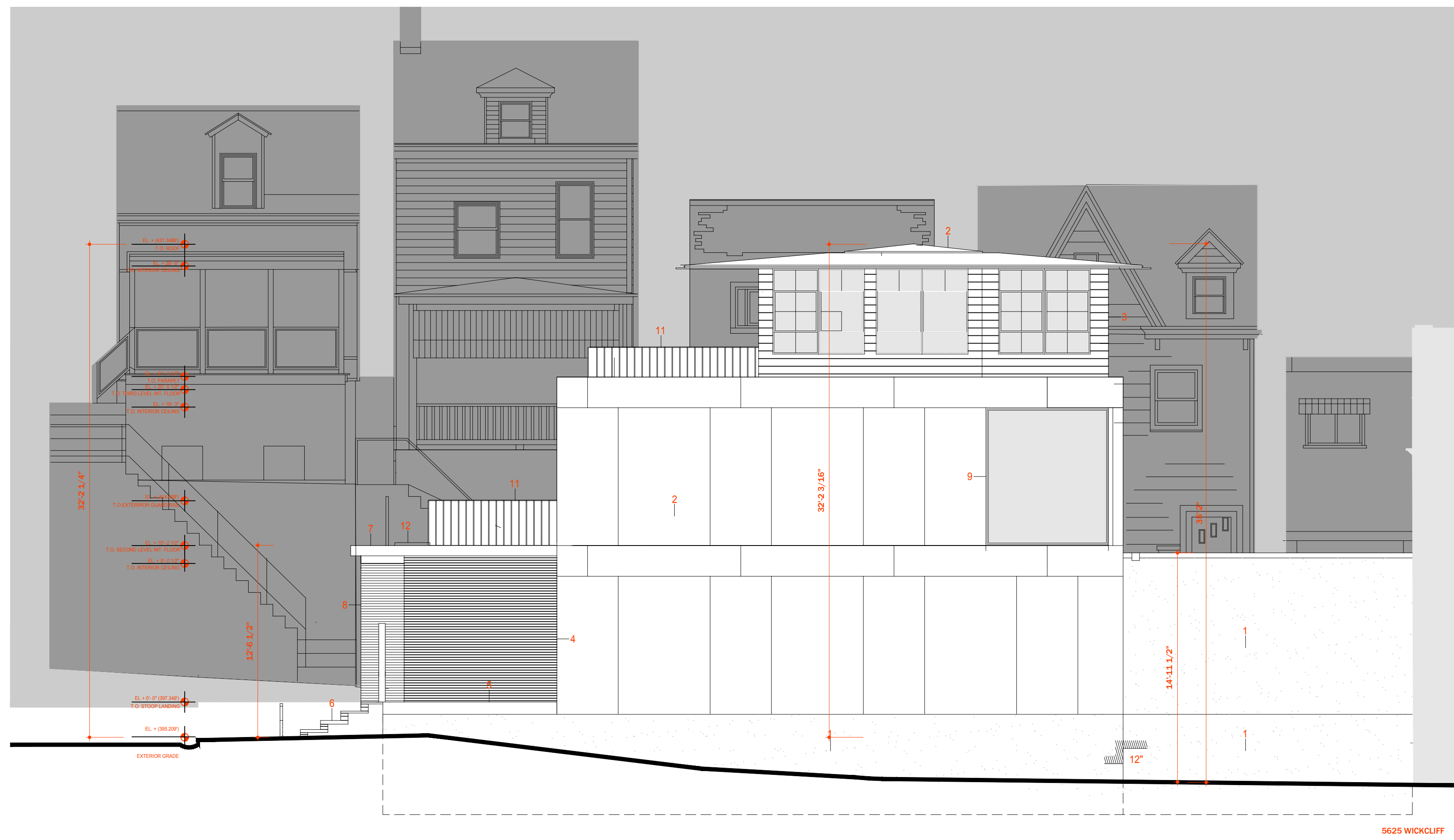
Project
726 53rd Street
Pittsburgh PA 15201

Client Job no.
Borsch Residence 1920

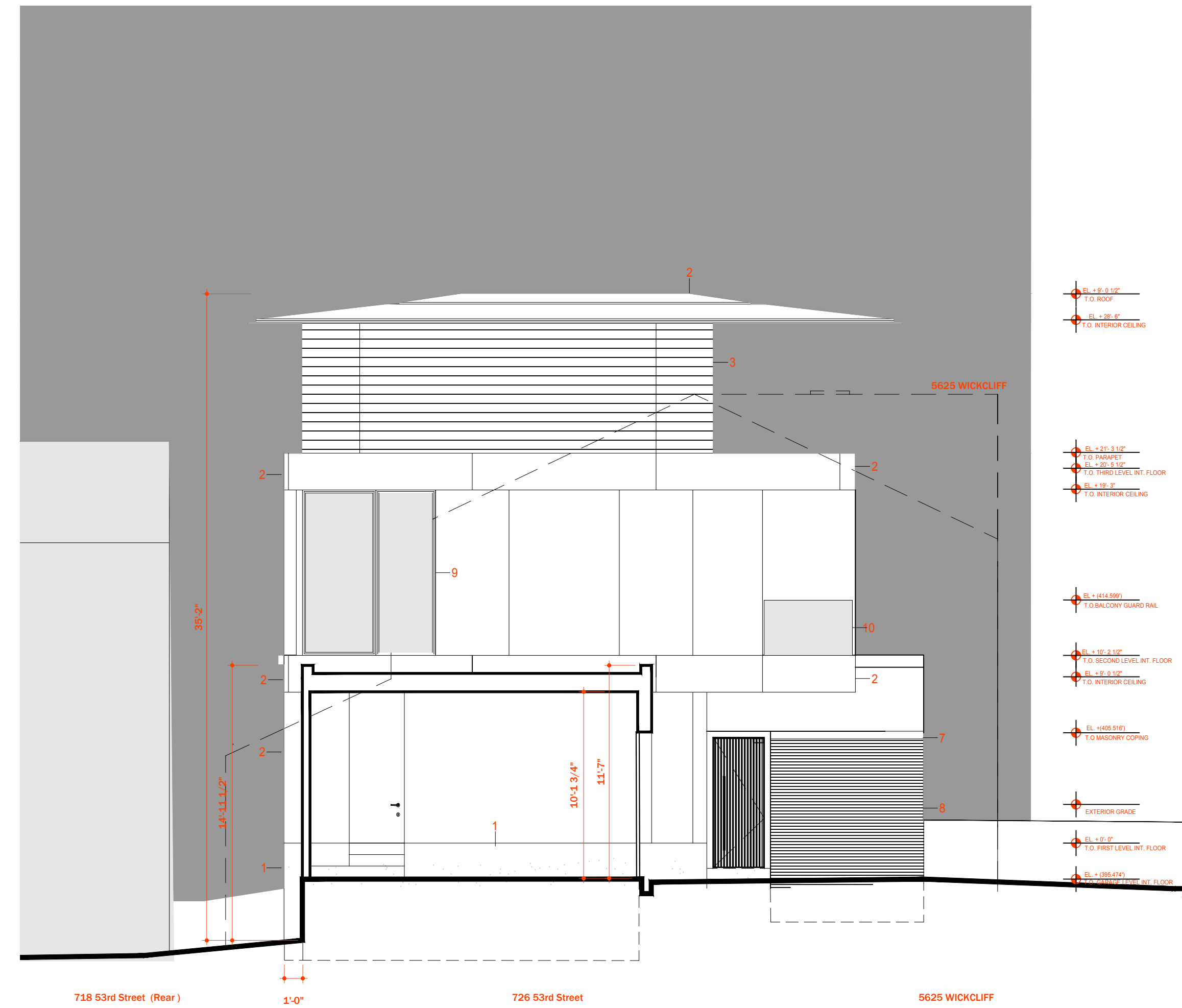
Drawing title

Landscape Plan

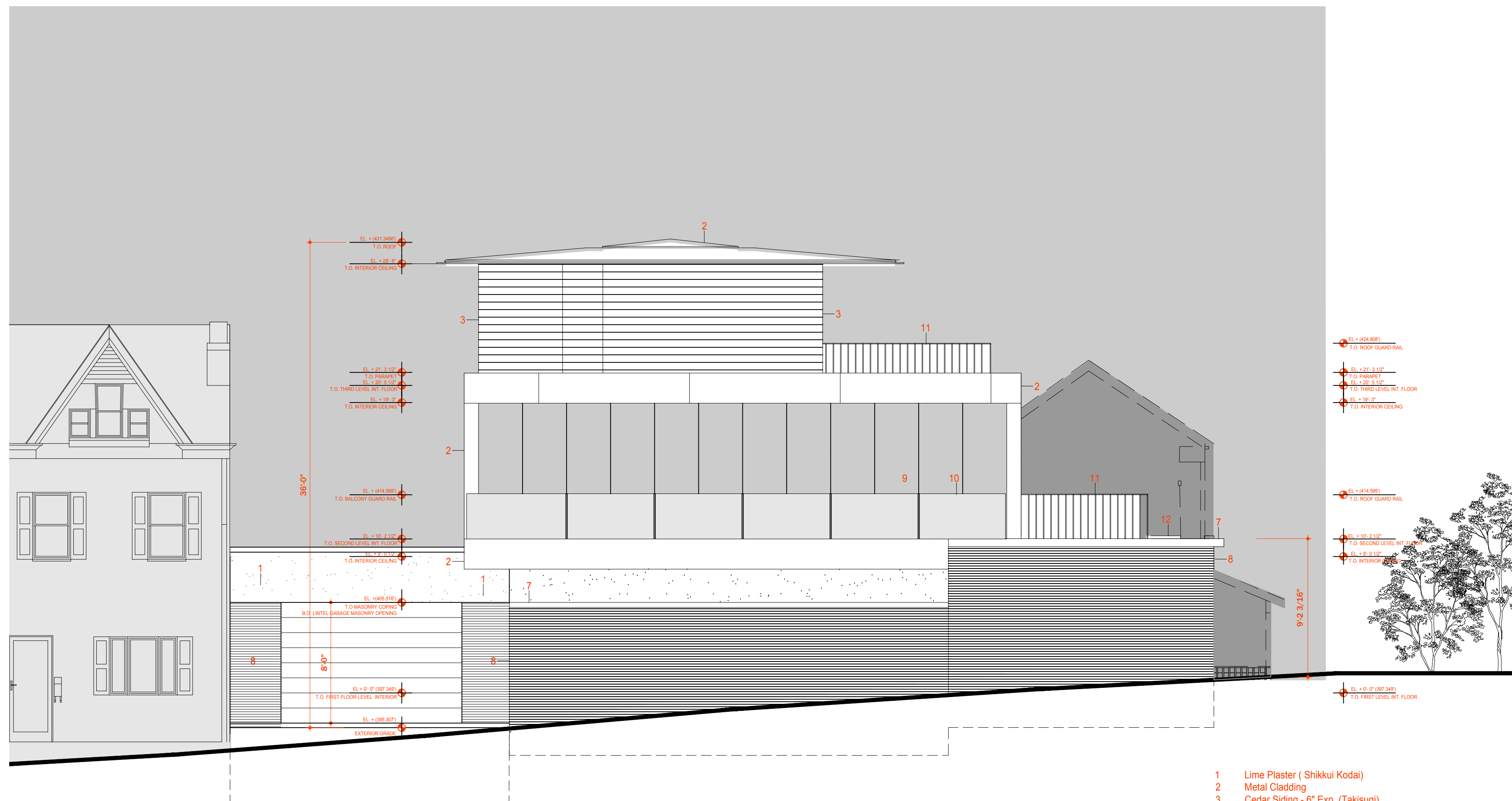
Drawing no.	Revision	Date
L1	D	10.09.2021
Scale	Drawn	Check
As Noted	pt	



2 North Elevation
SCALE: 3/16" = 1'-0"

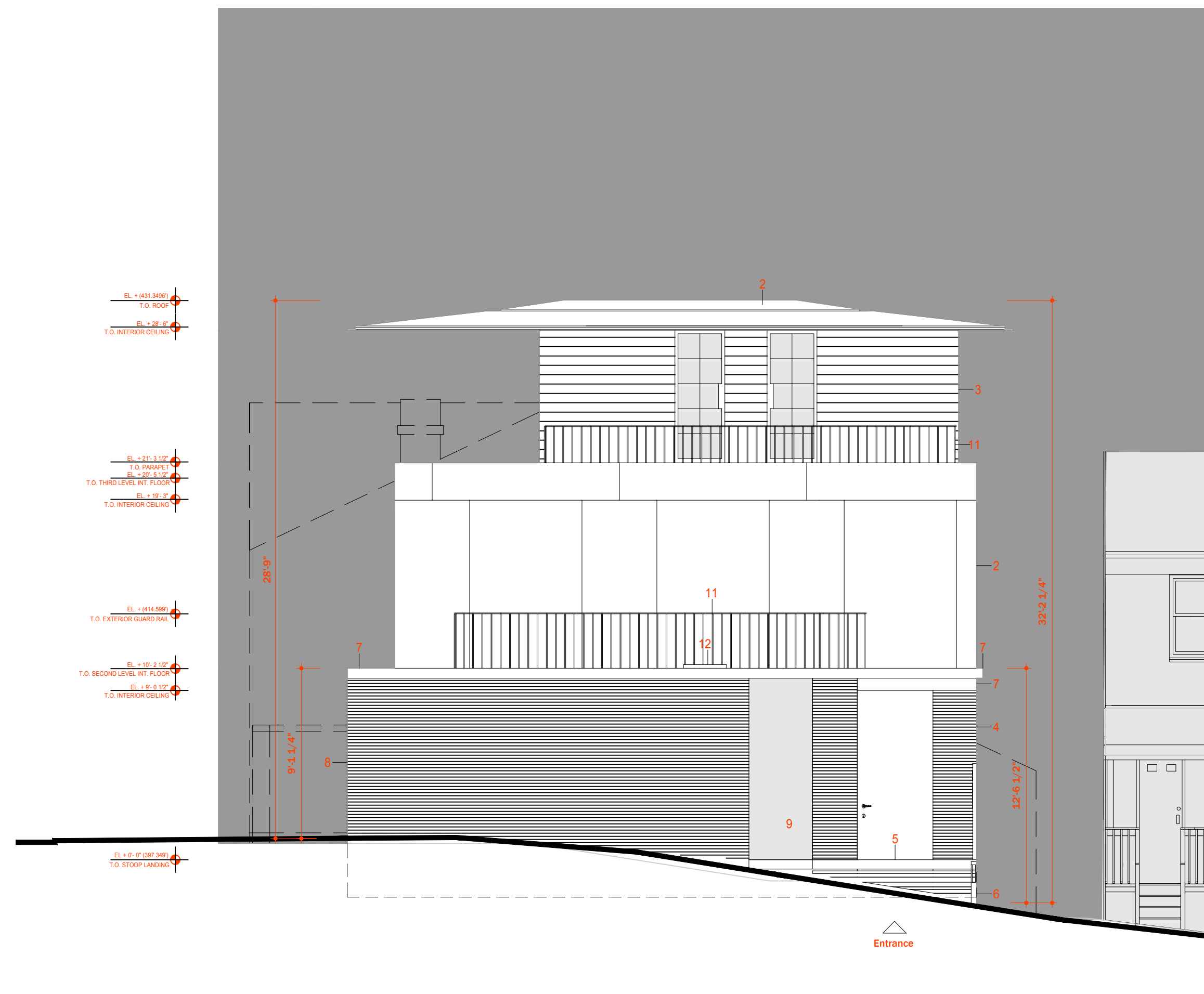


2 West Elevation
SCALE: 3/16" = 1'-0"



2 South Elevation
SCALE: 3/16" = 1'-0"

- 1 Lime Plaster (Shikkui Kodai)
- 2 Metal Cladding
- 3 Cedar Siding - 6" Exp. (Takisugi)
- 4 Stone Bricks - Roman Vals Quartz
- 5 Stone Paving - Vals Quartz
- 6 Stone Steps - Vals Quartz
- 7 Coping - Limestone
- 8 Brick - Roman
- 9 Window - Aluminum
- 10 Railing - Glass
- 11 Railing - Metal
- 12 Skylight



2 East Elevation
SCALE: 3/16" = 1'-0"

- General Notes
1. Any conflicts in the drawings or between new and existing construction shall be referred to the Architect. **When in doubt, ask.**
 2. Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, P.c of any discrepancies between, additions, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. **Do not scale drawings.**
 3. All work shall be installed in accordance with applicable codes and regulations.
 4. Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
 5. All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
 6. All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

lequeu

Owner

Project

726 53rd Street
Pittsburgh PA 15201

Client Job no.
Borsch Residence 1920

Drawing title

Elevations

Drawing no.	Revision	Date
A.6	C	09.02.202
Scale	Drawn	Check
3/16" = 1'-0"	pt	

empty space design

© 2020

SEVEN TWO SIX RESIDENCE

New Three Story Single Family Residence

726 53rd Street, Pittsburgh PA, 15201

Climate and Geographic Design Criteria (Table R302.1 IRC)

Ground Snow Load	Wind Speed	Seismic Design Category	Subject to damage from			Winter Design Temp	Ice Barrier Required	Flood Hazard	Air Freezing Index	Mean Annual Temp
			Weathering	Frost Line	Depth Terminate					
30psf	115	A	Severe(43)	36"	Moderate to Heavy	5 Degrees				49.1 Degrees

House Design Criteria

Heating Degree Days	Cooling Degree Days	Climate Zone	Mean Days Clear	Mean Days Rain	Mean Days Snow	Percent Possible Sunshine	Average Annual Precipitation	Average Annual Snowfall	Conditioned Area	Conditioned Volume
6,291	539	Zone 6	70	140	13	51%	36.00"	47.00"	2433 sq/ft	22,081 cu/ft

Impervious Surface Area Calculations

Lot size	3146 sf
New Residence	1538 sf
Garden Area	100 sf
Total Impervious Area Proposed	1638 sf

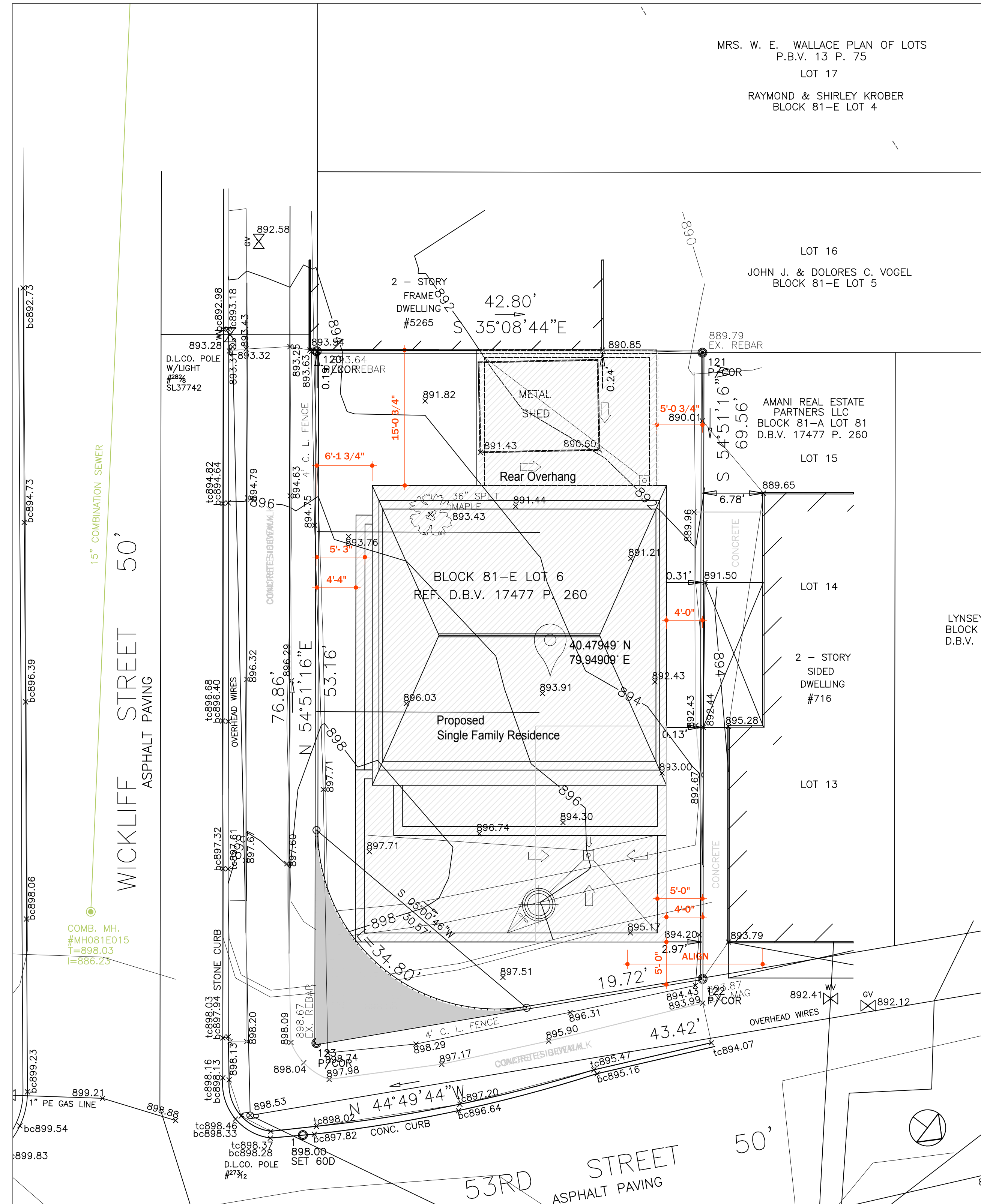
Building Code Information

General:	2015 International Residential Building Code
Energy:	2015 Inter'l Energy Conservation Code
Electrical:	2014 (NEC-NFPA 70)
Fire:	2015 International Fire Code
Occupancy Group:	Single Family Dwelling
Stories:	3

- General Notes
- Any conflicts in the drawings or between new and existing construction shall be referred to the Architect. When in doubt, ask.
 - Contractor shall verify all dimensions and existing conditions in the field and shall advise Fukui Architects, P.C. of any discrepancies between, additions, deletions from, or alterations to any and all conditions prior to proceeding with any phase of work. Do not scale drawings.
 - All work shall be installed in accordance with applicable codes and regulations.
 - Contractor shall be responsible for the patching, repairing, and preparations of all existing floor, wall, and ceiling surfaces as required to receive scheduled finishes.
 - All items shown on drawings are finished construction assemblies. Contractor shall provide and install all material required for finished assemblies.
 - All reports, plans, specifications, computer files, field data, notices, and other documents and instruments prepared by the Architect as instruments of service shall remain the property of the Architect. The Architect shall retain all common law statutory, and other reserved rights, including the copyright thereto.

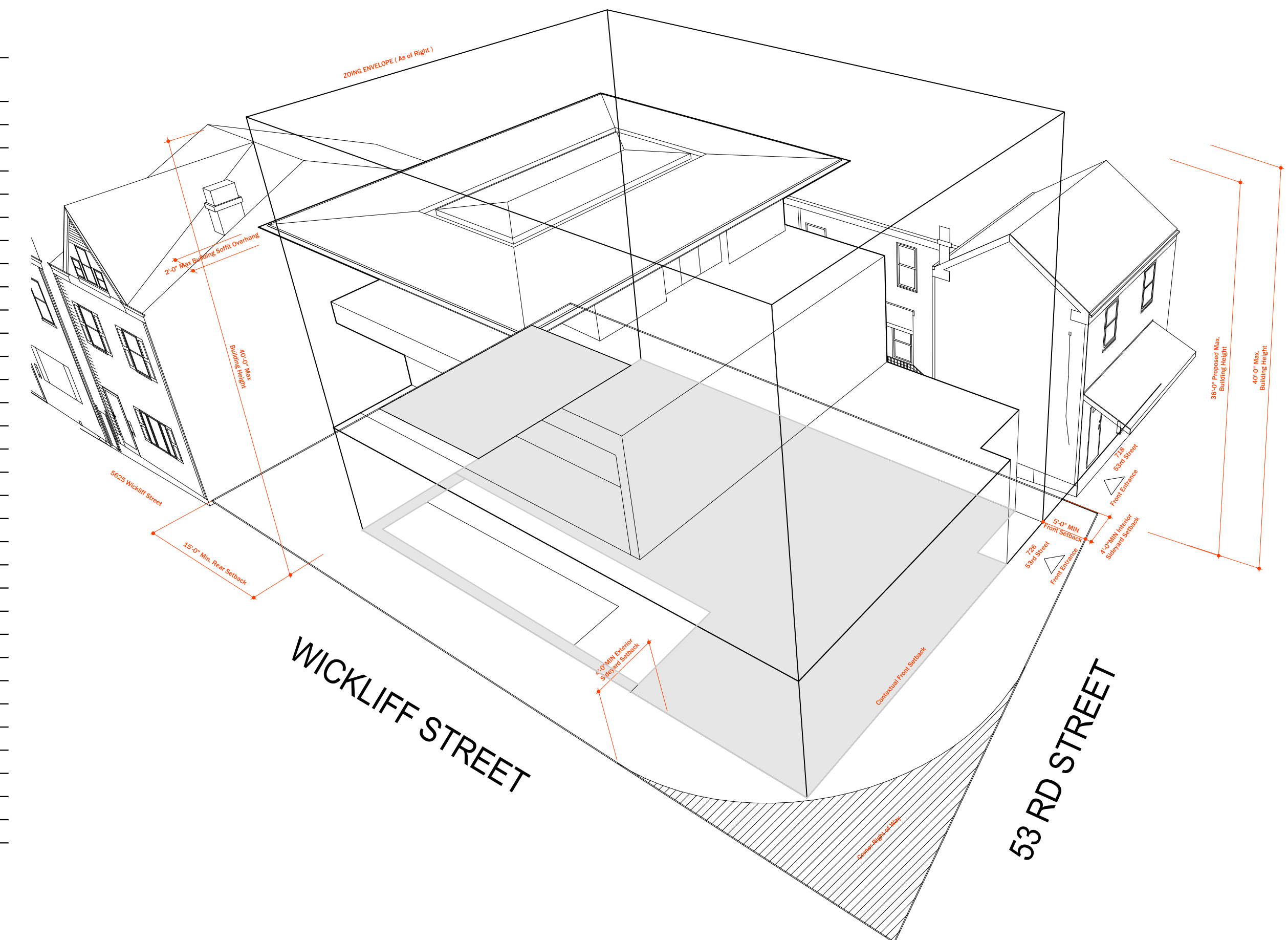
lequeu

Owner



Sheet List

Number	Sheet Name
A0 SP	Site Plan
A0 PH1	Passive House Information
A0 01	Abbreviations
A0 ZA	Zoning Analysis
A0 CR1	Code Review
L1	Landscape Plan
L2	Landscape Details
A1	Foundation Plan
A2	Second Floor Plans
A3	First Floor Plans
A4	Third Floor Plans
A5	Roof Plan
A6	Elevations
A7	First/Second Floor Framing Plans
A8	Third Floor/ Roof Framing Plans
A10	Building Section A Cross
A11	Building Section B Longitudinal
A14	Wall Sections
A17	Schedules and Specifications
A17	Door Details
A18	Window Details
A19	Skylight Finish Details
A20	Kitchen / Bath Interior Elevations
A22	Interior Elevations
A23	Casework
A24	Casework
A25	Finishes
A26	Exterior Views



8 Site Plan
SCALE: 1/8" = 1'-0"

4 Sheet List
Not to Scale

1 Zoning Envelope
Not to Scale

Project	726 53rd Street Pittsburgh PA 15201	
Client	Borsch Residence	Job no. 1920
Drawing title	Site Plan Zoning Envelope	
Drawing no.	Revision	Date
A.0 SP	D	10.09.202
Scale	Drawn	Check
As Noted	pt	

empty space design

© 2020