

Technical Campus







COLLIN CONSTRUCTION SERVICES

COLLIN COLLEGE

MEET THE TEAM



Sarah Penso - Estimator

She is a first-year construction management student at Collin College. She first became interest in construction by working with her father who is an engineer and surveyor. She graduated in 2017 with Bachelor's degree in Civil Engineering from Brazil and she intends to continue her education and expand her knowledge in the industry to became a better professional.



Kimberly Rippentrop- Drafter

Kimberly started learning CADD in 1992 at Collin College with AutoCAD Release 9 on a digitizer. She has worked in the drafting and design industry for 25 years with companies like Nortel and Lockheed Martin and has owned her own custom home design and drafting company for the past 7 years. She's worked with multiple design firms, builders and software over the years and thoroughly enjoy today's 3D modeling capabilities.



Robert Chadwick – Estimator

Robert is a second-year student in Construction Management at Collin College and is currently working in commercial drywall with estimating and field work for Commercial Gyp Systems LLC. He got interested in construction because his father worked his way from the bottom until the top of the drywall trade then opening his own company for the last 6 years. Robert plans to grow the company based on the fundamental skills gained through the Collin College program.



Technical Campus

MEET THE TEAM



DION WILLIAMS – Estimator

Dion is a second-year student in the construction management program at Collin College. His first experience in the industry came as an estimating inter for McCarthy this past Summer. Since then he has moved into another preconstruction role with a local homebuilder. Upon graduation Dion will look the move into the field and eventually become a Project Manager.



Matt Austin – Drafter

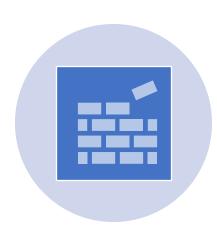
Matt is an aspiring architect and second-year CADD student at Collin College. He is currently working as a custom home designer at Tag & Associates LLC. After earning his Associate's degree at Collin, Matt plans to continue working in the field while pursuing a Bachelor's degree in Architecture at The University of Texas at Arlington.



WHO WE ARE

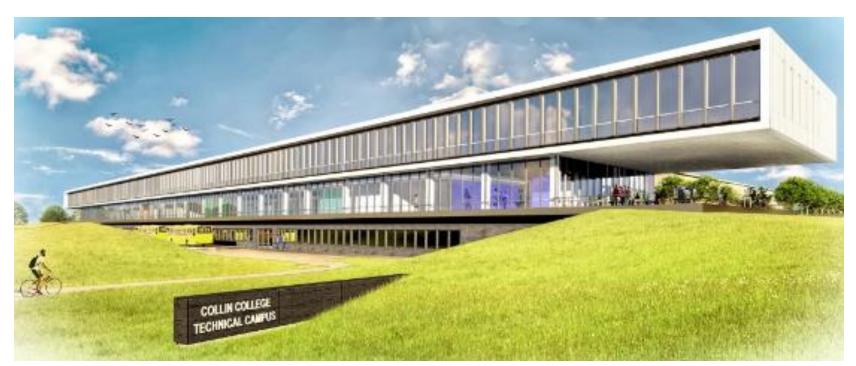


Collin County is one of the fastest growing counties in the nation with prolific construction projects in both residential and commercial properties.



Collin College's Construction Management program prepares students to work in a wide variety of management/supervisory positions, both in residential and commercial areas of construction.





WHAT WE DO







 The project will be managed by extremely reliable and detail-oriented personnel. Our priority is to provide a safe work site that will encourage productivity. Employees and subcontractors are encouraged to clean. Proper equipment training is utilized to ensure safe handling of all tools.

Qualifications

- Collin Construction Services has proven to be an industry leader by guaranteeing service in the following ways:
- Provide exceptional customer support from the design concept until delivery
- Provide top-of-the-line quality and craftsmanship through and through in every step of our building process
- Collin Construction Services focuses on hiring local craftsmanship, trades and purchasing local supplies in the North Carolina region. We pride our company on supporting local industry at any demographic area that we are building in.





MISSION STATEMENT

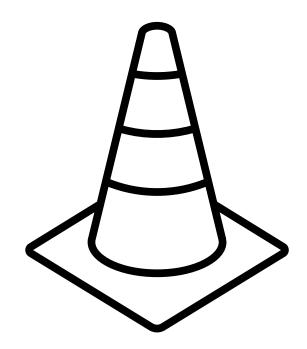
Our mission is to provide exceptional service from the design concept until delivery. We are committed to provide top-of-the-line quality and craftsmanship through every step of our building process At Collin Construction Services we are confident that we can meet any challenges ahead and cooperate with our clients delivering their home on time, within budget and according to specifications.





SAFETY

- At Collin Construction Services we put safety and quality of life first.
- Our safety program is an ongoing commitment to make sure everyone involved in our projects goes home safely at the end of each day.
- Our Employees are our number one assets- their safety is our top concern.
- We provide constant training to our workers and our jobsites are inspected throughout the day to identify potential hazards and monitor workers to make sure they are working safely.





OVERVIEW

Collin Construction Services is pleased to submit this proposal for services to support M/I Homes in achieving its goals for improving customer satisfaction by providing friendly relationship and walk alongside our customers through the building process.

Included in this proposal, Collin Construction Services have composed a full set of working drawings, a material and labor estimate, and a complete construction schedule.

The construction drawings, estimate and schedule include a Crawl Space Option.

PROPOSAL SUMMARY

This proposal was created by Collin Construction Services for the construction of a single-family home located in the town of Holly Springs, North Carolina, in M/I Homes' Honeycutt Farm Community.

Projected sales price for the base design is \$493,062.98. The projected sales price for the design with the optional crawl space is \$542,901.58. The expected timeline for completion is projected to be 175 days.





TEAM MEMBERS:

MATT AUSTIN
ROBERT CHADWICK
SARAH PENSO
KIMBERLY RIPPENTROP
DION WILLIAMS

	SHEET LIST
SHEET NUMBER	SHEET NAME

FIRST FLOOR PLAN
SECOND FLOOR PLAN
ROOF PLAN
FRONT & REAR ELEVATIONS
BUILDING SECTIONS
INTERIOR ELEVATIONS
SCHEDULES
SITE PLAN
FOUNDATION PLAN
COVER SHEET
SIDE ELEVATIONS



2550 BENDING BRANCH WAY ALLEN, TEXAS 75013 (972) 553-1290

100 Headrick Road



100 HEADRICK ROAD HOLLY SPRINGS, NC 27540

HONEYCUTT FARMS COMMUNITY
WAKE COUNTY

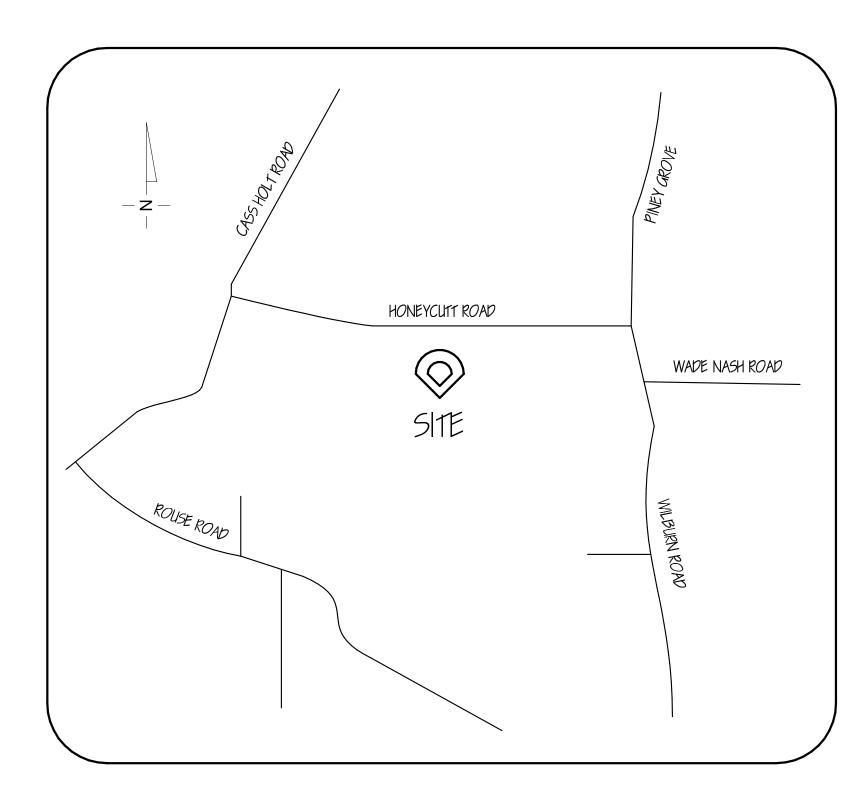
COVER SHEET

A-100

SCALE

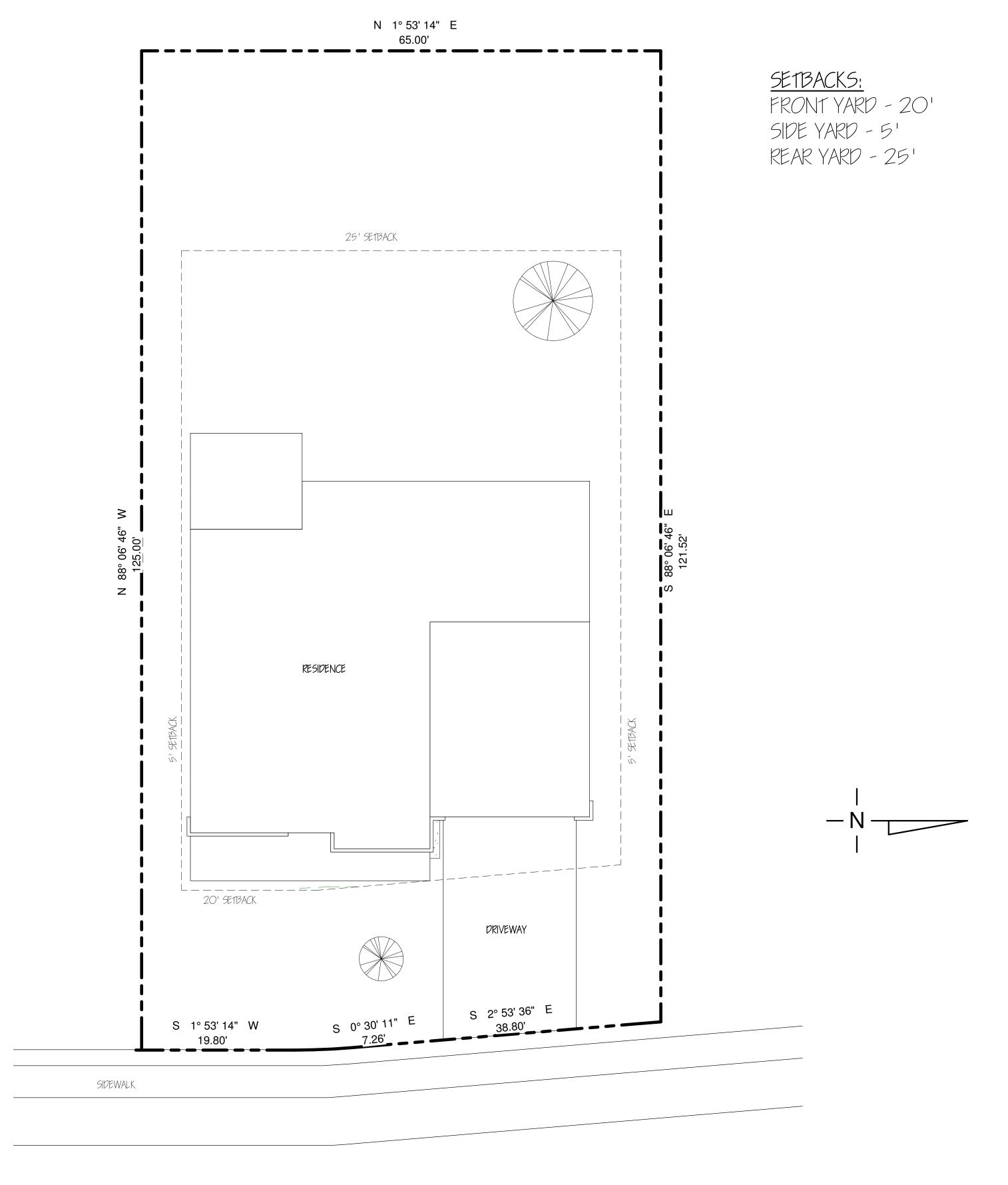
SURVEY PERFORMED BY:

RESIDENTIAL LAND SERVICES, PLLC.
1917 EVANS ROAD
CARY, NORTH CAROLINA 27513
PHONE (919) 379-9316
FIRM LICENSE # P-0873



SITE LOCATION

NOT TO SCALE



HEADRICK ROAD

VARIABLE WIDTH PUBLIC R/W

SITE PLAN

SCALE: 1/8"=1'-0" ON 22X34 AND 1/16"=1'-0" ON 11X17



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OO Headrick Road



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HONEYCUTT FARMS COMMUNITY
WAKE COUNTY

SITE PLAN

A-101

SCALE

FOUNDATION NOTES

I. FOUNDATIONS TO BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 4 OF THE 2018 NORTH CAROLINA RESIDENTIAL BUILDING CODE WITH ALL LOCAL AMENDMENTS.

2. STRUCTURAL CONCRETE TO BE $F_c = 3000 \text{ PSI}$, PREPARED AND PLACED IN ACCORDANCE WITH ACI STANDARD 318.

3. FOOTINGS TO BE PLACED ON UNDISTURBED EARTH, BEARING A MINIMUM OF 12" BELOW ADJACENT FINISHED GRADE, OR AS OTHERWISE DIRECTED BY THE CCDE ENFORCEMENT OFFICIAL.

4. FOOTING SIZES BASED ON A PRESUMPTIVE SOIL BEARING CAPACITY OF 2000 PSF. CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING THE SUITABILITY OF THE SITE SOIL CONDITIONS AT THE TIME OF CONSTRUCTION.

5, FOOTINGS AND PIERS SHALL BE CENTERED UNDER THEIR RESPECTIVE ELEMENTS, PROVIDE 2" MINIMUM FOOTING PROJECTION FROM THE FACE OF MASONRY,

6. MAXIMUM DEFTH OF UNBALANCED FILL AGAINST MASONRY WALLS TO BE AS SPECIFIED IN SECTION R404.1 OF THE 2018 NORTH CARCLINA RESIDENTIAL BUILDING CODE.

7. PILASTERS TO BE BONDED TO PERIMETER FOUNDATION WALL.

8. PROVIDE FOUNDATION WATERPROOFING, AND DRAIN WITH POSITIVE SLOPE TO OUTLET AS REQUIRED BY SITE CONDITIONS.

9. PROVIDED PERIMETER INSULATION FOR ALL FOUNDATIONS PER 2018 NORTH CARCLINA RESIDENTIAL BUILDING CCDE.

10. CORBEL FOUNDATION WALL AS REQUIRED TO ACCOMMODATE BRICK VENEERS.

II. CRAWL SPACE TO BE GRADED LEVEL, AND CLEARED OF ALL DEBRIS.

12. FOUNDATION ANCHORAGE SHALL BE CONSTRUCTED PER THE 2018 NORTH CAROLINA RESIDENTIAL CODE SECTION R403.1.6 MINIMUM ½ DIA. BOLTS

SPACED AT 6'-O" ON CENTER WITH A I" MINIMUM EMBEDMENT INTO MASONRY OR CONCRETE, ANCHOR BOLTS SHALL BE 12" FROM THE END OF EACH PLATE SECTION. MINIMUM (2) ANCHOR BOLTS PER PLATE SECTION ANCHOR BOLTS SHALL BE LOCATED IN THE CENTER THIRD OF THE PLATE.

13. ABBREVIATIONS:

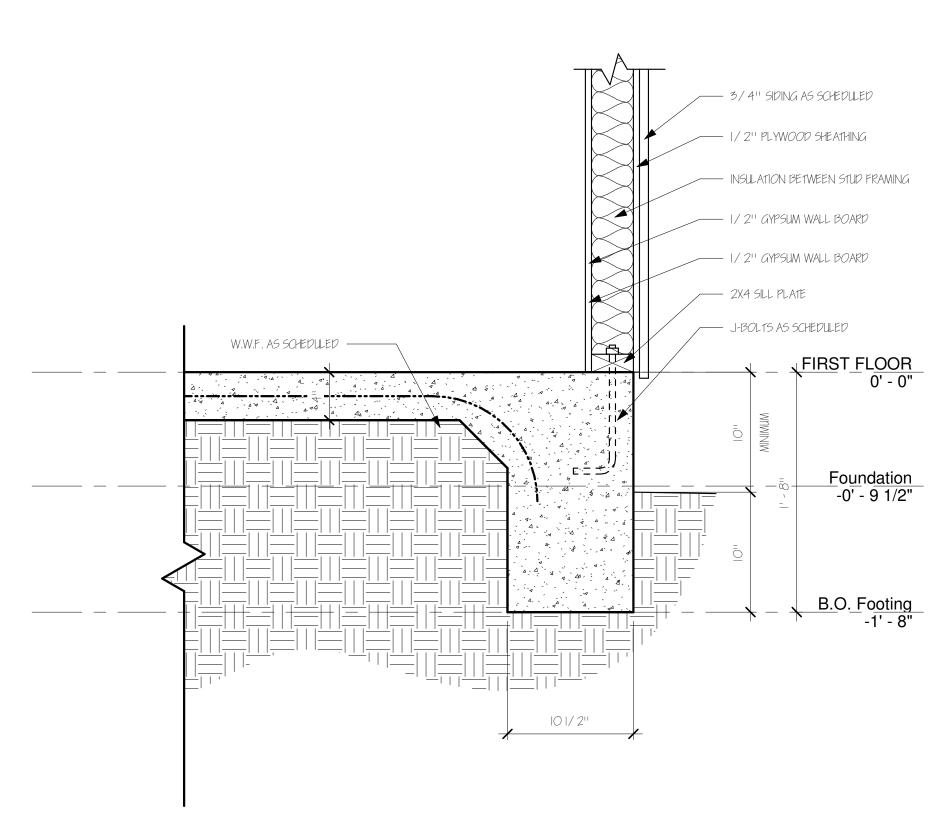
DJ = DOUBLE JOIST, GT = GIRDER TRUSS, SC= STUD COLUMN, EE=EACH END, TJ = TRIPLE JOIST, CL = CENTER LINE, SJ= SINGLE JOIST, FR= FLOOR TRUSS, DR= DOUBLE RAFTER, TR = TRIPLE RAFTER, OC = ON CENTER, PL = POINT LOAD

14. ALL PIERS TO BE 16"x16" MASONRY AND ALL PILASTERS TO BE 8"x16" MASONRY, TYPICAL. (UNO)

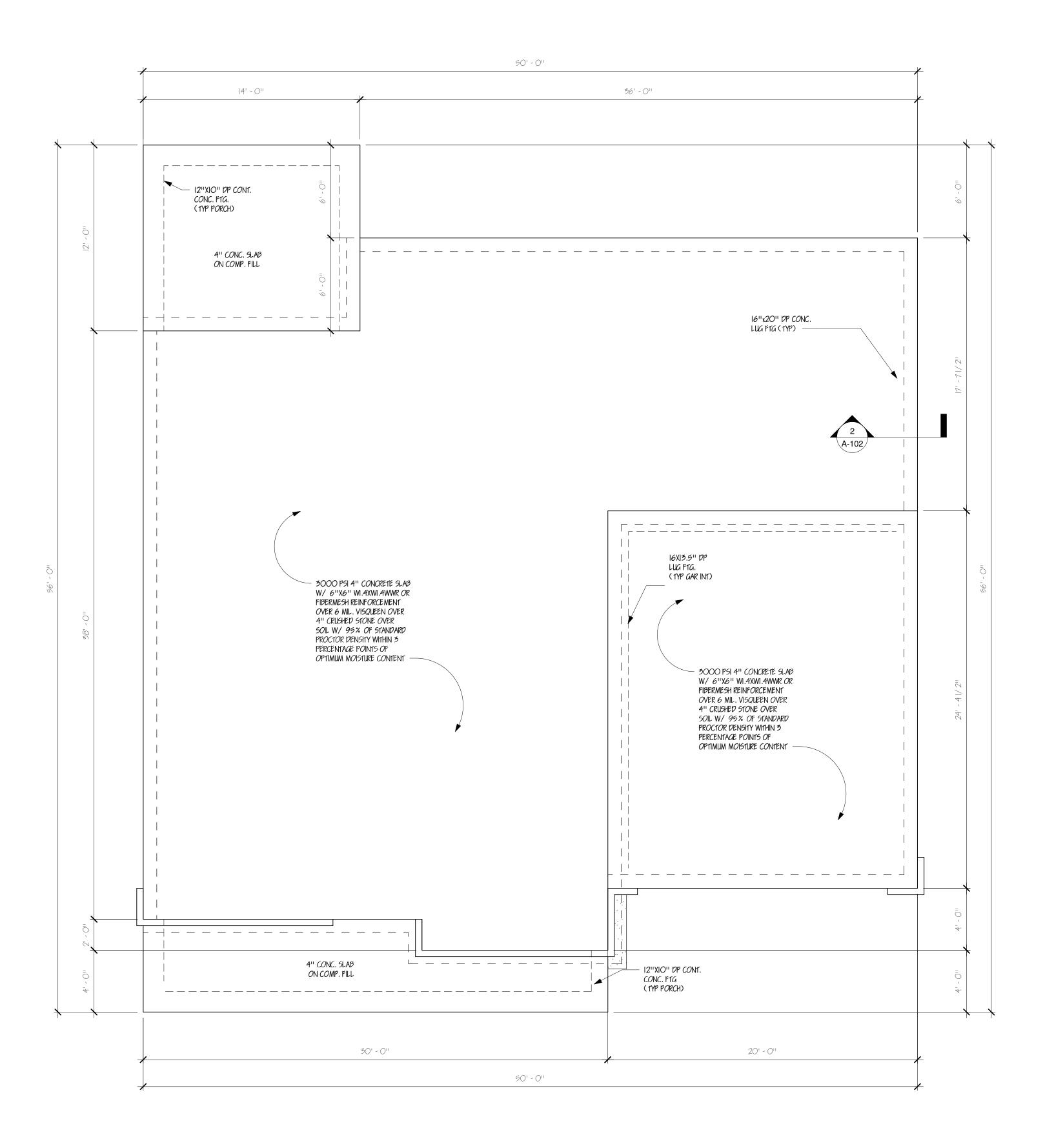
15. WALL FOOTINGS TO BE CONTINUOUS CONCRETE, SIZES PER STRUCTURAL PLAN.

16. A FOUNDATION EXCAVATION OBSERVATION SHOULD BE CONDUCTED BY A PROFESSIONAL GEOTECHNICAL ENGINEER, OR HIS QUALIFIED REPRESENTATIVE. IF ISOLATED AREAS OF YIELDING MATEÀ? ALS AND / OR POTENTIALLY EXPANSIVE SOILS ARE OBSERVED IN THE FOOTING EXCAVATIONS AT THE TIME OF CONSTRUCTION, SUMMIT ENGINEERING, LABORATORY AND TESTING, P.C. MUST BE PROVIDED THE OPPORTUNITY TO REVIEW THE FOOTING DESIGN PRIOR TO CONCRETE PLACEMENT.

17. ALL FOOTINGS AND SLABS ARE TO BEAR ON UNDISTURBED SOIL OR 95% COMPACTED FILL, VERIFIED BY ENGINEER OR CODE OFFICIAL.







FOUNDATION PLAN

SCALE: 1/4"=1'-0" ON 22X34 AND 1/8"=1'-0" ON 11X17



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O Headrick Road



100 HEADRICK ROAD HOLLY SPRINGS, NC 27540

HONEYCUTT FARMS COMMUNITY
WAKE COUNTY

FOUNDATION PLAN

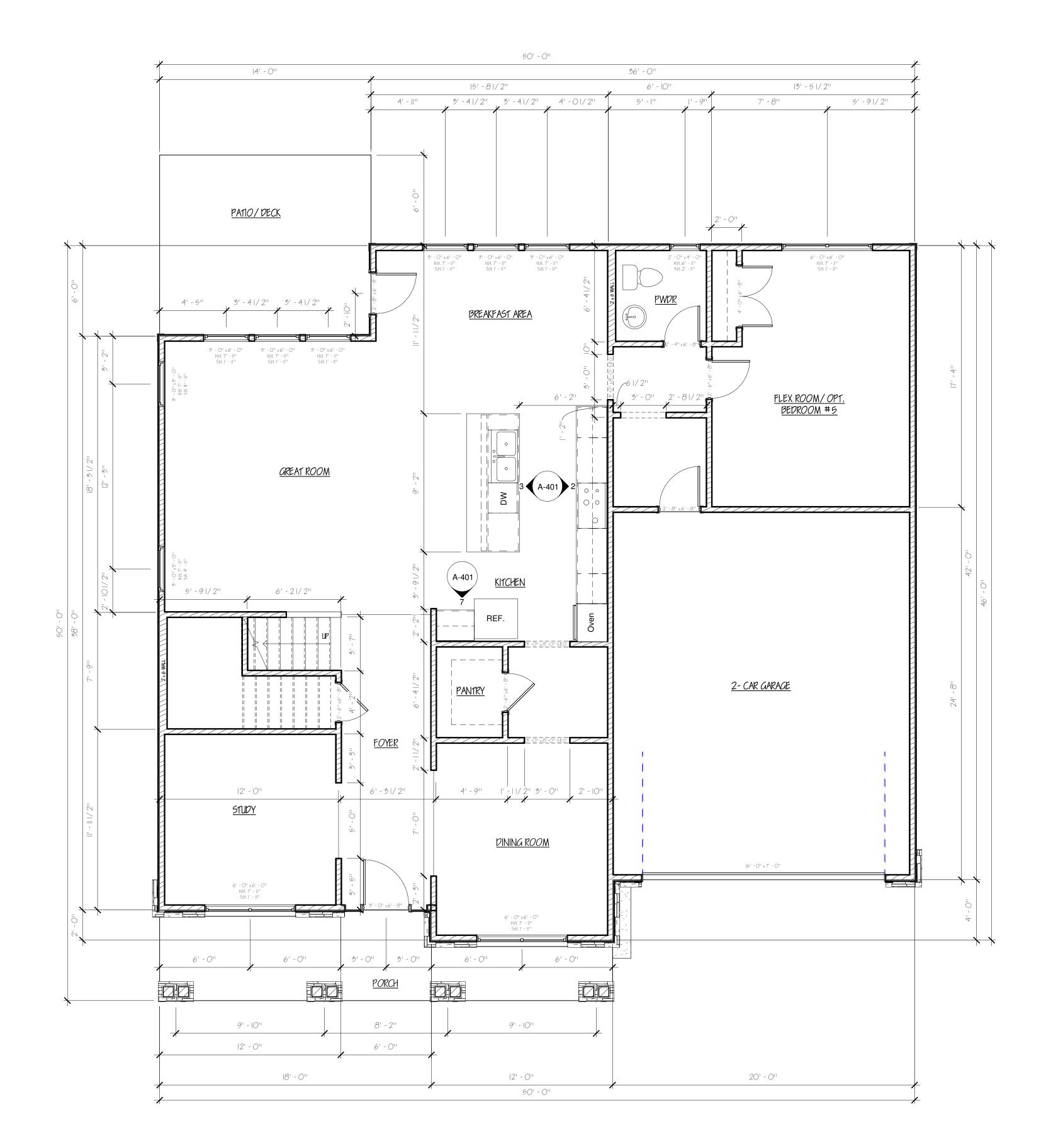
A-102

SCALE

GENERAL FLOOR PLAN NOTES

GENERAL FLOOR PLAN NOTES SHALL APPLY UNLESS NOTED OTHERWISE ON PLAN.

- I. WALL HEIGHTS: TYPICALLY 9'-1-1/2" FIRST FLOOR AND 8'-1-1/2" SECOND FLOOR U.N.O. ALL WALLS ARE CONSTRUCTED USING A DOUBLE TOP PLATE SPLICES AT DOUBLE TOP PLATE DO NOT NEED TO OCCUR AT VERTICAL STUDS BUT MUST BE AT LEAST 24" APART FROM JOIST IN OTHER TOP PLATE LAYER. SPECIAL WALL HEIGHTS ARE NOTED ON PLANS WHERE THEY OCCUR.
- 2. WALL THICKNESS IS TYPICALLY 4" AT EXTERIOR WALLS, 3-1/2" AT INTERIOR. 2X6 FRAME SHALL BE USED AT WALLS THAT BACK PU TO PLUMBING FIXTURES. WALLS GREATER THAN 10' HIGH SHALL BE FRAMED WITH 2X6 FRAMING OR GREATER AND WILL BE NOTED AS A SPECIAL CONDITION WHERE IT OCCURS ON PLAN.
- 3. HEADER HEIGHT SHALL BE 7'-11" AFF AT 9' PLATE HEIGHT AND 6'-11" AT 8' PLATE HEIGHT U.N.O.
- 4. SOFFITS, COFFERED CEILINGS, TREY CEILINGS AND OTHER SIGNIFICANT CEILING PLAN ELEMENTS ARE SHOWN ON THE FLOOR PLANS AND ARE DENOTED AS SINGLE DASHED LINES. UNLESS SPECIFICALLY CALLED OUT AS INCLUDED. KITCHENS DO NOT INCLUDE SOFFITS OVER WALL CABINETRY.
- 5. DOOR & WINDOW FRAMES, WHERE OCCURING NEAR CORNERS, SHALL BE A MINIMUM
 OF 4-1/2" FROM CORNER. EXCEPT FOR WALK-IN CLOSETS WITH DOORS NEAR A CORNER.
 DOORS AT CLOSETS SHALL BE CENTERED ON CLOSET.
- 6. WINDOWS SHALL HAVE AT LEAST (1) WINDOW IN EACH SLEEPING ROOM, THAT MEETS EGRESS. SHALL BE PROVIDED WITH TEMPERED GLASS AT HAZARDOUS GLAZING AREAS. WINDOWS USED AT UNFINISHED ATTIC SPACES AS ELEVATION DECORATIVE ELEMENTS SHALL HAVE ONLY OBSCURE GLAZING.
- 7. CLOSETS FOR CLOTHING OR COAT STORAGE SHALL BE EQUIPPED WITH I ROD/SHELF. CLOSETS FOR LINEN SHALL HAVE 5. CLOSETS FOR PANTRIES SHALL HAVE 5 SHELVES.
- 8. STAIRS SHALL HAVE A MINIMUM WIDTH OF 3'-7". TREADS SHALL BE 10" DEEP, RISERS SHALL BE A MAXIMUM OF 7-3/4", U.N.O.
- 9. HANDRAILS AND GUARDS AT STAIRS SHALL BE 34" ABOVE THE FINISHED SURFACE OF THE RAMP SURFACE OF THE STAIR, HANDRAILS AT LEANDINGS AND OVERLOOKS OF MULTILEVEL SPACES SHALL BE 42" ABOVE FINISHED FLOOR, GUARDS (PICKETS OR BALUSTERS) SHALL BE SPACES WITH NO MORE THAN 4" BETWEEN.
- IO. ATTIC ACCESS SHALL BE PROVIDED TO ATTIC AREAS THAT EXCEED 400 SQUARE FEET AND HAVE A VERTICAL HEIGHT OF 60" OR GREATER. MINIMUM CLEAR ATTIC ACCESS SHALL BE 20"X30". PULL DOWN STARS AND ACCESS DOORS IN KNEE WALLS MEETING MINIMUM CRITERIA ARE ALSO ACCEPTABLE.
- II. GARAGE DOOR TO LIVING SPACES SHALL BE 2'-8" X 6'-8" MINIMUM SIZE AND SHALL BE 20 MINUTE FIRE RATED ADN WEATHER SEALED.
- 12. GARAGE CEILINGS, 5/8" TYPE "X" GYPSUM BOARD ON THE GARAGE CEILINGS WHEN HEATED SPACE IS ABOVE.



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0" ON 22X34 AND 1/8"=1'-0" ON 11X17



2550 BENDING BRANCH WAY ALLEN, TEXAS 75013 (972) 553-1290

O Headrick Road



100 HEADRICK ROAD HOLLY SPRINGS, NC 27540

HONEYCUTT FARMS COMMUNITY
WAKE COUNTY

FIRST FLOOR PLAN

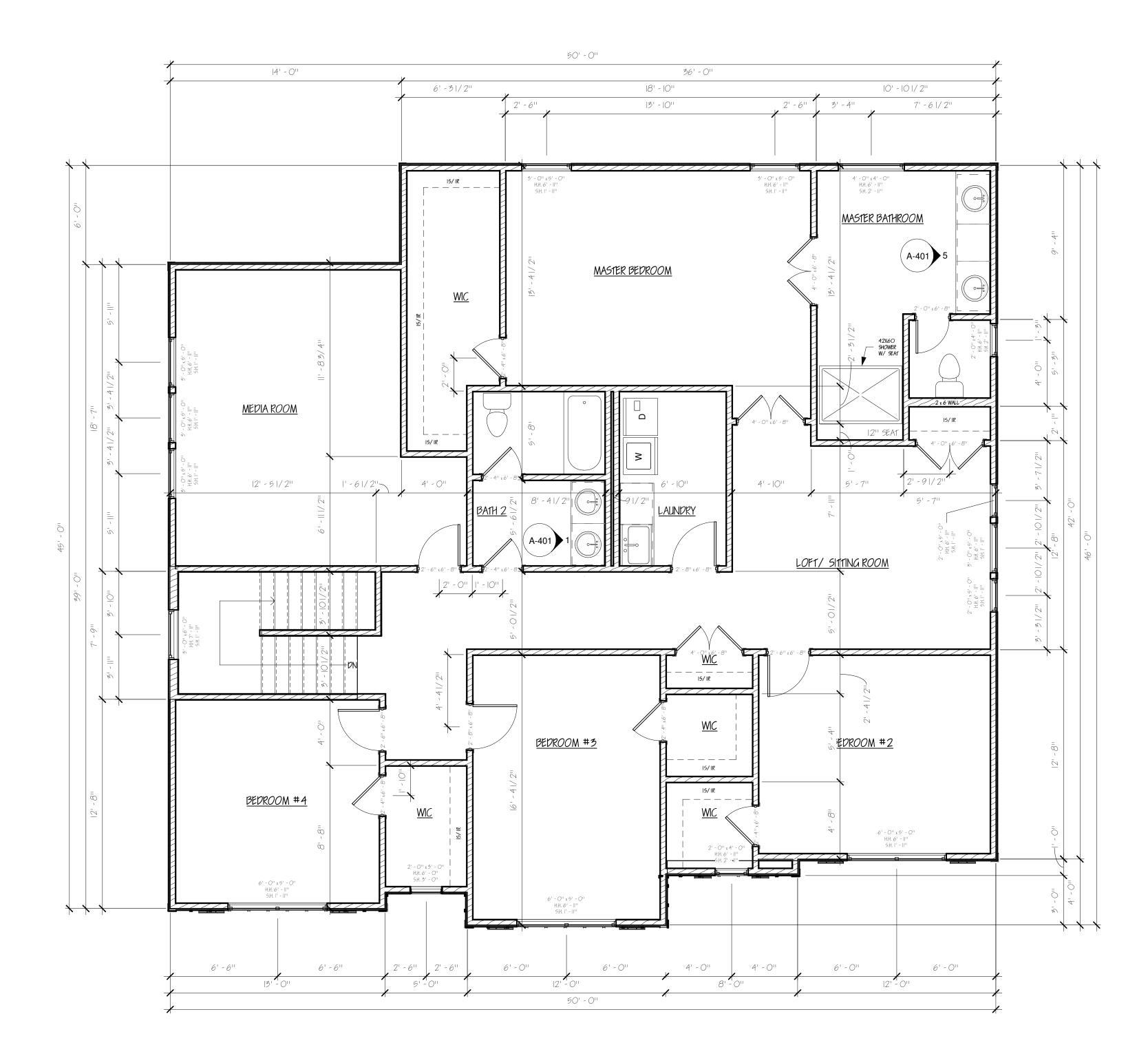


SCALE

1/4" = |'-0"

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SECOND FLOOR PLAN

SCALE: 1/4"=1'-0" ON 22X34 AND 1/8"=1'-0" ON 11X17



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DO Headrick Road



100 HEADRICK ROAD HOLLY SPRINGS, NC 27540

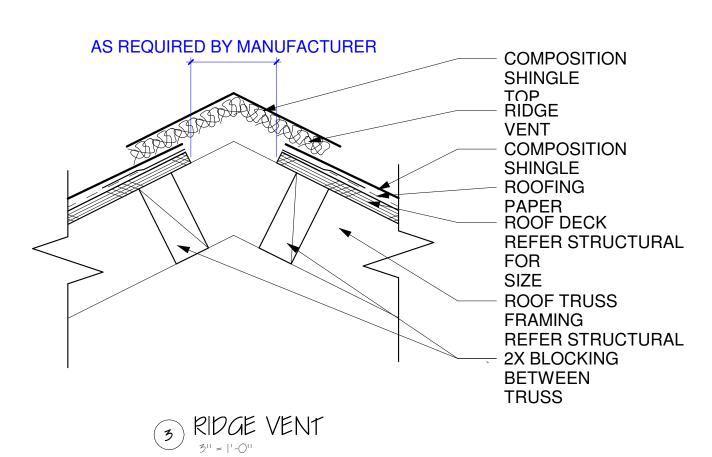
HONEYCUTT FARMS COMMUNITY
WAKE COUNTY

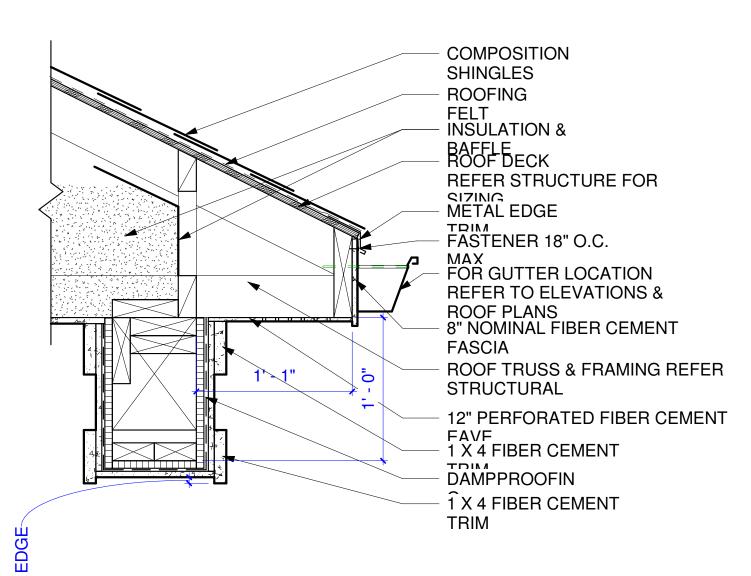
SECOND FLOOR PLAN



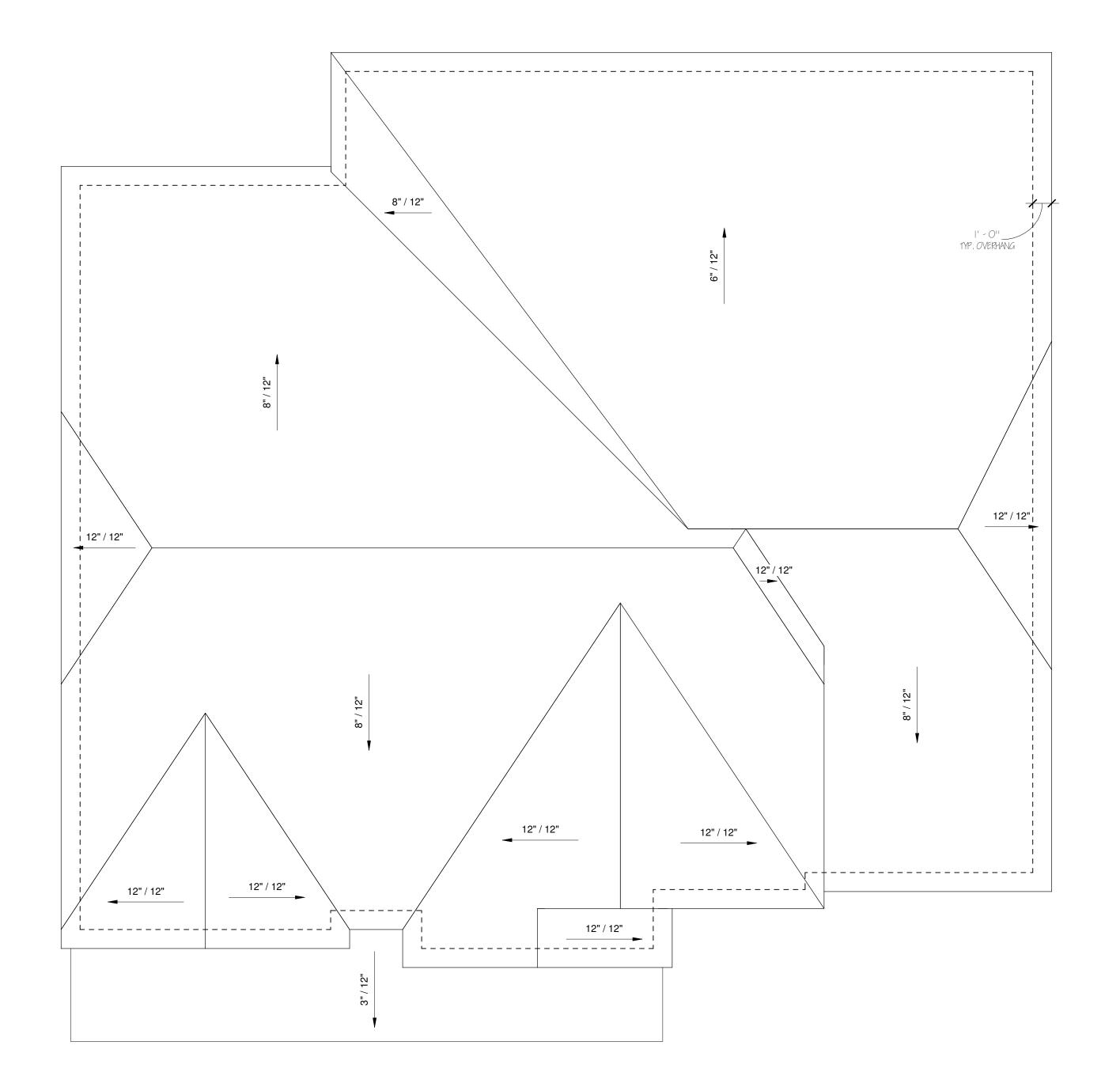
SCALE

|/4" = |'-0"





4 PORCH ROOF OVERHANG



ROOF PLAN

SCALE: 1/4"=1'-0" ON 22X34 AND 1/8"=1'-0" ON 11X17



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100 Headrick Road



100 HEADRICK ROAD HOLLY SPRINGS, NC 27540

HONEYCUTT FARMS COMMUNITY
WAKE COUNTY

ROOF PLAN

A-120

SCALE

GENERAL FLOOR PLAN NOTES

- GENERAL ELEVATION NOTES SHALL APPLY UNLESS NOTED OTHERWISE ON PLAN
- I. ROOF SHALL BE FINISHED WITH COMPOSITION SHINGLES WITH SLOPES AS NOTED ON PION.
- 2. METAL ROOF FINISH IS USED AS ON ACCENT MATERIAL AND MAY BE OPTIONAL, CONSULT COMMUNITY SPECIFICATIONS.
- 3. RIDGE VENT SHALL BE PROVIDED AND INSTALLED ON ALL RIDGES GREATER THAN 6' IN LENGTH PER MANUFACTURER'S SPECIFICATIONS.
- 4. SOFFIT VENT SHALL BE CONTINUOUS SOFFIT VENT, CONSULT COMMUNITY SPECIFICATIONS FOR MATERIAL.
- 5. ADDITIONAL VENTS MAY BE REQUIRED TO MEET VENTILATION REQUIREMENTS, CONSULT VENTILATION CALCULATIONS AND ADDITIONAL VENTS NOTED ON PLAN.
- 6. HOUSE WRAP, "TYVEK" OR APPROVED EQUAL SHALL BE INSTALLED AVER ENTIRE EXTERIOR WALL PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS. "ZIP SYSTEM SHEATHING MAY SUBSTITUTE FOR HOUSE WRAP.
- 7. FLASHING SHALL BE PROVIDED ABOVE ALL DOOR AND WINDOW OPENINGS, ABOVE FINISH WALL MATERIAL CHANGES AND AT WALL SURFACES WHERE LOWER ROOF AREAS ABUT VERTICAL WALL SURFACES.
- 8. PORCH RAILNGS SHALL BE PROVIDED AT ALL PORCH WALKING SURFACES GREATER THAN 30''
 ABOVE ADJACENT FINISHED GRADE. IT SHALL BE 36'' HIGH WITH GUARDS SPACED NO MORE THAN 4
 APART, CONSULT COMMUNITY SPECIFICATIONS FOR MATERIAL.
- 9. FINISH WALL MATERIAL SHALL BE AS NOTED ON ELEVATION DRAWINGS. CONSULT COMMUNITY SPECIFICATIONS FAR MATERIAL MAKE-UP OF SIDING, SHOWN AS GENERIC ON DRAWING.
- IO. BRICK VENEER, IF INCLUDED ON ELEVATION SHALL BE TIED TO WALL SURFACE WITH GALVANIZED CORRUGATED METAL TIES AT O ROTE OF 24 AC HORIZONTALLY AND 16" OC VERTICALLY SO THAT NO MORE THAN 2.675F OF BRICK IS SUPPORTED BY (1) TIE. SPACE BETWEEN FACE OF WALL AND BOCK FACE OF BRICK SHALL BE LIMITED TO O MAXIMUM OF 1 . FLASHING SHALL BE PROVIDED BEHIND BRICK ABOVE ALL WALL OPENINGS AND AT BASE OF BRICK WALL, FLASHING SHALL BE A MINIMUM OF 6-MIL POLY OR OTHER CORROSION RESISTANT MATERIAL AND SHALL BE INSTALLED SO THAT IT LOPS UNDER THE HOUSE WRAP MATERIAL A MINIMUM OF 2 . WEEPHOLES SHALL BE PROVIDED AT A ROTE OF 48" OC AND SHALL NOT BE LESS THAN 3/16" IN DIAMETER AND SHALL BE LOCATED IMMEDIATELY ABOVE FLASHING.
- II. BRICK VENEER SUPPORT LINTELS SHALL BE PROVIDED IF BRICK VENEER IS INCLUDED ON ELEVATION. SEE STRUCTURAL PLANS FOR LINTEL SIZE, BEARING AREA, AND CONNECTION TO HEADER.
- 12. SHEATHINGHOUSE IS COVERED 100% WITH STRUCTURAL WOOD SHEATHING AT FRONT AND REAR AND SIDE ELEVATIONS PROVIDE NAIL PATTERN OF 3" O.C. AT PERIMETER AND 6" O.C. AT FIELD,





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DO Headrick Road



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HONEYCUTT FARMS COMMUNITY
WAKE COUNTY

FRONT & REAR ELEVATIONS

A-201

SCALE

|/4" = |'-0"

GENERAL FLOOR PLAN NOTES

GENERAL ELEVATION NOTES SHALL APPLY UNLESS NOTED OTHERWISE ON PLAN

I. ROOF SHALL BE FINISHED WITH COMPOSITION SHINGLES WITH SLOPES AS NOTED ON PION.

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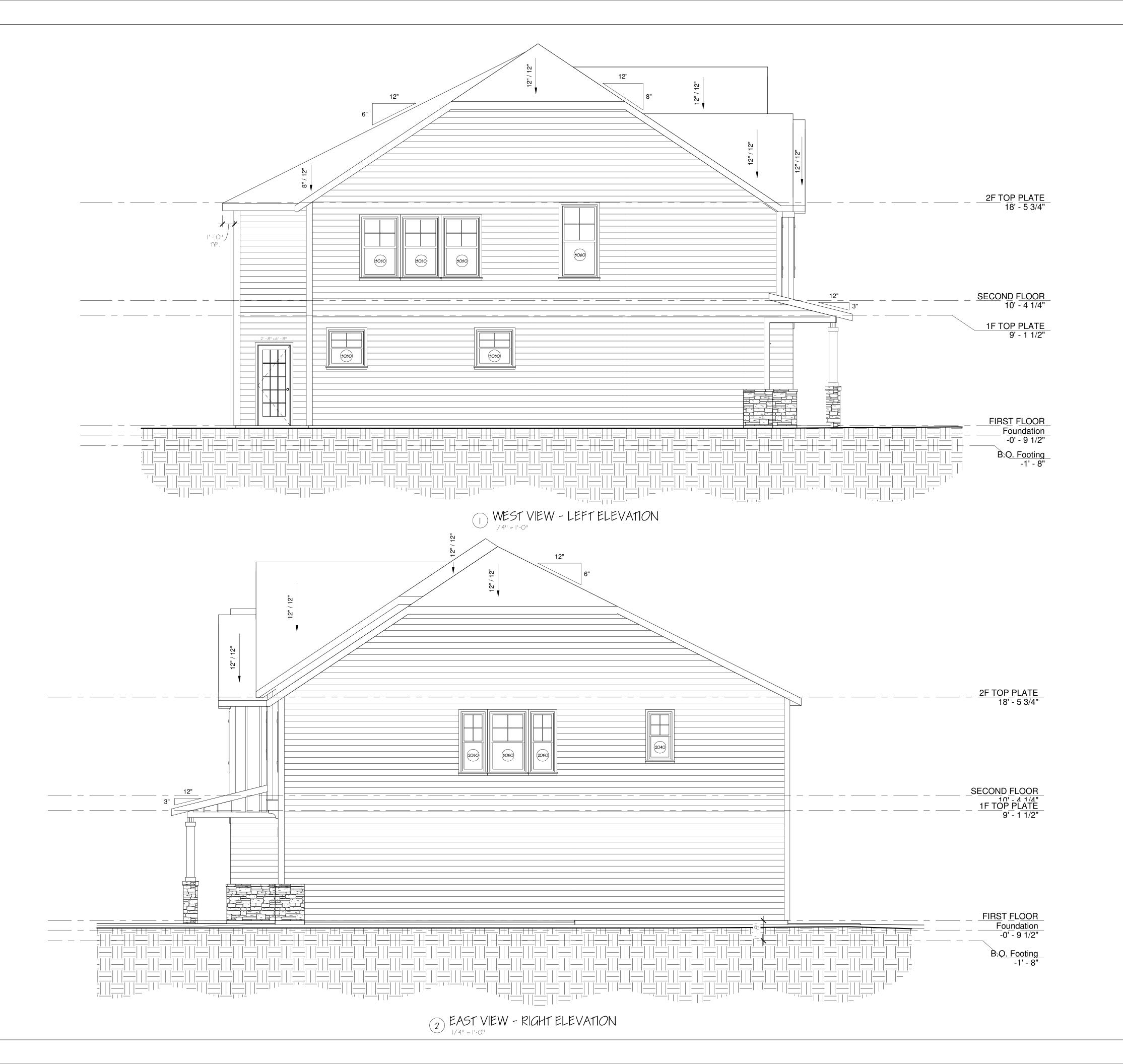
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HONEYCUTT FARMS COMMUNITY
WAKE COUNTY

SIDE ELEVATIONS

A-202

SCALE

|/4" = |'-0"

COLLEGE

2550 BENDING BRANCH WAY ALLEN, TEXAS 75013

HONEYCUTT FARMS COMMUNITY WAKE COUNTY

> OPTIONAL ELEVATION

SCALE

A-203

As indicated





— FLOOR JOIST WITH BATT INSULATION

- DOUBLE TOP PLATE WITH VERTICAL STUDS ON 12" O.C. - FLOOR HEIGHT TO

MATCH EXISTING STRUCTURE

- EXTERIOR PLYWOOD SHEATHING

- FINISHED GRADE - SLOPE 1/2" PER FOOT FOR MINIMUM 6'

POURED CONCRETE FOOTING - REFERENCE SOIL REPORT AND ENGINEER'S RECOMMENDATIONS FOR

FROM WALL

DEPTH AND SIZE

AS REQUIRED

NORTH VIEW - FRONT ELEVATION OPTION



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Road

M/I HOMES

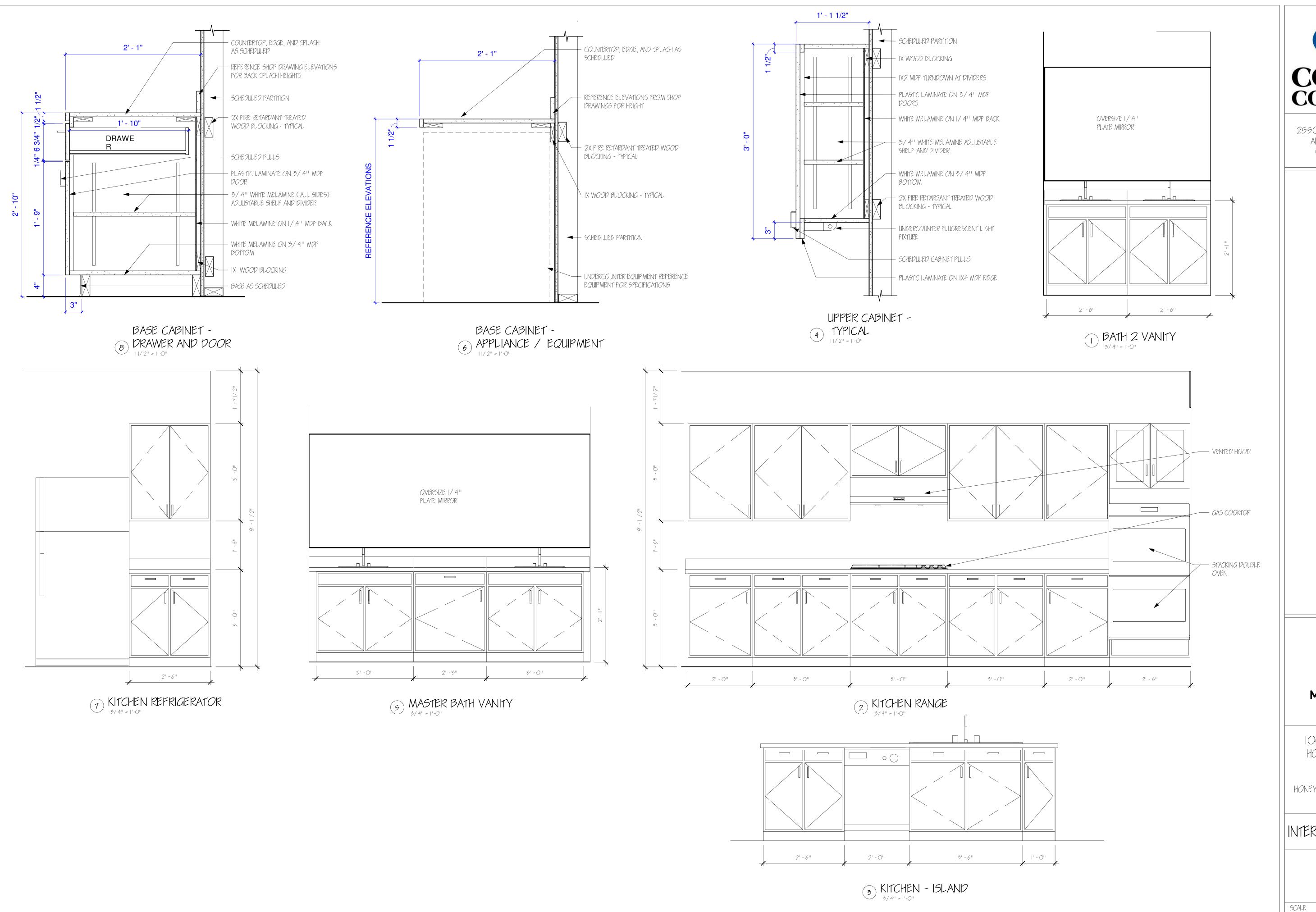
100 HEADRICK ROAD HOLLY SPRINGS, NC 27540

HONEYCUTT FARMS COMMUNITY
WAKE COUNTY

BUILDING SECTIONS

A-301

SCALE





2550 BENDING BRANCH WAY ALLEN, 1EXAS 75013

(972)553-1290



100 HEADRICK ROAD HOLLY SPRINGS, NC 27540

HONEYCUTT FARMS COMMUNITY WAKE COUNTY

INTERIOR ELEVATIONS

A-401

					Door	Schedule		
Door Number	Door Type	Door Size	Rough Width	Rough Height	Function	Frame Type	Fire Rating	Finish Comments
1	57	36" x 80"	3' - 2"	6' - 9"	Exterior	Fiberglass		GBG Glass Insert w/ 2-Panels Below (Estate)
2	58	12" x 80"	1' - 2"	6' - 9"	Exterior	Wood		Simple GBG Rectangles (per plan)
3	58	12" x 80"	1' - 2"	6' - 9"	Exterior	Wood		Simple GBG Rectangles (per plan)
4	67	32" x 80"	2' - 10"	6' - 9"	Interior	Steel		2-Panel square, Smooth
<u>.</u> 5	60	30" x 80"	2' - 8"	6' - 9"	Interior	Wood		2-Panel square, Smooth
6	60	30" x 80"	2' - 8"	6' - 9"	Interior	Wood		2-Panel square, Smooth
7	60	30" x 80"	2' - 8"	6' - 9"	Interior	Wood		2-Panel square, Smooth
8	69	28" x 80"	2' - 6"	6' - 9"	Interior	Wood		2-Panel square, Smooth
10	63	192" x 84"	16' - 2"	7' - 1"	Exterior	Metal		32-Panel Insulated
11	60	30" x 80"	2' - 8"	6' - 9"	Interior	Wood		2-Panel square, Smooth
12	69	28" x 80"	2' - 6"	6' - 9"	Interior	Wood		2-Panel square, Smooth
13	66	48" x 80"	4' - 2"	6' - 9"	Interior	Wood		2-Panel square, Smooth
14	69	28" x 80"	2' - 6"	6' - 9"	Interior	Wood		2-Panel square, Smooth
15	67	32" x 80"	2' - 10"	6' - 9"	Interior	Wood		2-Panel square, Smooth
16	69	28" x 80"	2' - 6"	6' - 9"	Interior	Wood		2-Panel square, Smooth
17	60	30" x 80"	2' - 8"	6' - 9"	Interior	Wood		2-Panel square, Smooth
18	69	28" x 80"	2' - 6"	6' - 9"	Interior	Wood		2-Panel square, Smooth
19	66	48" x 80"	4' - 2"	6' - 9"	Interior	Wood		2-Panel square, Smooth
20	61	24" x 80"	2' - 2"	6' - 9"	Interior	Wood		2-Panel square, Smooth
21	66	48" x 80"	4' - 2"	6' - 9"	Interior	Wood		2-Panel square, Smooth
22	66	48" x 80"	4' - 2"	6' - 9"	Interior	Wood		2-Panel square, Smooth
23	67	32" x 80"	2' - 10"	6' - 9"	Interior	Wood		2-Panel square, Smooth
24	69	28" x 80"	2' - 6"	6' - 9"	Interior	Wood		2-Panel square, Smooth
25	69	28" x 80"	2' - 6"	6' - 9"	Interior	Wood		2-Panel square, Smooth
26	60	30" x 80"	2' - 8"	6' - 9"	Interior	Wood		2-Panel square, Smooth
27	76	32" x 80" Ext	2' - 10"	6' - 9"	Exterior	Metal		Full Glass
30	71	48" x 80"	4' - 2"	6' - 9"	Interior	Wood		2-Panel square, Smooth

	Rough	Opening				Gla	ızing	Head		
Type Mark	Width	Height	Type	Material	Jamb.	Thickness	Type	Height	Comments	
48	5' - 6"	1' - 0"	Fixed with Trim	VINYL	Sheetrock	1/8	LOW-E	7' - 9"	6 Lite	
2030	2' - 0"	3' - 0"	Window-Fixed-Oval	VINYL	Sheetrock	1/8	LOW-E	6' - 0"	2 lite over 2 lite	
2040	2' - 0"	4' - 0"	Window-Single-Hung	VINYL	Sheetrock	1/8	LOW-E	6' - 11"	4 lite over Clear	
2050	2' - 0"	5' - 0"	Window-Single-Hung	VINYL	Sheetrock	1/8	LOW-E	6' - 11"	6 lite over Clear	
3030	3' - 0"	3' - 0"	Window-Single-Hung	VINYL	Sheetrock	1/8	LOW-E	7' - 11"	6 lite over Clear	
3050	3' - 0"	5' - 0"	Window-Single-Hung	VINYL	Sheetrock	1/8	LOW-E	6' - 11"	6 lite over Clear	
3060	3' - 0"	6' - 0"	Window-Single-Hung	VINYL	Sheetrock	1/8	LOW-E	7' - 11"	6 lite over Clear	
4040	4' - 0"	4' - 0"	Window-Single-Hung	VINYL	Sheetrock	1/8	LOW-E	6' - 11"	Clear	
6050	6' - 0"	5' - 0"	Window-Single-Hung-Double	VINYL	Sheetrock	1/8	LOW-E	6' - 11"	6 lite over Clear	
6060	6' - 0"	6' - 0"	Window-Single-Hung-Double	VINYL	Sheetrock	1/8	LOW-E	7' - 11"	6 lite over Clear	

			Room Finish Sch	edule		
				Finish		
Room Number	Room Name	Floor	Base	Wall	Ceiling	Ceiling Height
	T	T	T		T	
1	FLEX ROOM/OPT. BEDROOM #5	CARPET L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	9
2	2- CAR GARAGE		NONE	UNPAINTED	UNPAINTED	9
3	DINING ROOM	CARPET L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	9
4	STUDY	CARPET L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	9
5	GREAT ROOM	CARPET L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	9
6	BREAKFAST AREA	VINYL L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	9
7	KITCHEN	VINYL L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	9
8	PWDR	VINYL L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	9
9	MEDIA ROOM	CARPET L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	9
10	BEDROOM #4	CARPET L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	9
11	BEDROOM #3	CARPET L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	9
12	BEDROOM #2	CARPET L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	9
13	LAUNDRY	VINYL L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	8
14	BATH 2	VINYL L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	8
15	MASTER BEDROOM	CARPET L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	8
16	WIC	CARPET L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	8
17	LOFT/ SITTING ROOM	CARPET L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	8
18	WIC	CARPET L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	8
19	PANTRY	VINYL L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	9
20	PORCH		NONE			9
21	PATIO/DECK		NONE			9
22	WIC	CARPET L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	8
23	WIC	CARPET L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	8
24	HALLWAY	CARPET L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	8
25	BATH 2	VINYL L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	8
26	CLOSET	CARPET L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	8
27	MASTER BATHROOM	TILE L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	8
28	WIC	CARPET L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	8
29	FOYER	ENG WOOD L1	5-1/4" "Speed Base"	SMOOTH, PAINTED-Choice	PAINTED-Bright White	9



2550 BENDING BRANCH WAY ALLEN, TEXAS 75013 (972) 553-1290



100 HEADRICK ROAD HOLLY SPRINGS, NC 27540

HONEYCUTT FARMS COMMUNITY
WAKE COUNTY

SCHEDULES

A-601

SCALE

Projected Profit and Loss Statement

With Crawl Space Option

Projected Sales Price	\$492,151.99	\$534,063.53
Projected Cost of Sales	\$410,126.66	\$445,052.95
Projected Gross Profit	\$82,025.33	\$89,010.59
Projected Real Estate Comission	\$10,253.17	\$11,126.32
Projected Overhead	\$12,303.80	\$13,351.59
Projected Extra labor & Material	\$6,151.90	\$6,675.79
	\$28,708.87	\$31,153.71
Projected Profit Margin %	10.83	10.83
Projected Net Profit	\$53,316.47	\$57,856.88

Crawl Space Option Estimate CATEGORY/ACTIVITY UNIT PRICE MATERIAL COST TURNKEY COST QUANTITY MATERIAL COST LABOR COST TURNKEY COST ESTIMATE SUMMARY General Expenses 155,805.90 22,888.10 Foundation 30,357.75 Framing 51.640.2 8,913.84 Roofing 7.369.2 Exterior finishes 11.302.13 7,116.00 Doors and Windows 12,259.12 Insulation 5,613.18 701.40 Drywall 11,302.13 185.44 Flooring 24.905.00 Paint 11.843.00 Doors and Windows 12.259.12 Interior trim and shelving 5,993.98 Cabinets 13,701.00 Appliances 2,440.00 Landscaping 9.000.00 Sales tax 7.25% 10.445.5 1,727.38 Allowances 16,348.50 Plumbing HVAC 8,279.00 Electrical 10.021.00 **Building cost** 410,885.82 \$41,532.16 GENERAL EXPENSES 155,805.90 Lot price Site clearing and grading inlcluded Ś 130,000,00 **Building Permit** 10,283.97 Occupancy permit 50.00 Corporate Charges 4,090.00 Construction financing cost 1,600.00 4,090.00 Corporate Charges 900.00 Water tap 900.00 Sewer tap Portable toilet 501.93 Dumpster 20 yards 640.00 Energy Star Test & Certification 1,250.00 Temp Drive 500.00 1,000.00 Final cleaning FOUNDATION 30,357.75 22,888.10 FORM BOARDS 2X12 Bd Ft 780 3.15 2,457.00 \$ 325.00 1092 \$ 3,439.80 910.00 Stakes Bd Ft 65 \$ 3.15 \$ 204.75 182 \$ 573.30 EXCAVATION Includes backfill, Sand, And Gravel 7,500.00 \$ 13,500.00 REINFORCING BARS 6"x6" W1.4 W1.4 WWM 8'x20' 2148Sqft UN. 14 56.00 784.00 \$ 1,875.00 (784.00) \$ (1,875.00) Anchor Bolts - 50-Pack UN. 65.00 \$ 130.00 CONCRETE SLAB 54 CY Monolithic Slab - 3000 PSI 16,520.00 VAPOR BARRIER UN. 104.00 312.00 \$ 250.00 CRAWL SPACE 25 CY Concrete 3000 PSI 6,758.00 Footing Foam Board Insulation UN. 183.00 366.00 2,450.00 \$ (965.00) \$ TOTAL 3,887.75 \$ 24,020.00 3,595.10 \$ 20,258.00 STRUCTURAL FRAMING 51,640.27 8,913.84 ROUGH LUMBER 2x4 Studs 9' 4.35 1,226.70 \$ 29,480.00 (270.60) 356 Ln Ft UN. 282 -58 Ś 2x6 Studs 9' 7 Ln Ft 178.40 UN. 11.15 \$ 16 1,528.32 2x4 Studs 8' 485 Ln Ft UN. 384 3.98 2x6 Plates 21 Ln Ft Ln Ft 22 1.00 \$ 22.00

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2x4 Plates	2523 Ln Ft	Ln Ft	1766	\$	1.00	\$ 1,766.00									
Equipment	Crane	UN.	1 100	-	CO 00	\$ 6,000.00		\$ 500.00							
Prefab Roof Trusses 8" Box Column	12" O.C. Prefabricated Roof Trusses 8" Box Column x 8 Columns	UN. UN.	100	\$	60.00 254.38						1	_		1	
		Ln Ft		s	0.99	\$ 248.98									
Fascia Board	1x8 Fascia Board for 252 Ln Ft		252	\$											
Common Nails	3 1/2" 50lbs Nail	UN.	5	\$	61.50	\$ 307.50									
3/4" Decking	T&G Plywood Decking for 2nd floor 2000SqFt	UN.	66	Ş	27.43					-	0 4	400.04 6	150.00	4 200.00	
ALT 2x4 Studs x 13' ALT 3/4" Decking	71 Ln Ft T&G Plywood Decking for 1st floor 1512SqFt	UN. UN.		Ş e	7.38 27.43					51	8 \$ 0 \$ 1	428.04 \$,371.50 \$	150.00	\$ 200.00	
ALI 3/4 Decking	1 &G Flywood Decking for 1st floor 15123qFt	OIV.		,	27.43					31	0 3 1	,3/1.30 3	1,300.00		
STAIRS				-											
Stringers 2X12-16		UN.		3	\$29.00	\$87.00									
2X4-16 #2&BTR		UN.		3	\$7.15	\$21.45									
1X8 Riser		Ln Ft		60	\$0.85	\$51.00									
1 1/8 X 11 1/4		UN.		5	\$15.50	\$77.50									
				_											
TAEXX BUILT-IN PEST CONTROL		UN.	1					\$ 600.00							
EXTERIOR SHEATHING				_											
7/16" OSB	4x8 Zip OSB Wall Sheathing 3456Sq Ft	UN.	119	-	20.25			\$ 2,409.75							
Tyvek Housewrap	9x150 Rolls cover 3456Sq Ft	UN.	8	3	140.25	\$ 1,122.00		2,403.73							
Tyvek Housewrap Tape	164ft rolls	UN.	6	3	13.08	\$ 78.48									
Tyrek Housewidg Tape	20411003	014.		1	15.00	70.40									
				_											
SAFETY RAILS				-											
ALT Rails for Front Porch	Prefab Railing	UN.	1	Ś	110.25	\$ 110.25	\$ 150.00				5 \$	551.25 \$	250.00		
Rails for Interior Stairs	Prefab Railing	UN.	1	\$	350.00	\$ 350.00	\$ 150.00					- *			
I-JOIST											5 \$	110.25 \$	551.25	\$ 150.00	
I-JOIST 50'	50' I-Joist 16 O.C.	UN.	34	\$	92.35			\$ 3,139.90							
CRAWL SPACE															
I-JOIST															
ALT I-JOIST 30'	30' I-Joist 16" O.C.	UN.		\$	52.25							,097.25 \$	2,500.00		
ALT I-JOIST 36'	36' I-Joist 16" O.C.	UN.		\$	55.00					-	6 \$	330.00			
ALT End Plate	2x12x12	UN.		\$	19.49							194.90			
ALT 2x4		Ln Ft		\$	0.58	A 45.040	A 20 700			374		216.92			
TOTAL				+		\$ 15,210.62	\$ 29,780.00	\$ 6,649.65			\$ 3	,812.59 \$	4,751.25	\$ 350.00	
ROOFING									\$ 7,369.21						
									,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,						
Sheathing	4x8 OSB Roof Sheathing	UN.	104	\$	16.00	\$ 1,664.00	\$ 700.00								
Roofing Felt	432Sq Ft Rolls for 2750 Sq Ft Roof	UN.	7	\$	39.58										
Shingles	30 Year Shingles 32.8Sq Ft (26pc) per Package 275	UN.	84	\$	31.48		\$ 1,400.00								
Hip and Ridge Shingles	Hip & Ridge Bundle	UN.	3	\$	24.49										
Starter Strip Shingles	Start Strip for Shingles 33Ln Ft Each for 210Ln Ft	UN.	7	\$	21.30	\$ 149.10									
Ridge Vent	52' Ridge Vent 20' Each Roll Plus Other Gables	UN.	5	\$	45.49	\$ 227.45									
H-clips	50 Per Bag	UN.	2	\$	6.54	\$ 13.08									
Roofing Nails w/ Cap	~8800 Per 50Lb Box With 4 Per Shingle Plus Starte	UN.	1	\$	59.48	\$ 59.48									
Common Nails for OSB Sheathing	~5000 Per 50Lb Box With 36 Nails Per Sheet	UN.	1	\$	71.25	\$ 71.25									
Pipe Boot		UN.	4	\$	7.50	\$ 30.00									
Nails	Box	UN.	2	30		\$ 60.00									
TOTAL						\$ 5,269.21	\$ 2,100.00	\$ -							
EVERNOR FINICIA									6 40.047.17						6 7446.63
EXTERIOR FINISH									\$ 16,647.17						\$ 7,116.00
PAINTING															
Painting Painting Batten & Board and Fascia	Painter Provides Paint	Sq Ft	426	e	3.25			\$ 1,384.50							
Painting Columns	Painter Provides Paint Painter Provides Paint	Sq Ft	168	3	3.25			\$ 1,384.50			+				
Painting Columns Painting Trim Board	Painter Provides Paint	Sq Ft	98	Ś	3.25			\$ 318.50			1				
		-4.0		Ť	3.23			. 520.50							
<u> </u>															
											1				
SIDING	1x3 Trim Joint Board	Ln Ft	240	\$	5.25	\$ 1,260.00	\$ 3,825.00					_			
SIDING Batten				\$			\$ 3,825.00							1	$\overline{}$
SIDING Batten Board	1x12 Board	Ln Ft Ln Ft Ea	240 236 3	\$ \$ \$	5.25 5.25 243.25	\$ 1,239.00	\$ 3,825.00								١ ١
SIDING Batten Board 15" Shutters		Ln Ft	236	\$ \$ \$	5.25	\$ 1,239.00 \$ 729.75 \$ 238.18	\$ 3,825.00								
SIDING Batten Board 10" Shutters 10" Shutters	1x12 Board 15" Shutters x 3 Pairs	Ln Ft Ea	236 3	\$ \$ \$ \$	5.25 243.25	\$ 1,239.00 \$ 729.75	\$ 3,825.00								
SIDING Batten Board 15' Shutters 10' Shutters ilber Cement Lap Siding Trim Behind Fascia	1x12 Board 15" Shutters x 3 Pairs 10" Shutters x 1 Pair 1x12' Lap Siding for 5492 Ln Ft 1x4" Trim Board 35 Ln Ft	Ln Ft Ea Ea Ea Ln Ft	236 3 1 504 38	\$ \$ \$ \$ \$	5.25 243.25 238.18 8.05 0.98	\$ 1,239.00 \$ 729.75 \$ 238.18 \$ 4,057.20 \$ 37.24	\$ 3,825.00								
SIDING Batten Board 15' Shutters 10' Shutters ilber Cement Lap Siding Trim Behind Fascia	1x12 Board 15" Shutters x 3 Pairs 10" Shutters x 1 Pair 1'x12' Lap Siding for S492 Ln Ft 1x4" Trim Board 35 Ln Ft 1x10 Header 26 Ln Ft	Ln Ft Ea Ea	236 3 1 504	\$ \$ \$ \$ \$	5.25 243.25 238.18 8.05	\$ 1,239.00 \$ 729.75 \$ 238.18 \$ 4,057.20 \$ 37.24 \$ 58.80	\$ 3,825.00								
SIDING Batten Board 10" Shutters 10" Shutters 10" Shutters Tiber Cement Lap Siding Trim Behind Fascia	1x12 Board 15" Shutters x 3 Pairs 10" Shutters x 1 Pair 1x12' Lap Siding for 5492 Ln Ft 1x4" Trim Board 35 Ln Ft	Ln Ft Ea Ea Ea Ln Ft	236 3 1 504 38	\$ \$ \$ \$ \$ \$	5.25 243.25 238.18 8.05 0.98	\$ 1,239.00 \$ 729.75 \$ 238.18 \$ 4,057.20 \$ 37.24 \$ 58.80	\$ 3,825.00								
SIDING Batten Board 15' Shutters 10" Shutters iiber Cement Lap Siding Trim Behind Fascia 1x10 Headers Trim at Corners and Sill	1x12 Board 15" Shutters x 3 Pairs 10" Shutters x 1 Pair 1'x12' Lap Siding for S492 Ln Ft 1x4" Trim Board 35 Ln Ft 1x10 Header 26 Ln Ft	Ln Ft Ea Ea Ea Ln Ft Ln Ft	236 3 1 504 38 28	\$ \$ \$ \$ \$ \$ \$	5.25 243.25 238.18 8.05 0.98 2.10	\$ 1,239.00 \$ 729.75 \$ 238.18 \$ 4,057.20 \$ 37.24 \$ 58.80	\$ 3,825.00								
SIDING Batten Board 10" Shutters 10" Shutters 10" Shutters Time Behind Fascia 1xt.0 Headers Trim at Corners and Sill STONE EXTERIOR	1x12 Board 15" Shutters x 3 Pairs 10" Shutters x 1 Pair 1x12' Lap Siding for 5492 Ln Pt 1x4" Trim Board 35 Ln Pt 1x10 Header 26 Ln Pt 1x6 Trim Board for Corners and Sill	Ln Ft Ea Ea Ea Ln Ft Ln Ft Ln Ft	236 3 1 504 38 28 110	\$ \$ \$ \$ \$ \$ \$	5.25 243.25 238.18 8.05 0.98 2.10 0.75	\$ 1,239.00 \$ 729.75 \$ 238.18 \$ 4,057.20 \$ 37.24 \$ 58.80 \$ 82.50 \$ -									
SIDING Batten Board 15' Shutters 10' Shutters 11' Shipters 11' Shutters 11' Shutter	1x12 Board 15" Shutters x 3 Pairs 10" Shutters x 1 Pair 1'x12' Lap Siding for S492 Ln Ft 1x4" Trim Board 35 Ln Ft 1x10 Header 26 Ln Ft	Ln Ft Ea Ea Ea Ln Ft Ln Ft	236 3 1 504 38 28	\$ \$ \$ \$ \$ \$ \$ \$	5.25 243.25 238.18 8.05 0.98 2.10	\$ 1,239.00 \$ 729.75 \$ 238.18 \$ 4,057.20 \$ 37.24 \$ 58.80 \$ 82.50 \$ -									
SIDING Batten Board 10" Shutters 10" Shutters 11" Shutters 11" Shutters 11" Behind Fascia 1x10 Headers Trim at Corners and Sill STONE EXTERIOR Stone Veneer	1x12 Board 15" Shutters x 3 Pairs 10" Shutters x 1 Pair 1x12' Lap Siding for 5492 Ln Pt 1x4" Trim Board 35 Ln Pt 1x10 Header 26 Ln Pt 1x6 Trim Board for Corners and Sill	Ln Ft Ea Ea Ea Ln Ft Ln Ft Ln Ft	236 3 1 504 38 28 110	\$ \$ \$ \$ \$ \$ \$ \$	5.25 243.25 238.18 8.05 0.98 2.10 0.75	\$ 1,239.00 \$ 729.75 \$ 238.18 \$ 4,057.20 \$ 37.24 \$ 58.80 \$ 6 \$ - \$ - \$ - \$ - \$ - \$ -									
SIDING Batten Board 57' Shutters 10" Shutters 10" Shutters 10" Shutters Thier Cement Lap Siding Trim Behind Fascia Lxi.0 Headers Trim at Corners and Sill STONE EXTERIOR Stone Veneer CRAWL SPACE	1x12 Board 15" Shutters x 3 Pairs 10" Shutters x 1 Pair 1x12' Lap Siding for S492 Ln Pt 1x4" Trim Board 35 Ln Pt 1x10 Header 26 Ln Pt 1x6 Trim Board for Corners and Sill Stone & Mortar	Ln Ft Ea Ea Ea Ln Ft Ln Ft Ln Ft Sq Ft	236 3 1 504 38 28 110	\$ \$ \$ \$ \$ \$ \$ \$	5.25 243.25 238.18 8.05 0.98 2.10 0.75	\$ 1,239.00 \$ 729.75 \$ 238.18 \$ 4,057.20 \$ 37.24 \$ 58.80 \$ 82.50 \$ -						700.00			
SIDING Batten Board 10" Shutters 10" Shutters 110" Shutte	1x12 Board 15" Shutters x 3 Pairs 10" Shutters x 1 Pair 1x12' Lap Siding for 5492 Ln Pt 1x4" Trim Board 35 Ln Pt 1x10 Header 26 Ln Pt 1x6 Trim Board for Corners and Sill	Ln Ft Ea Ea Ea Ln Ft Ln Ft Ln Ft	236 3 1 504 38 28 110	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	5.25 243.25 238.18 8.05 0.98 2.10 0.75	\$ 1,239.00 \$ 729.75 \$ 238.18 \$ 4,057.20 \$ 37.24 \$ 58.80 \$ 6 \$ - \$ - \$ - \$ - \$ - \$ -				584	4 \$ 3	,796.00 \$	1,320.00		
SIDING Batten Board 57 Shutters 107 Shutters 108 Shutters 109 Shutter	1x12 Board 15" Shutters x 3 Pairs 10" Shutters x 1 Pair 1x12' Lap Siding for S492 Ln Pt 1x4" Trim Board 35 Ln Pt 1x10 Header 26 Ln Pt 1x6 Trim Board for Corners and Sill Stone & Mortar	Ln Ft Ea Ea Ea Ln Ft Ln Ft Ln Ft Sq Ft	236 3 1 504 38 28 110	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	5.25 243.25 238.18 8.05 0.98 2.10 0.75	\$ 1,239.00 \$ 729.75 \$ 238.18 \$ 4,057.20 \$ 37.24 \$ 58.80 \$ 6 \$ - \$ - \$ - \$ - \$ - \$ -				584	4 \$ 3		1,320.00	\$ 2,000.00	
SIDING Batten Board 57 Shutters 107 Shutters 108 Shutters 109 Shutter	1x12 Board 15" Shutters x 3 Pairs 10" Shutters x 1 Pair 1x12' Lap Siding for S492 Ln Pt 1x4" Trim Board 35 Ln Pt 1x10 Header 26 Ln Pt 1x6 Trim Board for Corners and Sill Stone & Mortar	Ln Ft Ea Ea Ea Ln Ft Ln Ft Ln Ft Sq Ft	236 3 1 504 38 28 110	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	5.25 243.25 238.18 8.05 0.98 2.10 0.75	\$ 1,239.00 \$ 729.75 \$ 238.18 \$ 4,057.20 \$ 37.24 \$ 58.80 \$ 6 \$ - \$ - \$ - \$ - \$ - \$ -				584	4 \$ 3	,796.00 \$; 1,320.00		
SIDING Batten Board 10" Shutters 10" Shutters 11" Shutters 11" Trim Behind Fascia 11x1.0 Headers 1x1 Headers 1x1 Headers 1x1 Headers 1x1 Headers 1x1 Headers 1x1 Headers	1x12 Board 15" Shutters x 3 Pairs 10" Shutters x 1 Pair 1x12' Lap Siding for S492 Ln Pt 1x4" Trim Board 35 Ln Pt 1x10 Header 26 Ln Pt 1x6 Trim Board for Corners and Sill Stone & Mortar	Ln Ft Ea Ea Ea Ln Ft Ln Ft Ln Ft Sq Ft	236 3 1 504 38 28 110	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	5.25 243.25 238.18 8.05 0.98 2.10 0.75	\$ 1,239.00 \$ 729.75 \$ 238.18 \$ 4,057.20 \$ 37.24 \$ 58.80 \$ 6 \$ - \$ - \$ - \$ - \$ - \$ -	\$ 1,538.00	\$ 2,249.00		584	\$			\$ 2,000.00	

INSULATION											\$ 5,6	513.18				\$	701.40
INSULATION BATTS	7284sqft of R-15 Batts	UN.	55	\$	50.14	\$	2,757.70	\$	550.00								
INSULATION BLOWN	2021SqFt of GreenFibert Low Dust Cellulose Blown	UN.	101	\$	7.48	\$	755.48	\$	278.00							+	
CRAWL SPACE	1418sqft batt insul	UN.		<	50.14								10 \$ 501.4	\$ 200.0	10	1	
	14103QIT DBCC III3GI	OIV.		Ť	30.14												
TOTAL						\$	3,513.18	\$	2,100.00				\$ 501.4	\$ 200.	00 \$ -	+	
DRYWALL											\$ 11	,302.13				\$	185.44
FIRST FLOOR																	
Wallboard Moisture Resistant Wallboard	1/2" Sheetrock 4977SqFt 1/2" Green Board 297SqFt	UN. UN.	170 10	\$	8.86 11.15	\$	1,506.20 111.50						4 \$ 35.4	\$ 150.0	00	+	
Ceiling Drywall	1/2" Sheetrock 2034SqFt	UN.	71	9	8.86	\$	629.06									+	
Cennig Drywon	1/2 Sheetrock 20343qi t	OIV.		,	0.00	Ť	023.00										
SECOND FLOOR																+-	
Wallboard	1/2" Sheetrock 5312SqFt	UN.	184	\$	8.86	\$	1,630.24										
Moisture Resistant Wallboard	1/2" Green Board 576SqFt	UN.	20	\$	11.15	\$	223.00										
Ceiling Drywall	1/2" Sheetrock 2008SqFt	UN.	69	\$	8.86	\$	611.34									+	
COMPOUND	4.5 Gal. All- Purpose Pre-mized Joint Compound	UN.	17	\$	14.84	\$	252.28										
DRYWALL TAPE	250 ft. Drywall Joint Tape	UN.	12	\$	2.18	\$	26.16									+	
DRYWALL SCREW	#6 x 2in	Ib	55	\$	5.97	\$	328.35										
TOTAL						4	5,318.13	<	5.984.00				\$ 35.4	\$ 150.	10		
						Ť	3,310.13	,	3,304.00				ý 55.4°	. 5 130.			
FLOORING											\$ 24	,905.00					
VINYL FLOORING		Sq Ft	374	\$	8.50	\$	3,179.00	\$	550.00							=	
CARPET		Sq Ft	1760	\$	2.00	\$	3,520.00	\$	3,000.00							\pm	
LAMINATE		Sq Ft	270	\$	5.00	\$	1,350.00	\$	850.00								
CERAMIC		Sq Ft	189	s	10.00	Ś	1,890.00	s	800.00							+	
ENGINEERED WOOD		Sq Ft	1384	s	5.25	ė	7,266.00		2,500.00							\pm	
		Sqrt	1504	ľ	3.23	•										#	
TOTAL						\$	17,205.00	Ş	7,700.00							+	
PAINT											\$ 11	,843.00					
INTERIOR PAINT	Includes paint and materials	Sq Ft	3644	\$	3.25					\$ 11,843.00						_	
TOTAL																	
DOORS & WINDOWS											\$ 12,3	259.12					
	Vinyl Single Hung, 6 lite over Clear, with																
3060 WINDOW	Sheetrock Jamb, Low E 3060 Vinyl Single Hung, 6 lite over Clear, with	UN.	16	\$	158.00	\$	2,528.00		-							+	
2040 WINDOW	Sheetrock Jamb, Low E 2040	UN.	1	\$	139.00	\$	139.00										
3030 WINDOW	Vinyl Single Hung, 6 lite over Clear, with Sheetrock Jamb, Low E 3030	UN.	2	\$	99.00	\$	198.00	\$	2,800.00								
4040 WINDOW	Vinyl Single Hung, 6 lite over Clear, with Sheetrock Jamb, Low E 4040	UN.	5	\$	149.00	\$	745.00										
OWNER'S BATH WINDOW	Clear Fixed Window 2040	EA	1	\$	105.00	\$	105.00										
FRONT ENTRANCE DOOR and/or SIDE ENTRY DOOR (PER PLAN)	Fiberglass Door with GBG Glass Insert and 2- panels below	EA	2	\$	349.00	\$	698.00	\$	200.00								
INTERIOR DOORS	paners below	EA	22	\$	150.00	\$	3,300.00	l .	2,200.00								
GARAGE DOOR	Double Wide Doors - 32-panel Metal Insulated Door With Stockbridge Glass and Straps and Handles. Painted to Match Exterior Trim.	EA	1	\$	467.00	\$	467.00	\$	750.00								
GARAGE DOOR OPENER	Standard Chain Drive with Two Remotes Per Garage Door	EA	1	\$	345.00	\$	345.00										
SCREENS	Screens on all operable windows	EA	28	\$	49.79	\$	1,394.12									#	
TOTAL				+		\$	6,309.12	\$	5,950.00							+	
INTERIOR TRIM, DOORS, SHELVING, HARDWARE																	
											\$ 5,9	993.98					
1st & 2nd FLOOR WINDOW CASING TYPE	3 1/4" - 445 style 8'	UN.	78	\$	10.24	\$	798.72		-						+	+-	
1st & 2nd FLOOR DOOR CASING BASEBOARD	3 1/4" - 445 style 8' 5 1/4" "Speed Base" 8'	UN.	96 41	S	10.24 9.92	\$	983.04 406.72	\$	649.00						+	+-	
ATTIC ACCESS	Pull-down stair located per plan	UN.	1	\$	129.00	\$	129.00	1							_	+	
BEDROOM SHELVING	Ventilated - Free Slide			Ľ													
														-	_		

LINEN CLOSET SHELVING	Ventilated							İ				
LINEN CLUSET SHELVING				_				\$ 3,000.00		-		
LAUNDRY ROOM SHELVING TYPE	Ventilated Shelving in Closets (per plan) and											
ENOUGH NOOM SHEEFING THE	above washer & dryer											
INTERIOR DOOR HARDWARE	Satin Nickel Knob	UN.	22	\$	0.25	\$ 5.50						
	Stain Nickel Passage knob with single cylinder			_	44.00	4 22.00						
EXTERIOR FRONT DOOR HARDWARE	deadbolt & house numbers	UN.	2	\$	11.00	\$ 22.00						
TOTAL						\$ 2,344.98	\$ 649.00	\$ 3,000.00				
CABINETS									\$ 13,701.00			
KITCHEN WALL CABINET		LF	17	\$	500.00			\$ 8,500.00				
KITCHEN COUNTERTOP AND BACKSPLASH	Granite Level 1	Sq Ft	60	\$	60.00			\$ 3,600.00				
VANITY HALL BATHROOM	35" Adult height	UN.	1	\$	699.00			\$ 699.00				
VANITY OWNER'S BATHROOM	35" Adult height	UN.	1	\$	699.00			\$ 699.00				
				,	52.00			\$ 52.00				
HALL BATH MIRROR	1/4" Plate Glass (Vanity Length)	UN.	1	۶	52.00			\$ 52.00				
	Polished Chrome, Square (Includes 1 Towel Bar											
HALL BATH ACCESSORIES	and 1 Paper Holder.)	UN.	2	\$	25.00			\$ 50.00				
POWDER ROOM MIRROR	Wall Hung Oval with Bevel Edge	UN.	1	\$	51.00			\$ 51.00				

POWDER ROOM BATH ACCESSORIES	Polished Chrome, Square (Includes 1 Towel Ring and 1 Paper Holder)	UN.	2	\$ 25.00			\$ 50.00				
TOTAL											
APPLIANCES								\$ 2,440.00			
RANGE	Electric Freestanding Range: JB625RK Stainless Steel GE	UN.	1	\$ 1,142.00	\$ 1,142.00	\$ 100.00					
MICROWAVE	JVM3162RJ Stainless Steel (Vented to the Outside) GE	UN.	1	\$ 289.00	\$ 289.00	\$ 100.00					
DISHWASHER	GSD3360K Stainless Steel (Energy Star Rated) GE	UN.	1	\$ 709.00	\$ 709.00	\$ 100.00					
TOTAL					\$ 2,140.00	\$ 300.00					
LANDSCAPING								\$ 9,000.00			
PLUMBING	Includes Fixtures and Pipes							\$ 16,348.50			
HVAC								\$ 8,279.00			
ELECTRICAL	Includes Light Fixtures							\$ 10,021.00			
TOTAL SALES TAX 7.25%					\$ 144,076.31			\$ 10,445.53	\$ 23,825.98		\$ 1,727.38

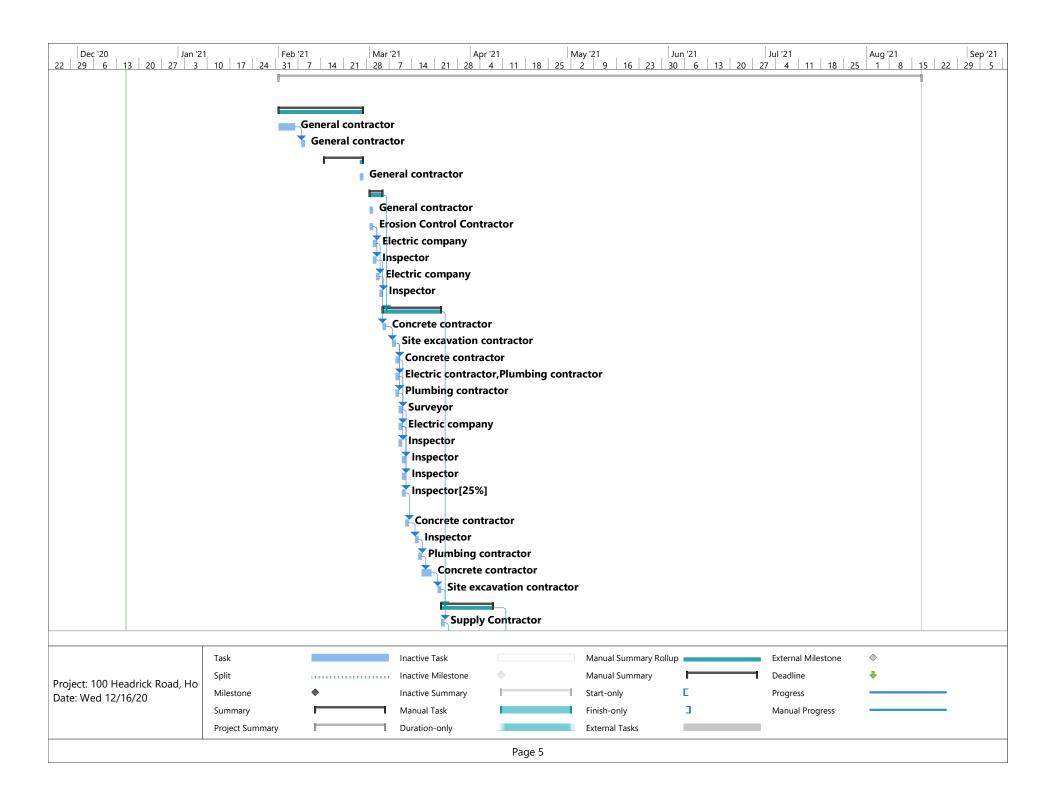
General Conditions Finalize plans and develop estile Sign contract and notice to proceed a proce		2/1/21 Mon 2/1/21 Mon 2/1/21 Mon 2/8/21 Mon 2/15/21	Fri 2/5/21			13 20 27	<u>' 4 11 18 25 1 8 15 2</u>
General Conditions Finalize plans and develop estil Sign contract and notice to pro Apply for Permits Secure Permits Site Work Order long lead items	5 days 1 day 10 days 1 day	Mon 2/1/21 Mon 2/1/21 Mon 2/8/21 Mon 2/15/21	Fri 2/5/21				
Finalize plans and develop esting Sign contract and notice to proceed Apply for Permits Secure Permits Site Work Order long lead items	5 days 1 day 10 days 1 day	Mon 2/1/21 Mon 2/8/21 Mon 2/15/2 1	Fri 2/5/21				
Sign contract and notice to pro Apply for Permits Secure Permits Site Work Order long lead items	1 day 10 days 1 day	Mon 2/8/21 Mon 2/15/21					
Apply for Permits Secure Permits Site Work Order long lead items	10 days 1 day	Mon 2/15/21	Mon 2/8/21		General contractor		
Secure Permits Site Work Order long lead items	1 day			2	General contractor		
Site Work Order long lead items		F . 0 /0 - /0 /	Fri 2/26/21				
Order long lead items	4 days	Fri 2/26/21	Fri 2/26/21		General contractor		
-		Mon 3/1/21	Thu 3/4/21				
Initial Erosion Control	1 day	Mon 3/1/21	Mon 3/1/21		General contractor		
	1 day	Mon 3/1/21	Mon 3/1/21		Erosion Control Contractor		
Install Temporary Power Pole	1 day	Tue 3/2/21	Tue 3/2/21	8	Electric company		
60 Erosion Control inspection	1 day	Tue 3/2/21	Tue 3/2/21	8	Inspector		
Connect Temp Power	1 day	Wed 3/3/21	Wed 3/3/21	9	Electric company		
30 Temp Board Inspection	1 day	Thu 3/4/21	Thu 3/4/21	11	Inspector		
Foundation	12 days	Fri 3/5/21	Mon 3/22/21	6			
Deliver Form Boards, Re-bar/N	1 day	Fri 3/5/21	Fri 3/5/21	12	Concrete contractor		
Excavate for foundations	1 day	Mon 3/8/21	Mon 3/8/21	14	Site excavation contractor		
Form Boards	1 day	Tue 3/9/21	Tue 3/9/21	15	Concrete contractor		
Install Underground Plumbing	1 day	Tue 3/9/21	Tue 3/9/21	15	Electric contractor, Plumbing contractor		
Plumbing Rough-in	1 day	Tue 3/9/21	Tue 3/9/21	15	Plumbing contractor		
		Wed 3/10/21	Wed 3/10/21		-		
Install Underground Electrical	1 day	Wed 3/10/21	Wed 3/10/21	19	Electric company		
51 Plumbing Rough-In Inspecti	1 day			20	Inspector		
01 Foundation Survey Inspection	1 day	Thu 3/11/21	Thu 3/11/21	17	Inspector		
					Inspector		
50 Plumbing Underground Inspection	1 day	Thu 3/11/21	Thu 3/11/21	21	Inspector[25%]		
Install Slab Makeup	1 day	Fri 3/12/21	Fri 3/12/21	23	Concrete contractor		
13 Slab Inspection	1 day	Mon 3/15/21	Mon 3/15/21	24	Inspector		
				25	Plumbing contractor		
-	3 days			26	Concrete contractor		
				27	Site excavation contractor		
		Tue 3/23/21	Wed 4/7/21	13			
Deliver 1st Floor Lumber Packa	1 day	Tue 3/23/21	Tue 3/23/21	29	Supply Contractor		
Tack			Inactive Task		Manual Summary Rollun	Fyternal Milecto	ne ♦
					• •		.
00 Headrick Road, Ho	1				•		
d 12/16/20	`	-	•	U		_	
,						Manual Progress	5
Project Sum	nmary		Duration-only		External Tasks		
	Foundation Deliver Form Boards, Re-bar/M Excavate for foundations Form Boards Install Underground Plumbing Plumbing Rough-in Survey Form Boards Install Underground Electrical 51 Plumbing Rough-In Inspecti 01 Foundation Survey Inspectic 31 Electrical Ground Work Insp 50 Plumbing Underground Inspection Install Slab Makeup 13 Slab Inspection Box Plumbing Pour Concrete for Slab Backfill Framing Deliver 1st Floor Lumber Packa	Foundation 12 days Deliver Form Boards, Re-bar/N 1 day Excavate for foundations 1 day Form Boards 1 day Install Underground Plumbing 1 day Plumbing Rough-in 1 day Survey Form Boards 1 day Install Underground Electrical 1 day 51 Plumbing Rough-In Inspecti 1 day 01 Foundation Survey Inspectic 1 day 31 Electrical Ground Work Inst 1 day 50 Plumbing Underground 1 day Install Slab Makeup 1 day 13 Slab Inspection 1 day Box Plumbing 1 day Pour Concrete for Slab 3 days Backfill 1 day Framing 12 days Deliver 1st Floor Lumber Packa 1 day Task Split Milestone	Foundation Deliver Form Boards, Re-bar/N Excavate for foundations Install Underground Plumbing Install Underground Electrical Install Underground Work Inspection Install Slab Makeup Index Mon 3/15/21 Install Slab Makeup Insta	Foundation 1 day Thu 3/4/21 Thu 3/4/21 Thu 3/4/21 Foundation 12 days Fri 3/5/21 Mon 3/22/21 Deliver Form Boards, Re-bar/N 1 day Fri 3/5/21 Fri 3/5/21 Fri 3/5/21 Excavate for foundations 1 day Mon 3/8/21 Mon 3/8/21 Form Boards 1 day Tue 3/9/21 Tue 3/9/21 Install Underground Plumbing 1 1 day Tue 3/9/21 Tue 3/9/21 Plumbing Rough-in 1 day Wed 3/10/21 Wed 3/10/21 Survey Form Boards 1 day Wed 3/10/21 Wed 3/10/21 Install Underground Electrical 1 day Wed 3/10/21 Wed 3/10/21 D1 Foundation Survey Inspectical 1 day Wed 3/10/21 Wed 3/10/21 D1 Foundation Survey Inspectical 1 day Thu 3/11/21 Thu 3/11/21 D1 Foundation Survey Inspectical 1 day Thu 3/11/21 Thu 3/11/21 D1 Foundation Survey Inspectical 1 day Thu 3/11/21 Thu 3/11/21 D1 Foundation Survey Inspectical 1 day Thu 3/11/21 Thu 3/11/21 D1 Foundation Survey Inspection 1 day Thu 3/11/21 Thu 3/11/21 D1 Fo	Thu 3/4/21 Thu 3/4/21 11 Foundation 12 days Fri 3/5/21 Mon 3/22/21 6 Deliver Form Boards, Re-bar/№1 day Fri 3/5/21 Fri 3/5/21 12 Excavate for foundations 1 day Mon 3/8/21 Mon 3/8/21 14 Form Boards 1 day Tue 3/9/21 Tue 3/9/21 15 Install Underground Plumbing 1 day Tue 3/9/21 Tue 3/9/21 15 Plumbing Rough-in 1 day Tue 3/9/21 Tue 3/9/21 15 Survey Form Boards 1 day Wed 3/10/21 Wed 3/10/21 16 Install Underground Electrical 1 day Wed 3/10/21 Wed 3/10/21 19 51 Plumbing Rough-In Inspecti 1 day Wed 3/10/21 Wed 3/10/21 20 01 Foundation Survey Inspectic 1 day Wed 3/10/21 Wed 3/10/21 20 01 Foundation Survey Inspectic 1 day Thu 3/11/21 Thu 3/11/21 17 31 Electrical Ground Work Inst 1 day Thu 3/11/21 Thu 3/11/21 21 50 Plumbing Underground 1 day Thu 3/11/21 Thu 3/11/21 21 Inspection Install Slab Makeup 1 day Fri 3/12/21 Fri 3/12/21 23 13 Slab Inspection 1 day Mon 3/15/21 Mon 3/15/21 24 Box Plumbing 1 day Tue 3/16/21 Tue 3/16/21 25 Pour Concrete for Slab 3 days Wed 3/17/21 Fri 3/19/21 26 Backfill 1 day Mon 3/22/21 Mon 3/22/21 Framing 12 days Tue 3/23/21 Tue 3/23/21 29 Task Inactive Milestone Miles	30 Temp Board Inspection 1 day Thu 3/4/21 Thu 3/2/21 Thu 3/23/21 Thu 3/23/2	30 Temp Board Inspection 1 day Thu 3/4/21 Thu 3/4/21 11 Inspector Foundation 12 days Fri 3/5/21 Mon 3/22/21 6 Deliver Form Boards, Re-bar/N1 day Fri 3/5/21 Fri 3/5/21 12 Concrete contractor Excavate for foundations 1 day Mon 3/8/21 Mon 3/8/21 14 Site excavation contractor Form Boards 1 day Tue 3/9/21 Tue 3/9/21 15 Concrete contractor Install Underground Plumbing 1 day Tue 3/9/21 Tue 3/9/21 15 Electric contractor Plumbing contractor Plumbing Rough-in 1 day Wed 3/10/21 Wed 3/10/21 16 Surveyor Install Underground Electrical 1 day Wed 3/10/21 Wed 3/10/21 19 Electric company Install Underground Electrical 1 day Wed 3/10/21 Wed 3/10/21 19 Electric company Install Underground Electrical 1 day Wed 3/10/21 Wed 3/10/21 17 Inspector 31 Electrical Ground Work Insp. 1 day Thu 3/11/21 Thu 3/11/21 17 Inspector 31 Electrical Ground Work Insp. 1 day Thu 3/11/21 Thu 3/11/21 17 Inspector 31 Electrical Ground Work Insp. 1 day Thu 3/11/21 Thu 3/11/21 11 Inspector 31 Electrical Ground Work Insp. 1 day Thu 3/11/21 Thu 3/11/21 11 Inspector 31 Electrical Ground Work Insp. 1 day Thu 3/11/21 Thu 3/11/21 11 Inspector 31 Electrical Ground Work Insp. 1 day Thu 3/11/21 Thu 3/11/21 17 Inspector 31 Electrical Ground Work Insp. 1 day Thu 3/11/21 Thu 3/11/21 17 Inspector 31 Electrical Ground Work Insp. 1 day Thu 3/11/21 Thu 3/11/21 17 Inspector 31 Electrical Ground Work Insp. 1 day Thu 3/11/21 Thu 3/11/21 17 Inspector 31 Electrical Ground Work Insp. 1 day Thu 3/11/21 Thu 3/11/21 17 Inspector 31 Electrical Ground Work Insp. 1 day Thu 3/11/21 Thu 3/11/21 17 Inspector 31 Electrical Ground Work Insp. 1 day Thu 3/11/21 Thu 3/11/21 17 Inspector 31 Electrical Ground Work Insp. 1 day Thu 3/11/21 Thu 3/11/21 Thu 3/11/21 17 Inspector 31 Electrical Ground Work Insp. 1 day 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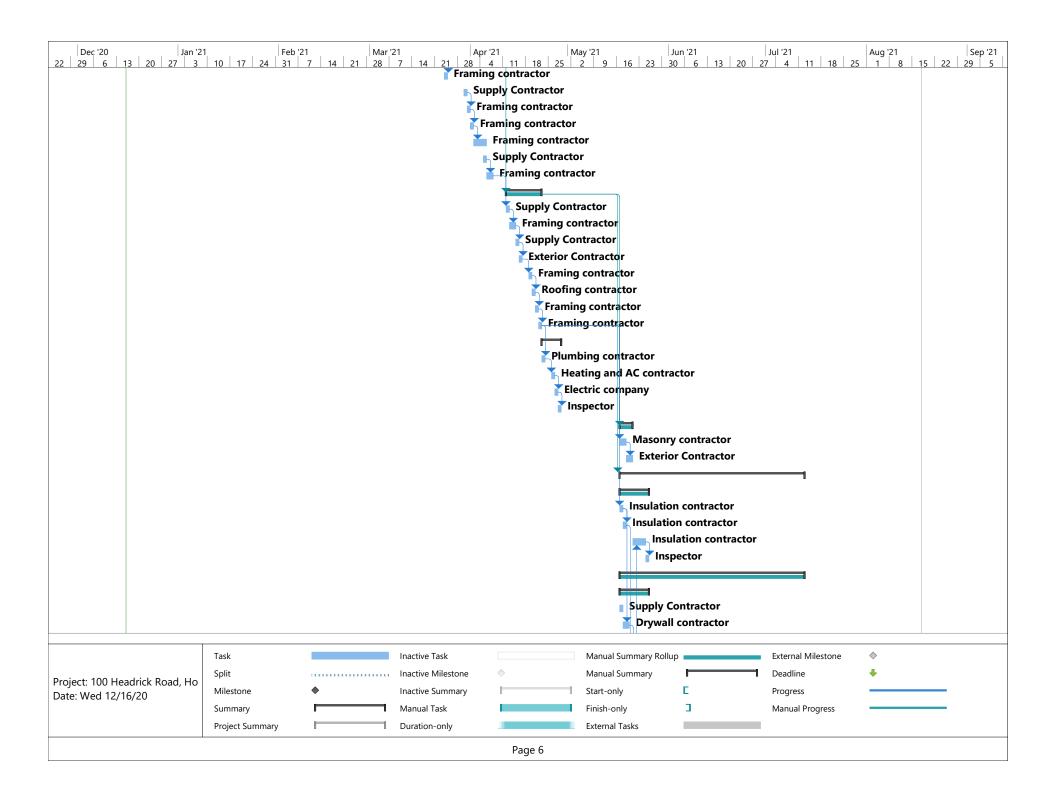
ID	Task Name	Duration	Start	Finish	Predecessors	Resource Names	Oct '20	Nov '20 11 18 25 1 8 15 2
32	Frame 1st floor walls	1 day	Wed 3/24/21	Wed 3/24/21	31	Framing contractor	13 20 27 4	11 18 25 1 8 15 2
33	Deliver 2nd Floor Lumber Pac			Tue 3/30/21		Supply Contractor		
34	Install 2nd floor joists and Dec			Wed 3/31/21	33	Framing contractor		
35	Frame 2nd floor decking	1 day	Thu 4/1/21		34	Framing contractor		
36	Frame 2nd floor walls	2 days	Fri 4/2/21		35	Framing contractor		
37	Deliver Roof Lumber Package		Mon 4/5/21			Supply Contractor		
38	Complete roof framing	2 days	Tue 4/6/21		37	Framing contractor		
39	Dry In	9 days	Mon 4/12/2	Thu 4/22/21	30	-		
40	Deliver Sheathing	1 day	Mon 4/12/22	l Mon 4/12/21	38	Supply Contractor		
41	Install Exterior Sheathing	2 days	Tue 4/13/21	Wed 4/14/21	40	Framing contractor		
42	Deliver Roofing Package	1 day	Thu 4/15/21	Thu 4/15/21	41	Supply Contractor		
43	Wrap House	1 day	Fri 4/16/21	Fri 4/16/21	42	Exterior Contractor		
44	Install roof decking	1 day	Mon 4/19/22	l Mon 4/19/21	43	Framing contractor		
45	Install felt, flashing and shingle	1 day	Tue 4/20/21	Tue 4/20/21	44	Roofing contractor		
46	Hang 1st floor exterior doors	1 day	Wed 4/21/21	l Wed 4/21/21	45	Framing contractor		
47	Install Windows	1 day	Thu 4/22/21	Thu 4/22/21	46	Framing contractor		
48	MEP Top-Out	4 days	Fri 4/23/21	Wed 4/28/21				
49	Plumbing Top-Out	1 day	Fri 4/23/21	Fri 4/23/21	47	Plumbing contractor		
50	Mechanical Rough-In	1 day	Mon 4/26/21	l Mon 4/26/21	49	Heating and AC contractor		
51	Electrical Rough-In	1 day	Tue 4/27/21	Tue 4/27/21	50	Electric company		
52	17 Framing Inspection	1 day	Wed 4/28/21	l Wed 4/28/21	51	Inspector		
53	Exterior Finishes	4 days	Mon 5/17/2	Thu 5/20/21	39			
54	Install Stone Veneer	2 days	Mon 5/17/21	Tue 5/18/21	47	Masonry contractor		
55	Complete exterior siding	2 days	Wed 5/19/21	Thu 5/20/21	54	Exterior Contractor		
56	Complete Inside of House	41 days	Mon 5/17/2	Mon 7/12/21	39			
57	Insulation	7 days	Mon 5/17/2	Tue 5/25/21				
58	Place wall insulation - 1st fl	1 day	Mon 5/17/22	l Mon 5/17/21	47	Insulation contractor		
59	Place wall insulation - 2nd f	l 1 day	Tue 5/18/21	Tue 5/18/21	58	Insulation contractor		
60	Place ceiling insulation-Atti	2 days	Fri 5/21/21	Mon 5/24/21	66	Insulation contractor		
61	18 Conduct insulation inspe	1 day		Tue 5/25/21	60	Inspector		
62	Interior Finishes	41 days	Mon 5/17/2	Mon 7/12/21				
63	Drywall	7 days	Mon 5/17/2	Tue 5/25/21		Drywall contractor		
64	Deliver Drywall	1 day	Mon 5/17/21	l Mon 5/17/21		Supply Contractor		
65	Install drywall - 1st floor	2 days	Tue 5/18/21	Wed 5/19/21	58	Drywall contractor		
	Task			Inactive Task		Manual Summary Rollup	External Milestone	♦
Projec	t: 100 Headrick Road, Ho			Inactive Milestone	♦	Manual Summary	Deadline	↓
	Wed 12/16/20 Milestone		♦	Inactive Summary		Start-only	Progress	
2 310.	Summary			Manual Task		Finish-only	Manual Progress	
	Project Su	mmary		Duration-only		External Tasks		
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					Page 2			

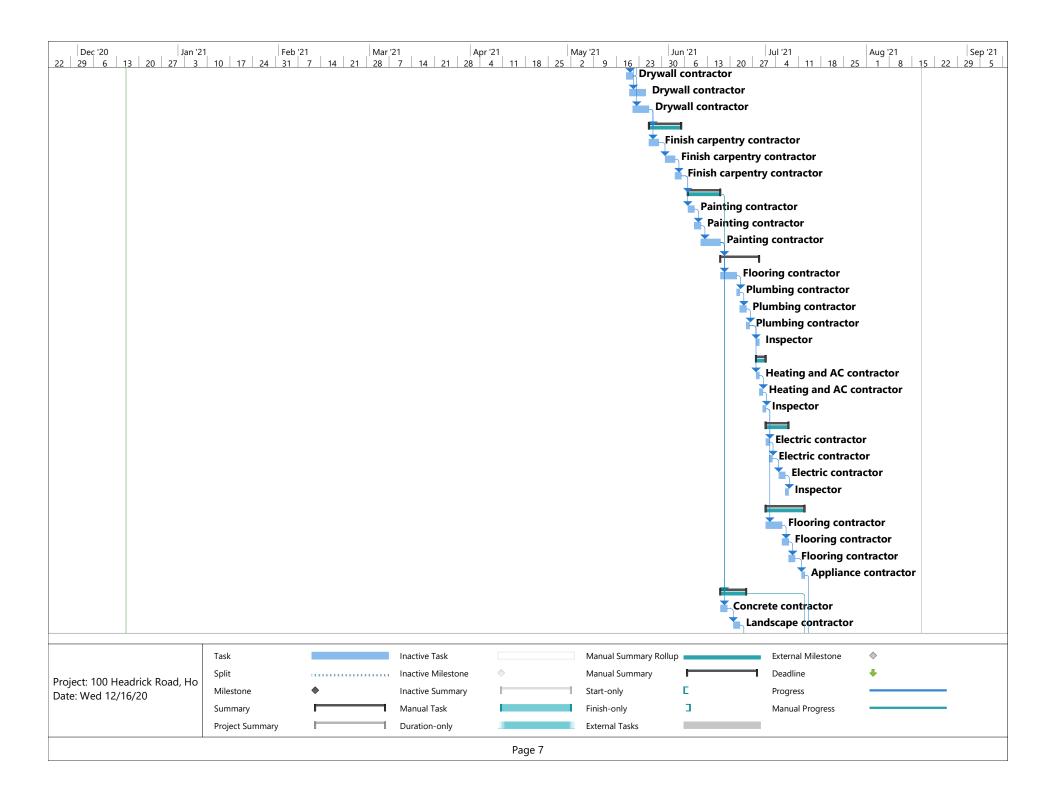
15	ID	Task Name	Duration	Start	Finish	Predecessors	Resource Names	Oct '2	20 Nov '20
Tape and float 1st floor dis days Thu 5/20/21 Mon 5/24/21 65 Drywall contractor	66	Install drywall 2nd f	loor 2 davs	Wed 5/19/2:	Thu 5/20/21	59	Drywall contractor	13 20 27 4	1 11 18 25 1 8 15 2
Fape and float 2nd floor 2 algays Fis 5/21/21 Tue 5/25/21 66 Drywall contractor							•		
Millwork		·							
Install 12t floor Millwork 3 days Wed 5/26/21Fri 5/28/21 58 Finish carpentry contractor									
Install Chair Rails, crown m2 days	70		•				Finish carpentry contractor		
Thu 6/3/21 Fin 6/3/21 71 Fin/3/21 72 Finish carpentry contractor 73 Paint 8 days Mon 6/7/21 We 6/3/21 72 73 Paint all of 1st floor 2 days Mon 6/7/21 We 6/3/21 74 Paint all of 2 nd floor 2 days Mon 6/7/21 We 6/3/21 74 Paint all of 2 nd floor 2 days Mon 6/7/21 We 6/3/21 75 Paint all of 2 nd floor 2 days Mon 6/3/21 Wed 9/3/21 75 Painting contractor 75 Finish Plumbing 8 days Thu 6/17/21 Mon 6/28/21 76 Thu 6/3/21 Thu 6/24/21 79 Plumbing contractor	71								
Paint Pai	72								
Paint all of 1st floor 2 days Mon 6/7/21 Tue 6/8/21 72 Painting contractor	73						, ,		
Paint all of 2nd floor 2 days Wed 6/9/21 Thu 6/10/21 74 Painting contractor	74	Paint all of 1st floor	2 days				Painting contractor		
Paint exterior siding& trin4 days	75	Paint all of 2nd floo				74			
Finish Plumbing	76								
78	77					76			
79	78					76	Flooring contractor		
80	79								
82	80	Complete 2nd floor	pluml 2 days	Wed 6/23/2:	Thu 6/24/21	79	Plumbing contractor		
Signature Sign	81	Trim out gas meter	1 day	Fri 6/25/21	Fri 6/25/21	80	Plumbing contractor		
84	82	54 Plumbing Final Ir	nspect 1 day	Mon 6/28/2:	Mon 6/28/21	81	Inspector		
Society Soci	83	Finish HVAC	3 days	Mon 6/28/2	Wed 6/30/21				
86	84	Complete 1st floor	- zone 1 day	Mon 6/28/2:	l Mon 6/28/21	81	Heating and AC contractor		
87 Finish Electrical 5 days Thu 7/1/21 Wed 7/7/21 88 Complete 1st floor circuit 1 day Thu 7/1/21 Thu 7/1/21 86 Electric contractor 89 Complete 2nd floor circui 1 day Fri 7/2/21 Fri 7/2/21 88 Electric contractor 91 Complete communicatior 2 days Mon 7/5/21 Tue 7/6/21 89 Electric contractor 90 34 Electrical Final Inspecti 1 day Wed 7/7/21 Wed 7/7/21 91 Inspector 92 Carpet and Appliances 8 days Thu 7/1/21 Mon 7/12/21 Mon 7/12/21 93 Install Flooring - Vinyl 3 days Thu 7/1/21 Mon 7/5/21 86 Flooring contractor 94 Install Flooring - 1st floor 2 days Tue 7/6/21 Wed 7/7/21 93 Flooring contractor 95 Install Flooring - 2nd floor 2 days Thu 7/8/21 Fri 7/9/21 94 Flooring contractor 96 Install appliances 1 day Mon 7/12/21 Mon 7/12/21 95 Appliance contractor 97 Landscaping and Grounds Work 6 days Thu 6/17/21 Thu 6/24/21 73 98 Pour concrete driveway and sic 2 days Thu 6/17/21 Fri 6/18/21 76 Concrete contractor 99 Sod and complete plantings - fi 2 days Mon 6/21/21 Tue 6/22/21 98 Landscape contractor Project: 100 Headrick Road, Ho Date: Wed 12/16/20 Manual Summary Deadline Manual Summary Deadline Progress Manual Summary Manual Summary Deadline Progress Manual Prog	85	Complete 2nd floor	- zone1 day	Tue 6/29/21	Tue 6/29/21	84	Heating and AC contractor		
88 Complete 1st floor circuit 1 day Thu 7/1/21 Thu 7/1/21 86 Electric contractor 89 Complete 2nd floor circui 1 day Fri 7/2/21 Fri 7/2/21 88 Electric contractor 91 Complete communicatior 2 days Mon 7/5/21 Tue 7/6/21 89 Electric contractor 90 34 Electrical Final Inspecti 1 day Wed 7/7/21 Wed 7/7/21 91 Inspector 92 Carpet and Appliances 8 days Thu 7/1/21 Mon 7/12/21 93 Install Flooring - Vinyl 3 days Thu 7/1/21 Mon 7/5/21 86 Flooring contractor 94 Install Flooring - 1st floor 2 days Tue 7/6/21 Wed 7/7/21 93 Flooring contractor 95 Install Flooring - 2nd floor 2 days Thu 7/8/21 Fri 7/9/21 94 Flooring contractor 96 Install appliances 1 day Mon 7/12/21 Mon 7/12/21 79 Appliance contractor 97 Landscaping and Grounds Work 6 days Thu 6/17/21 Thu 6/24/21 73 98 Pour concrete driveway and sii 2 days Thu 6/17/21 Fri 6/18/21 76 Concrete contractor 99 Sod and complete plantings - fi 2 days Mon 6/21/21Tue 6/22/21 98 Landscape contractor Project: 100 Headrick Road, Ho Date: Wed 12/16/20 Annual Summary Deadline Progress Manual Summary Manual Summary Manual Summary Manual Progress Manual Progress Manual Progress Manual Progress Manual Progress	86	44 HVAC Final inspe	ection 1 day	Wed 6/30/2:	l Wed 6/30/21	85	Inspector		
Respondence 2nd floor circui 1 day	87	Finish Electrical	5 days	Thu 7/1/21	Wed 7/7/21				
91 Complete communicatior 2 days Mon 7/5/21 Tue 7/6/21 89 Electric contractor 90 34 Electrical Final Inspecti 1 day Wed 7/7/21 Wed 7/7/21 91 Inspector 92 Carpet and Appliances 8 days Thu 7/1/21 Mon 7/12/21 93 Install Flooring - Vinyl 3 days Thu 7/1/21 Mon 7/5/21 86 Flooring contractor 94 Install Flooring - 1st floor 2 days Tue 7/6/21 Wed 7/7/21 93 Flooring contractor 95 Install Flooring - 2nd floor 2 days Thu 7/8/21 Fri 7/9/21 94 Flooring contractor 96 Install appliances 1 day Mon 7/12/21Mon 7/12/21 95 Appliance contractor 97 Landscaping and Grounds Work 6 days Thu 6/17/21 Thu 6/24/21 73 98 Pour concrete driveway and sit 2 days Thu 6/17/21 Fri 6/18/21 76 Concrete contractor 99 Sod and complete plantings - fi 2 days Mon 6/21/21 Tue 6/22/21 98 Landscape contractor Project: 100 Headrick Road, Ho Date: Wed 12/16/20 Task Inactive Task Manual Summary Deadline Manual Summary Deadline Millestone Summary Froject Summary Duration-only External Tasks Manual Summary Finish-only Manual Progress Manual Progress Manual Progress Manual Progress	88	Complete 1st floor	circuit 1 day	Thu 7/1/21	Thu 7/1/21	86	Electric contractor		
90 34 Electrical Final Inspecti1 day Wed 7/7/21 91 Inspector 92 Carpet and Appliances 8 days Thu 7/1/21 Mon 7/12/21 93 Install Flooring - Vinyl 3 days Thu 7/1/21 Mon 7/5/21 86 Flooring contractor 94 Install Flooring - 1st floor 2 days Tue 7/6/21 Wed 7/7/21 93 Flooring contractor 95 Install Flooring - 2nd floor 2 days Thu 7/8/21 Fri 7/9/21 94 Flooring contractor 96 Install appliances 1 day Mon 7/12/21 Mon 7/12/21 95 Appliance contractor 97 Landscaping and Grounds Work 6 days Thu 6/17/21 Fri 6/18/21 73 98 Pour concrete driveway and sit2 days Thu 6/17/21 Fri 6/18/21 76 Concrete contractor 99 Sod and complete plantings - fi2 days Mon 6/21/21 Tue 6/22/21 98 Landscape contractor Project: 100 Headrick Road, Ho Date: Wed 12/16/20 Task Split Inactive Task Manual Summary Deadline Milestone Manual Summary Deadline Milestone Summary Inactive Milestone Summary Start-only External Milestone Manual Progress Manual Progress Manual Progress Manual Progress	89	Complete 2nd floor	circui 1 day	Fri 7/2/21	Fri 7/2/21	88	Electric contractor		
Start Star	91	Complete communi	icatior 2 days	Mon 7/5/21	Tue 7/6/21	89	Electric contractor		
93	90	34 Electrical Final In	specti 1 day	Wed 7/7/21	Wed 7/7/21	91	Inspector		
Install Flooring - 1st floor 2 days Install Flooring - 2nd floor 2 days Install Flooring - 2nd floor 2 days Thu 7/8/21 Fri 7/9/21 94 Flooring contractor Install appliances 1 day Mon 7/12/21 Mon 7/12/21 95 Appliance contractor Install appliances 1 day Mon 7/12/21 Mon 7/12/21 95 Appliance contractor Install appliances 1 day Mon 7/12/21 Mon 7/12/21 95 Appliance contractor Install appliances 1 day Mon 6/17/21 Thu 6/24/21 73 Fri 6/18/21 76 Concrete contractor Install appliances 1 day Mon 6/17/21 Thu 6/24/21 73 Fri 6/18/21 76 Concrete contractor Install Flooring - 2nd floor 2 days Mon 7/12/21 Mon 7/12/21 95 Appliance contractor Install Flooring Contractor Install Floori	92	Carpet and Appliance	s 8 days	Thu 7/1/21	Mon 7/12/21				
95 Install Flooring - 2nd floor 2 days Thu 7/8/21 Fri 7/9/21 94 Flooring contractor 96 Install appliances 1 day Mon 7/12/21 Mon 7/12/21 95 Appliance contractor 97 Landscaping and Grounds Work 6 days Thu 6/17/21 Thu 6/24/21 73 98 Pour concrete driveway and si 2 days Thu 6/17/21 Fri 6/18/21 76 Concrete contractor 99 Sod and complete plantings - f 2 days Mon 6/21/21 Tue 6/22/21 98 Landscape contractor Project: 100 Headrick Road, Ho Date: Wed 12/16/20 Task Inactive Task Manual Summary Deadline Inactive Milestone Manual Summary Deadline Inactive Summary Start-only External Milestone Summary Finish-only Start-only External Tasks Manual Task Finish-only Manual Progress Manual Progress Manual Progress Manual Progress Manual Progress Manual Progress	93	Install Flooring - Vin	ıyl 3 days	Thu 7/1/21	Mon 7/5/21	86	Flooring contractor		
1 day Mon 7/12/21 Mon 7/12/21 95 Appliance contractor	94	Install Flooring - 1st	floor 2 days	Tue 7/6/21	Wed 7/7/21	93	Flooring contractor		
97 Landscaping and Grounds Work 6 days 98 Pour concrete driveway and sir 2 days 99 Sod and complete plantings - fi 2 days 99 Mon 6/21/21 Tue 6/22/21 98 Landscape contractor Project: 100 Headrick Road, Ho Date: Wed 12/16/20 Task Split Inactive Task Split Inactive Milestone Summary Manual Summary Manual Summary Start-only Start-only Froject Summary Project Summary	95	Install Flooring - 2nd	d floor 2 days	Thu 7/8/21	Fri 7/9/21	94	Flooring contractor		
Project: 100 Headrick Road, Ho Date: Wed 12/16/20 Project Summary Projec	96	Install appliances	1 day	Mon 7/12/2	l Mon 7/12/21	95	Appliance contractor		
99 Sod and complete plantings - fi 2 days Mon 6/21/21 Tue 6/22/21 98 Landscape contractor Project: 100 Headrick Road, Ho Date: Wed 12/16/20 Task Inactive Task Manual Summary Rollup External Milestone Manual Summary Deadline Progress Inactive Summary Start-only External Tasks Manual Task Finish-only Manual Progress Manual Progress Manual Progress	97	Landscaping and Grounds \	Work 6 days	Thu 6/17/21	Thu 6/24/21	73			
Project: 100 Headrick Road, Ho Date: Wed 12/16/20 Task Inactive Task Manual Summary Rollup External Milestone Manual Summary Deadline Inactive Summary Manual Task Finish-only Duration-only External Milestone Manual Summary Deadline Progress Manual Progress Manual Progress	98	Pour concrete driveway	and sic2 days	Thu 6/17/21	Fri 6/18/21	76	Concrete contractor		
Project: 100 Headrick Road, Ho Date: Wed 12/16/20 Split Inactive Milestone Manual Summary Deadline Inactive Summary Start-only Common Manual Progress Summary Manual Task Finish-only External Tasks	99	Sod and complete planting	ngs - f 2 days	Mon 6/21/2	Tue 6/22/21	98	Landscape contractor		
Project: 100 Headrick Road, Ho Date: Wed 12/16/20 Milestone Summary Project Summary Project Summary Duration-only Manual Task Finish-only External Tasks		Tasi	k		Inactive Task		Manual Summary Rollup	External Milestone	*
Date: Wed 12/16/20 Milestone Summary Manual Task Project Summary Duration-only Start-only Progress Manual Progress External Tasks	Duni	to 100 Use driet Dood Us	it		Inactive Milestone	.	Manual Summary	Deadline	•
Summary Manual Task Finish-only Manual Progress Project Summary Duration-only External Tasks		NACL.	estone	•	Inactive Summary		Start-only	Progress	
	Date.		nmary		Manual Task		Finish-only	Manual Progress	
		Proj	ject Summary		Duration-only		External Tasks		
Page 3						Page	3		

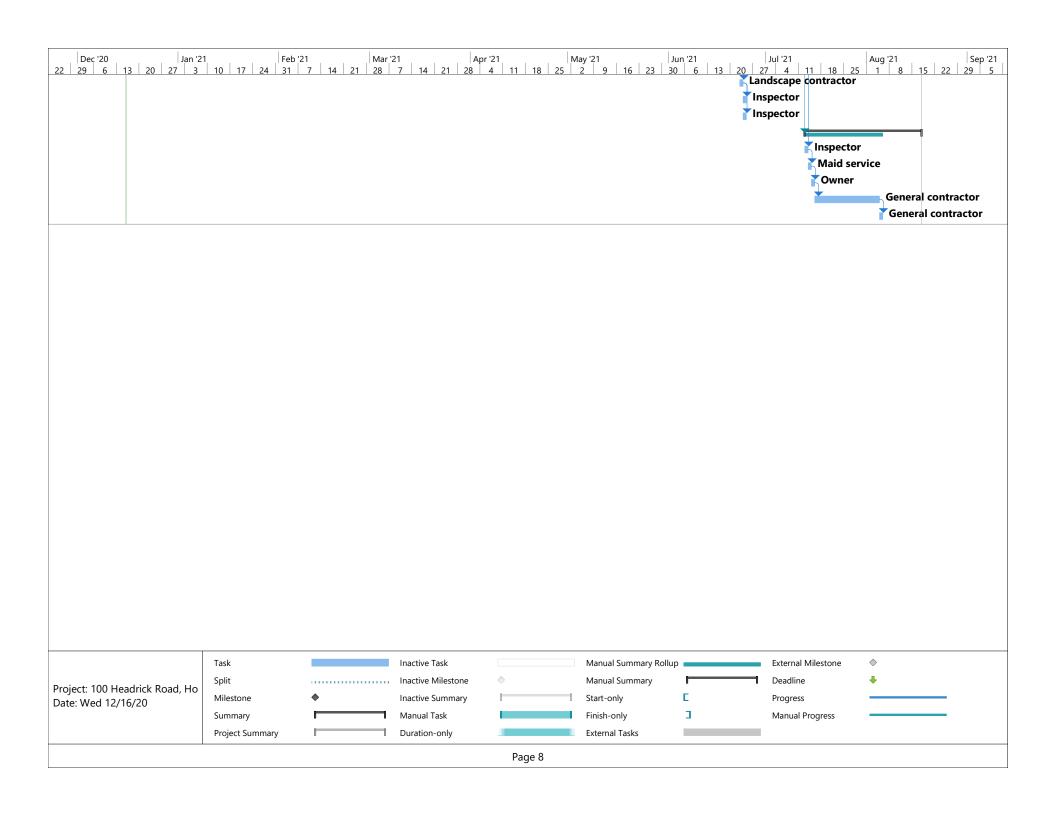
ID	Task Name	Duration	Start	Finish	Predecessors	Resource Names	13	20	27	ct '20	11	18 2	Nov '	20	15 3
100	Sod and complete plantings - k	1 day	Wed 6/23/21	Wed 6/23/21	99	Landscape contractor	13			-		10 2	, ,	0	13 2
101	65 Street Trees Inspection	1 day	Thu 6/24/21	Thu 6/24/21	100	Inspector									
102	66 Final Erosion Control Inspec	1 day	Thu 6/24/21	Thu 6/24/21	100	Inspector									
103	Final Acceptance	26 days	Tue 7/13/21	Tue 8/17/21	97										
104	21 Final inspection for certifica	1 day	Tue 7/13/21	Tue 7/13/21	96	Inspector									
105	Cleanup for occupancy	1 day	Wed 7/14/21	Wed 7/14/21	104	Maid service									
106	Perform final walk-through ins	1 day	Thu 7/15/21	Thu 7/15/21	105	Owner									
107	Complete punch list items	14 days	Fri 7/16/21	Wed 8/4/21	106	General contractor									
108	Final Walkthrough With buyer	1 day	Thu 8/5/21	Thu 8/5/21	107	General contractor									

Task Inactive Task Manual Summary Rollup External Milestone \Diamond Split Inactive Milestone Manual Summary Deadline Project: 100 Headrick Road, Ho Е Progress Milestone Inactive Summary Start-only Date: Wed 12/16/20 Summary Manual Task Finish-only J Manual Progress Duration-only Project Summary External Tasks Page 4









ID	Task Name	Duration	Start	Finish	Predecessors	Resource Names	Oct '	20 Nov '20 4 11 18 25 1 8 15
0	100 Headrick Road, Holly Springs, NC PT2	135 days	Mon 2/1/21	Fri 8/6/21			13 20 21 -	+ 11 10 23 1 0 13
1	General Conditions	20 days	Mon 2/1/21	Fri 2/26/21				
2	Finalize plans and develop estimate	5 days	Mon 2/1/21	Fri 2/5/21		General contractor		
3	Sign contract and notice to proceed	1 day	Mon 2/8/21	Mon 2/8/21	2	General contractor		
4	Apply for Permits	10 days	Mon 2/15/21	Fri 2/26/21				
5	Secure Permits	1 day	Fri 2/26/21	Fri 2/26/21		General contractor		
6	Site Work	4 days	Mon 3/1/21	Thu 3/4/21				
7	Order long lead items	1 day	Mon 3/1/21	Mon 3/1/21		General contractor		
8	Initial Erosion Control	1 day	Mon 3/1/21	Mon 3/1/21		Erosion Control Contractor		
9	Install Temporary Power Pole	1 day	Tue 3/2/21	Tue 3/2/21	8	Electric company		
12	60 Erosion Control inspection	1 day	Tue 3/2/21	Tue 3/2/21	8	Inspector		
11	Connect Temp Power	1 day	Wed 3/3/21	Wed 3/3/21	9	Electric company		
10	30 Temp Board Inspection	1 day	Thu 3/4/21	Thu 3/4/21	11	Inspector		
13	Foundation	11 days	Fri 3/5/21	Fri 3/19/21	6			
14	Deliver Form Boards, Re-bar,	N 1 day	Fri 3/5/21	Fri 3/5/21	12	Supply Contractor		
15	Excavate for foundations	1 day	Mon 3/8/21	Mon 3/8/21	14	Site excavation contractor		
16	Form Boards	1 day	Tue 3/9/21	Tue 3/9/21	15	Concrete contractor		
19	Install Underground Plumbin	g 1 day	Tue 3/9/21	Tue 3/9/21	15	Electric contractor, Plumbing contractor		
20	Plumbing Rough-in	1 day	Tue 3/9/21	Tue 3/9/21	15	Plumbing contractor		
17	Survey Form Boards	1 day	Wed 3/10/21	Wed 3/10/2	1 16	Surveyor		
21	Install Underground Electrica	l 1 day	Wed 3/10/21	Wed 3/10/2	1 19	Electric company		
27	51 Plumbing Rough-In Inspec	ti 1 day	Wed 3/10/21	Wed 3/10/2	1 20	Inspector		
18	01 Foundation Survey Inspec	tic1 day	Thu 3/11/21	Thu 3/11/21	17	Inspector		
22	31 Electrical Ground Work In	sr 1 day	Thu 3/11/21	Thu 3/11/21	21	Inspector		
23	50 Plumbing Underground In	sr 1 day	Thu 3/11/21	Thu 3/11/21	21	Inspector		
24	Install Slab Makeup	1 day	Fri 3/12/21	Fri 3/12/21	23	Concrete contractor		
25	13 Slab Inspection	1 day	Mon 3/15/21	Mon 3/15/2	1 24	Inspector		
26	Pour Concrete	3 days	Tue 3/16/21	Thu 3/18/21		Concrete contractor		
28	Backfill	1 day	Fri 3/19/21	Fri 3/19/21	26	Site excavation contractor		
29	Framing	13 days	Mon 3/22/21	Wed 4/7/21	13			
30	Deliver 1st Floor Lumber Pac	ka 1 day	Mon 3/22/21	Mon 3/22/2		Supply Contractor		
31	Frame 1st Floor System	2 days	Tue 3/23/21	Wed 3/24/2	1 30	Framing contractor		
	Task			Inactive Task		Manual Summary Rollup	External Milestone	♦
Dec:-	Split			Inactive Mileston	e 🔷	Manual Summary	1 Deadline	+
, ,	ct: 100 Headrick Road, Ho Wed 12/16/20	9	♦	Inactive Summar	y	Start-only	Progress	
Date.	Summary	,		Manual Task		Finish-only	Manual Progress	
	Project S	ummary		Duration-only		External Tasks		
	l .				Page	1		

ID	Task Name	Duration	Start	Finish	Predecessors	Resource Names	Oct '20 Nov '20 13 20 27 4 11 18 25 1 8 15
32	Frame 1st floor walls	1 day	Thu 3/25/21	Thu 3/25/21	31	Framing contractor	15 20 21 4 11 10 25 1 0 15
33	Deliver 2nd Floor Lumber Pac	k 1 day	Tue 3/30/21	Tue 3/30/21		Supply Contractor	
34	Install 2nd floor joists and Dec		Wed 3/31/21	Wed 3/31/21	33	Framing contractor	
35	Frame 2nd floor decking	1 day	Thu 4/1/21	Thu 4/1/21	34	Framing contractor	
36	Frame 2nd floor walls	2 days	Fri 4/2/21	Mon 4/5/21	35	Framing contractor	
37	Deliver Roof Lumber Package	1 day	Mon 4/5/21	Mon 4/5/21		-	
38	Complete roof framing	2 days	Tue 4/6/21	Wed 4/7/21	37	Framing contractor	
39	Dry In	9 days	Thu 4/15/21	Tue 4/27/21	29	_	
40	Deliver Sheathing	1 day	Thu 4/15/21	Thu 4/15/21	38	Supply Contractor	
41	Install Exterior Sheathing	2 days	Fri 4/16/21	Mon 4/19/21	40	Framing contractor	
42	Deliver Roofing Package	1 day	Tue 4/20/21	Tue 4/20/21	41	Supply Contractor	
43	Wrap House	1 day	Wed 4/21/21	Wed 4/21/21	42	Exterior Contractor	
44	Install roof decking	1 day	Thu 4/22/21	Thu 4/22/21	43	Framing contractor	
45	Install felt, flashing and shingl	e 1 day	Fri 4/23/21	Fri 4/23/21	44	Roofing contractor	
46	Hang 1st floor exterior doors	1 day	Mon 4/26/21	Mon 4/26/21	45	Framing contractor	
47	Install Windows	1 day	Tue 4/27/21	Tue 4/27/21	46	Framing contractor	
48	MEP Top-Out	4 days	Wed 4/28/21	Mon 5/3/21			
49	Plumbing Top-Out	1 day	Wed 4/28/21	Wed 4/28/21	47	Plumbing contractor	
50	Mechanical Rough-In	1 day	Thu 4/29/21	Thu 4/29/21	49	Heating and AC contractor	
51	Electrical Rough-In	1 day	Fri 4/30/21	Fri 4/30/21	50	Electric company	
52	17 Framing Inspection	1 day	Mon 5/3/21	Mon 5/3/21	51	Inspector	
53	Exterior Finishes	5 days	Mon 5/17/21	Fri 5/21/21	39		
54	Install Stone Veneer	3 days	Mon 5/17/21	Wed 5/19/21	47	Masonry contractor	
56	Install Front Porch Railing	1 day	Mon 5/17/21	Mon 5/17/21		Exterior Contractor	
55	Complete exterior siding	2 days	Thu 5/20/21	Fri 5/21/21	54	Exterior Contractor	
57	Complete Inside of House	42 days	Mon 5/17/21	Tue 7/13/21	39		
58	Insulation	8 days	Mon 5/17/21	Wed 5/26/21	1		
59	Place Insulation - 1st floor	2 days	Mon 5/17/21	Tue 5/18/21	47	Insulation contractor	
60	Place insulation - 2nd floor	1 day	Wed 5/19/21	Wed 5/19/21	59	Insulation contractor	
61	Place ceiling insulation-Atti	c 2 days	Mon 5/24/21	Tue 5/25/21	67	Insulation contractor	
62	18 Conduct insulation inspe	e 1 day	Wed 5/26/21	Wed 5/26/21	61	Inspector	
63	Interior Finishes	42 days	Mon 5/17/21	Tue 7/13/21			
64	Drywall	8 days	Mon 5/17/21	Wed 5/26/21	1	Drywall contractor	
65	Deliver Drywall	1 day	Mon 5/17/21	Mon 5/17/21		Supply Contractor	
	Task			Inactive Task		Manual Summary Rollup	External Milestone
Droice	t: 100 Hoodrick Pood Ho			Inactive Milestone	e	Manual Summary	■ Deadline ♣
	tt: 100 Headrick Road, Ho Wed 12/16/20 Milestone		♦	Inactive Summary	,	Start-only E	Progress
Date.	Summary			Manual Task		Finish-only	Manual Progress
	Project Su	mmary		Duration-only		External Tasks	
		-		<u> </u>			
					Page 2		

Install drywall - 1st floor Install drywall 2nd floor Tape and float 1st floor Tape and float 2nd floor Millwork Install 1st floor Millwork Install 2nd Floor Millwork Install 2nd Floor Millwork Install chair rails, crown in Paint Paint all of 1st floor Paint all of 2nd floor Paint exterior siding& tri Finish Plumbing Install Tile to Prepare for Complete 1st floor - kitch Complete 2nd floor plum Trim out gas meter	2 days 3 days 8 days 3 days 3 days 4 days 2 days 2 days 2 days 2 days 4 days 8 days 3 days	Wed 5/19/21 Thu 5/20/21 Fri 5/21/21 Mon 5/24/21 Thu 5/27/21 Thu 5/27/21 Tue 6/1/21 Fri 6/4/21 Tue 6/8/21 Tue 6/8/21 Thu 6/10/21 Mon 6/14/21	Thu 5/20/21 Fri 5/21/21 Tue 5/25/21 Wed 5/26/21 Mon 6/7/21 Mon 5/31/21 Thu 6/3/21 Mon 6/7/21 Thu 6/17/21 Wed 6/9/21 Fri 6/11/21		Drywall contractor Drywall contractor Drywall contractor Drywall contractor Finish carpentry contractor Finish carpentry contractor Finish carpentry contractor	13 20 27 4	11 18 25 1 8 15
Install drywall 2nd floor Tape and float 1st floor of Tape and float 2nd floor Millwork Install 1st floor Millwork Install 2nd Floor Millwork Install chair rails, crown of Paint Paint all of 1st floor Paint all of 2nd floor Paint exterior siding& tri Finish Plumbing Install Tile to Prepare for Complete 1st floor - kitch	2 days 3 days 8 days 3 days 3 days 4 days 2 days 2 days 2 days 2 days 4 days 8 days 3 days	Thu 5/20/21 Fri 5/21/21 Mon 5/24/21 Thu 5/27/21 Thu 5/27/21 Tue 6/1/21 Fri 6/4/21 Tue 6/8/21 Tue 6/8/21 Thu 6/10/21 Mon 6/14/21	Fri 5/21/21 Tue 5/25/21 Wed 5/26/21 Mon 6/7/21 Mon 5/31/21 Thu 6/3/21 Mon 6/7/21 Thu 6/17/21 Wed 6/9/21	60 66 67 69 71 72	Drywall contractor Drywall contractor Drywall contractor Finish carpentry contractor Finish carpentry contractor		
Tape and float 1st floor of Tape and float 2nd floor Millwork Install 1st floor Millwork Install 2nd Floor Millwork Install chair rails, crown of Paint Paint all of 1st floor Paint all of 2nd floor Paint exterior siding& tri Finish Plumbing Install Tile to Prepare for Complete 1st floor plum	a days	Fri 5/21/21 Mon 5/24/21 Thu 5/27/21 Thu 5/27/21 Tue 6/1/21 Fri 6/4/21 Tue 6/8/21 Tue 6/8/21 Thu 6/10/21 Mon 6/14/21	Tue 5/25/21 Wed 5/26/21 Mon 6/7/21 Mon 5/31/21 Thu 6/3/21 Mon 6/7/21 Thu 6/17/21 Wed 6/9/21	66 67 69 71 72	Drywall contractor Finish carpentry contractor Finish carpentry contractor		
Tape and float 2nd floor Millwork Install 1st floor Millwork Install 2nd Floor Millwork Install chair rails, crown in Paint Paint all of 1st floor Paint all of 2nd floor Paint exterior siding& tri Finish Plumbing Install Tile to Prepare for Complete 1st floor - kitch Complete 2nd floor plum	3 days 8 days 3 days 2 days 2 days 2 days 2 days 4 days 3 days	Mon 5/24/21 Thu 5/27/21 Thu 5/27/21 Tue 6/1/21 Fri 6/4/21 Tue 6/8/21 Tue 6/8/21 Thu 6/10/21 Mon 6/14/21	Wed 5/26/21 Mon 6/7/21 Mon 5/31/21 Thu 6/3/21 Mon 6/7/21 Thu 6/17/21 Wed 6/9/21	67 69 71 72	Drywall contractor Finish carpentry contractor Finish carpentry contractor		
Millwork Install 1st floor Millwork Install 2nd Floor Millwork Install chair rails, crown in Paint Paint all of 1st floor Paint all of 2nd floor Paint exterior siding& tri Finish Plumbing Install Tile to Prepare for Complete 1st floor - kitch Complete 2nd floor plum	8 days 3 days 3 days 2 days 2 days 2 days 2 days 4 days 8 days 3 days	Thu 5/27/21 Thu 5/27/21 Tue 6/1/21 Fri 6/4/21 Tue 6/8/21 Tue 6/8/21 Thu 6/10/21 Mon 6/14/21	Mon 6/7/21 Mon 5/31/21 Thu 6/3/21 Mon 6/7/21 Thu 6/17/21 Wed 6/9/21	69 71 72	Finish carpentry contractor Finish carpentry contractor		
Install 1st floor Millwork Install 2nd Floor Millwork Install chair rails, crown in Paint Paint all of 1st floor Paint all of 2nd floor Paint exterior siding& tri Finish Plumbing Install Tile to Prepare for Complete 1st floor - kitch Complete 2nd floor plum	3 days 2 days 8 days 2 days 2 days 4 days 8 days 3 days	Thu 5/27/21 Tue 6/1/21 Fri 6/4/21 Tue 6/8/21 Tue 6/8/21 Thu 6/10/21 Mon 6/14/21	Mon 5/31/21 Thu 6/3/21 Mon 6/7/21 Thu 6/17/21 Wed 6/9/21	71 72	Finish carpentry contractor		
Install 2nd Floor Millwor Install chair rails, crown in Paint Paint all of 1st floor Paint all of 2nd floor Paint exterior siding& tri Finish Plumbing Install Tile to Prepare for Complete 1st floor - kitch	3 days 2 days 8 days 2 days 2 days 4 days 8 days 3 days	Tue 6/1/21 Fri 6/4/21 Tue 6/8/21 Tue 6/8/21 Thu 6/10/21 Mon 6/14/21	Thu 6/3/21 Mon 6/7/21 Thu 6/17/21 Wed 6/9/21	71 72	Finish carpentry contractor		
Install chair rails, crown in Paint Paint all of 1st floor Paint all of 2nd floor Paint exterior siding& tri Finish Plumbing Install Tile to Prepare for Complete 1st floor - kitch Complete 2nd floor plum	2 days 8 days 2 days 2 days 4 days 8 days 3 days	Fri 6/4/21 Tue 6/8/21 Tue 6/8/21 Thu 6/10/21 Mon 6/14/21	Mon 6/7/21 Thu 6/17/21 Wed 6/9/21	72			
Paint Paint all of 1st floor Paint all of 2nd floor Paint exterior siding& tri Finish Plumbing Install Tile to Prepare for Complete 1st floor - kitcl	8 days 2 days 2 days 4 days 8 days 3 days	Tue 6/8/21 Tue 6/8/21 Thu 6/10/21 Mon 6/14/21	Thu 6/17/21 Wed 6/9/21		,		
Paint all of 2nd floor Paint exterior siding& tri Finish Plumbing Install Tile to Prepare for Complete 1st floor - kitcl Complete 2nd floor plum	2 days 4 days 8 days 3 days	Tue 6/8/21 Thu 6/10/21 Mon 6/14/21	Wed 6/9/21	72			
Paint exterior siding& tri Finish Plumbing Install Tile to Prepare for Complete 1st floor - kitcl Complete 2nd floor plum	14 days 8 days 3 days	Thu 6/10/21 Mon 6/14/21		/3	Painting contractor		
Paint exterior siding& tri Finish Plumbing Install Tile to Prepare for Complete 1st floor - kitcl Complete 2nd floor plum	8 days 3 days	Mon 6/14/21		75	Painting contractor		
Finish Plumbing Install Tile to Prepare for Complete 1st floor - kitch Complete 2nd floor plum	8 days 3 days		Thu 6/17/21	76	Painting contractor		
Install Tile to Prepare for Complete 1st floor - kitcl Complete 2nd floor plum	3 days	Fri 6/18/21	Tue 6/29/21				
Complete 1st floor - kitch Complete 2nd floor plum		Fri 6/18/21	Tue 6/22/21	77	Flooring contractor		
Complete 2nd floor plum	1 day	Wed 6/23/21	Wed 6/23/21	79	Plumbing contractor		
•		Thu 6/24/21	Fri 6/25/21	80	Plumbing contractor		
	1 day	Mon 6/28/21	Mon 6/28/21		Plumbing contractor		
54 Plumbing Final Inspec		Tue 6/29/21	Tue 6/29/21	82	Inspector		
Finish HVAC	3 days	Tue 6/29/21	Thu 7/1/21				
Complete 1st floor - zone	1 day	Tue 6/29/21	Tue 6/29/21	82	Heating and AC contractor		
Complete 2nd floor - zon		Wed 6/30/21	Wed 6/30/21		Heating and AC contractor		
44 HVAC Final inspection		Thu 7/1/21	Thu 7/1/21	86	Inspector		
Finish Electrical	5 days	Fri 7/2/21	Thu 7/8/21				
Complete 1st floor circui	1 day	Fri 7/2/21	Fri 7/2/21	87	Electric contractor		
Complete 2nd floor circu	i 1 day	Mon 7/5/21	Mon 7/5/21	89	Electric contractor		
Complete communicatio		Tue 7/6/21	Wed 7/7/21	90	Electric contractor		
34 Electrical Final Inspec	i 1 day	Thu 7/8/21	Thu 7/8/21	92	Inspector		
Carpet and Appliances	8 days	Fri 7/2/21	Tue 7/13/21				
Install Flooring - Vinyl	3 days	Fri 7/2/21	Tue 7/6/21	87	Flooring contractor		
Install Flooring - 1st floor	2 days	Wed 7/7/21	Thu 7/8/21	94	Flooring contractor		
		Fri 7/9/21			Flooring contractor		
Install appliances	1 day	Tue 7/13/21	Tue 7/13/21	96	Appliance contractor		
	7 days	Thu 6/17/21	Fri 6/25/21	74			
ur concrete driveway and s	2 days	Fri 6/18/21	Mon 6/21/21	. 77	Concrete contractor		
Task			Inactive Task		Manual Summary Rollup	External Milestone	♦
Split			Inactive Milestone	\langle	Manual Summary	Deadline	+
Milastona		♦	Inactive Summary		Start-only E	Progress	
10/20			Manual Task		Finish-only	Manual Progress	
Summary	mmary				•		
	- ,						
a	Install Flooring - 2nd floo Install appliances caping and Grounds Work r concrete driveway and si drick Road, Ho 6/20 Task Split Milestone Summary	Install Flooring - 2nd floor 2 days Install appliances 1 day caping and Grounds Work r concrete driveway and sic 2 days Task Split Milestone	Install Flooring - 2nd floor 2 days Install appliances 1 day Tue 7/13/21 Tay Treconcrete driveway and sic 2 days Thu 6/17/21 Treconcrete driveway and sic 2 days Tri 6/18/21 Task Split Milestone Summary	Install Flooring - 2nd floor 2 days Install appliances 1 day Tue 7/13/21 Tue 7/13/21 Tre	Install Flooring - 2nd floor 2 days Install appliances 1 day Tue 7/13/21 Tue 7/13/21 96 Tapping and Grounds Work T days Thu 6/17/21 Fri 6/25/21 74 Tre concrete driveway and sic 2 days Tri 6/18/21 Task Split Inactive Task Split Inactive Milestone Summary Manual Task Manual Task	Install Flooring - 2nd floor 2 days Install appliances I day Install appliances I day Tue 7/13/21 Tue 7/13/21 Fri 6/25/21 Tue 7/13/21 Tue 7/13/21 Fri 6/25/21 Tue 7/13/21 Tue	Install Flooring - 2nd floor 2 days Fri 7/9/21 Mon 7/12/21 95 Flooring contractor Install appliances 1 day Tue 7/13/21 Tue 7/13/21 96 Appliance contractor Saping and Grounds Work 7 days Thu 6/17/21 Fri 6/25/21 74 Tre concrete driveway and sic 2 days Fri 6/18/21 Mon 6/21/21 77 Concrete contractor Task Inactive Task Manual Summary Rollup External Milestone Milestone Manual Summary Deadline Milestone Summary Start-only Frish-only Manual Progress Manual Progress

ID	Task Name	Duration	Start	Finish	Predecessors	Resource Names	Oct '20
100	Sod and complete plantings - f	2 days	Tue 6/22/21	Wed 6/23/21	99	Landscape contractor	
101	Sod and complete plantings - k	1 day	Thu 6/24/21	Thu 6/24/21	100	Landscape contractor	
102	65 Street Trees Inspection	1 day	Fri 6/25/21	Fri 6/25/21	101	Inspector	
103	66 Final Erosion Control Inspec	1 day	Fri 6/25/21	Fri 6/25/21	101	Inspector	
104	Final Acceptance	27 days	Thu 7/1/21	Fri 8/6/21			
105	21 Final inspection for certifica	1 day	Wed 7/14/21	Wed 7/14/21	97	Inspector	
106	Cleanup for occupancy	1 day	Thu 7/15/21	Thu 7/15/21	105	Maid service	
107	Perform final walk-through ins	1 day	Fri 7/16/21	Fri 7/16/21	106	Owner	
108	Complete punch list items	14 days	Mon 7/19/21	Thu 8/5/21	107	General contractor	
109	Final Walkthrough With buyer	1 day	Fri 8/6/21	Fri 8/6/21	108	General contractor	



