

**Macrae-Gibson**  
Architects P.C.

450 SEVENTH AVENUE, SUITE 2406  
NEW YORK, NY 10123  
212-294-2940  
WWW.M-GA.COM

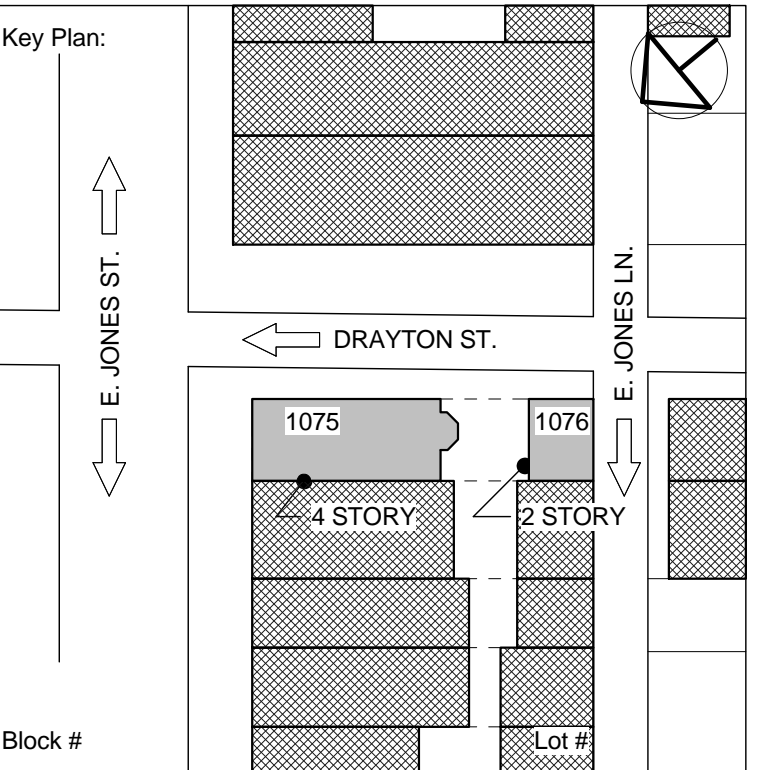
**CONSULTANTS:**

**STRUCTURAL:**  
SEVERUD ASSOCIATES  
469 SEVENTH AVENUE  
NEW YORK, NY 10018  
(212) 986-3700

**MECHANICAL:**  
DVL CONSULTING ENGINEERS, INC.  
375 MAIN STREET  
HACKENSACK, NJ 07601  
(201)678-2224

**NOTE:** Drawing may be printed at reduced scale

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3		
2	07/14/14	MPC Re-Submission
1	07/07/14	MPC Submission
No.	Date	Description



Owner:	
Owner Address:	
Project Architect/Engineer:	GAVIN MACRAE-GIBSON
Designer:	G. MACRAE-GIBSON
Drawn by:	GABRIEL KIRSHNER
Checked by:	GAVIN MACRAE-GIBSON
Date:	-

Project:  
**31 EAST JONES ST.**

Address: 31 EAST JONES STREET,  
SAVANNAH, GA 31401

Drawing Title:

**COVER SHEET**

SCALE:	200.02	Drawing No.:	<b>T001.00</b>
FILE:			
		Sheets in Contract:	1 of 39
		Sheets in MPC SET:	1 of 34

# 31 E. JONES STREET RENOVATION

31 EAST JONES STREET, SAVANNAH, GA 31401

**Macrae-Gibson** Architects P.C.

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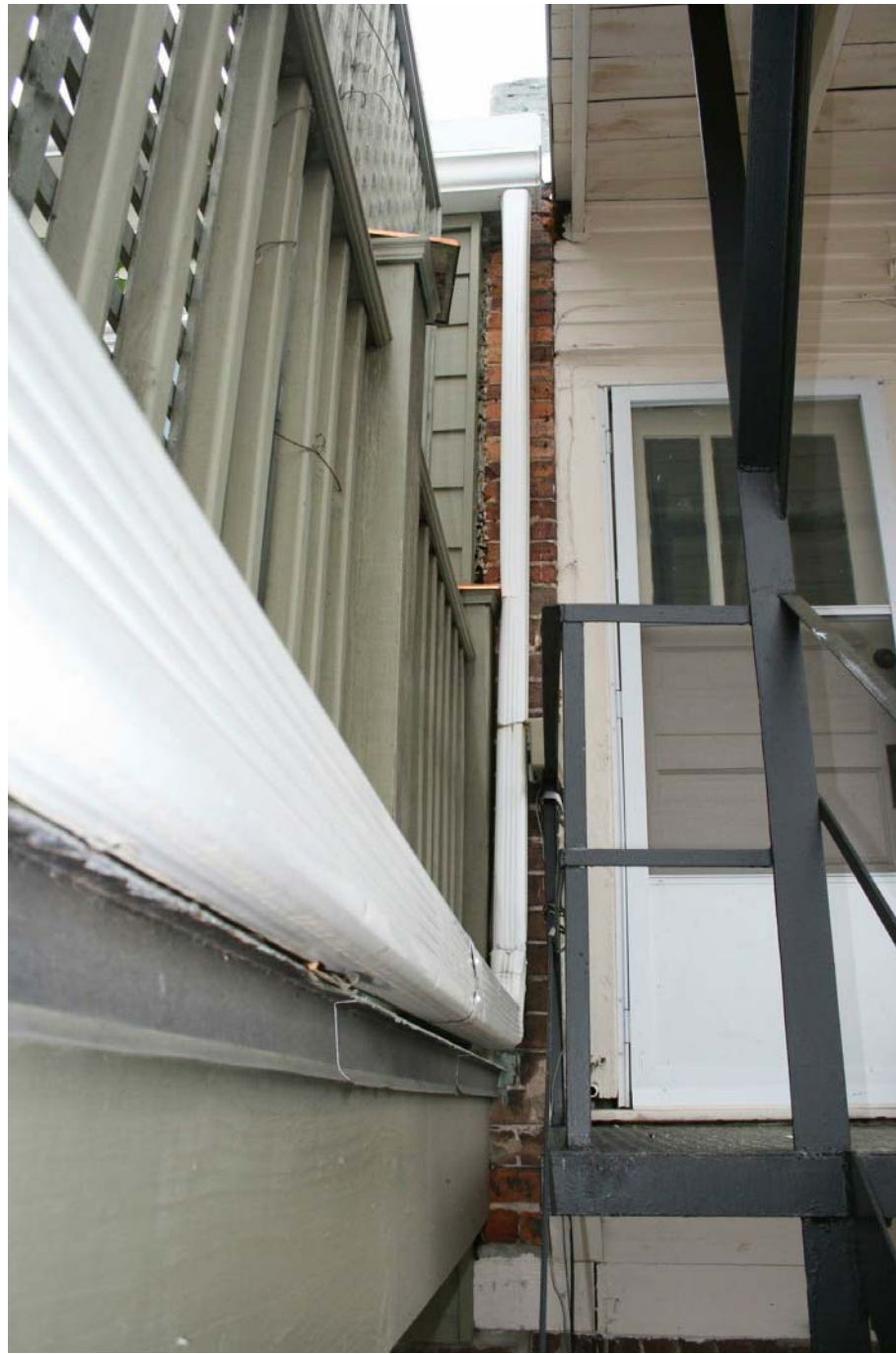






















Exterior Materials Specifications  
31 East Jones Street

**Main House Addition**

Rear windows and balcony doors:  
Hope's steel windows Landmark Series 175, double glazed. Painted white. Fixed lites with doors at balconies.

Garage Door:  
Natural finish cedar horizontal wood overhead opening doors

Exterior walls Garden, first and second floor levels:  
Three coat white stucco on 6" CMU, with two layers grade D waterproof building paper. Finish to be smooth white.

Exterior walls 3rd floor level:  
1"x6" Clear grade cedar siding tongued and grooved horizontal siding, factory primed and painted white on 3/4" plywood on 2"x6" light gauge framing.

Exterior party wall at adjacent building:  
6" CMU block with one wythe of reserved brick from existing south wall.

Foundation:  
3,500 psi concrete

Roof and balcony railing:  
Stainless steel railings system by H.D.I. Railing Systems, "Circum". Powder coated white finish with teak rail.

Roof doors:  
Painted 1 1/4" insulated steel. Color: white

Wall coping:  
Stainless steel

Bay Window:  
Bay window to be removed for renovation and relocated back inside building. All deteriorated wood components of the bay to be restored in kind, and all finishes to be stripped of multiple layers of built up paint. Bay to be painted white

Windows facing Drayton St  
Hope's steel windows landmark series, double glazed operable, painted white.

Base of Bay Window:  
Brick with stucco finish. Color: White.

Garden doors at grade level:  
Painted 1 1/4" insulated steel. Color: white

Roof:  
Resin impregnated Kemper system: 2KPUR

Roof pavers:  
2" Pre-cast concrete pavers. Color: Ivory

Garden wall facing Drayton:  
Replacement section at gate in matching brick.

Coping Stones at Roof Deck:  
1 1/2" cast stone: color: white

Flashing:  
Stainless steel

Skight:  
Wasco "Classic" extended pyramid 5' 0" x 8' 0" color: white. Pitch 5:12

**Carriage House**

Exterior walls:  
Existing white stucco to remain.

Windows:  
to remain

Garage Door:  
Natural finish cedar horizontal wood overhead opening doors

Front door:  
Natural finish cedar horizontal wood

**Historical Renovation to Main House**

Front stoop:  
White marble steps in monumental 7" slab with historical nosing profile

Stoop railings/newel post:  
Lawler Foundry #9644 cast iron railing with decorative panel #9645 at stoop landing, and #9800 newel post. Color: black

Window shutters:  
Wood painted Benjamin Moore "Van Deusen Blue" HC-156 hinged and operable with black hardware.

Front door:  
Existing repainted Benjamin Moore "Van Deusen Blue" HC-156

Lighting:  
Piesoelectric gas carriage light suspended from porch ceiling

Front stoop gate:  
wrought iron frame with gate assembled from cast iron Lawler Foundry panels #8502 painted black and vertical pickets with finials

DRAWING LIST			
Sheet Number	Sheet Name	SHEET NUMBER	MPC SHEET NUMBER
T001.00	COVER SHEET	1	1
T002.00	BUILDING DEPT. NOTES, LIST OF DRAWINGS, SURVEY, & SPECIFICATIONS	2	2
T003.00	LOT COVERAGE	3	3
T004.00	LOT COVERAGE ARIEL VIEW	4	4
T005.00	HISTORY SHEET	5	5
T006.00	PHOTOS OF EXISTING CONDITIONS - SHEET 1	6	6
T007.00	PHOTOS OF EXISTING CONDITIONS - SHEET 2	7	7
T008.00	MATERIALS	8	8
T009.00	PERSPECTIVE	9	9
DM101.00	FIRST AND SECOND FLOOR DEMOLITION DRAWINGS	12	10
DM102.00	THIRD AND FOURTH FLOOR DEMOLITION DRAWINGS	13	11
A100.00	SITE PLAN	14	12
A101.00	FOUNDATION AND ROOF PLAN	15	13
A102.00	FIRST AND SECOND FLOOR PLANS	16	14
A103.00	THIRD AND FOURTH FLOOR PLANS	17	15
DM200.00	EXISTING EAST JONES STREET ELEVATION	18	16
DM201.00	EXISTING DRAYTON STREET ELEVATION	19	17
DM202.00	EXISTING EAST JONES LANE ELEVATION	20	18
DM203.00	EXISTING GARDEN ELEVATIONS	21	19
A200.00	EAST JONES STREET ELEVATION	22	20
A201.00	PROPOSED DRAYTON STREET ELEVATION	23	21
A202.00	PROPOSED EAST JONES LANE ELEVATION	24	22
A203.00	PROPOSED GARDEN ELEVATIONS	25	23
A300.00	BUILDING SECTION	26	24
A301.00	WALL SECTIONS	27	25
A302.00	SECTION DETAILS 1	28	26
A303.00	SECTION DETAILS 2	29	27
A304.00	SECTION DETAILS 3	30	28
A305.00	SECTION DETAILS 4	31	29
A306.00	ORNAMENTAL IRON WORK	32	30
A307.00	PLAN SECTION DETAILS	33	31
A900.00	WINDOW AND DOOR SCHEDULE	37	32
A901.00	DOOR ELEVATIONS AND DETAILS	38	33
A902.00	WINDOW TYPES AND DETAILS	39	34

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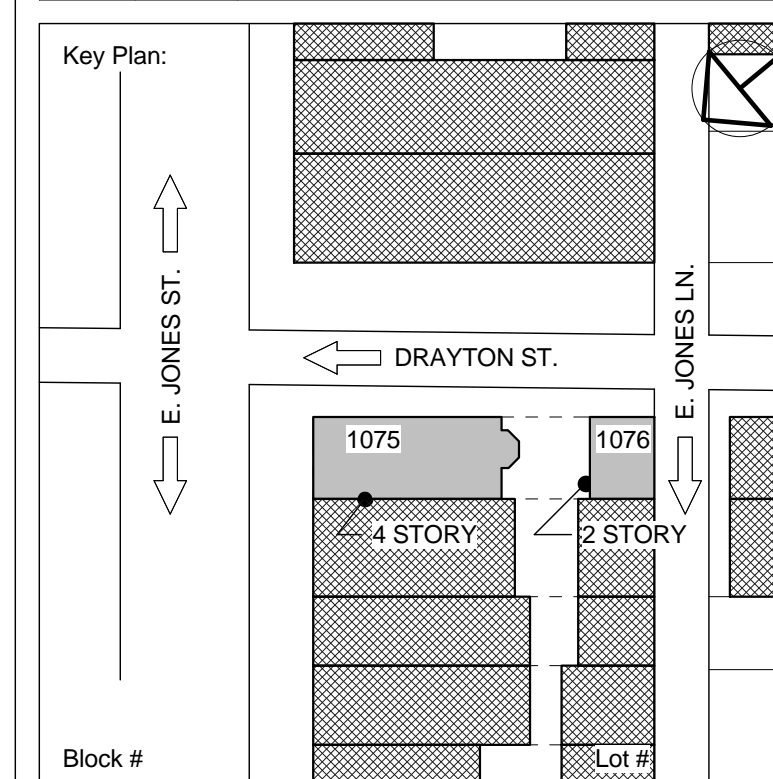
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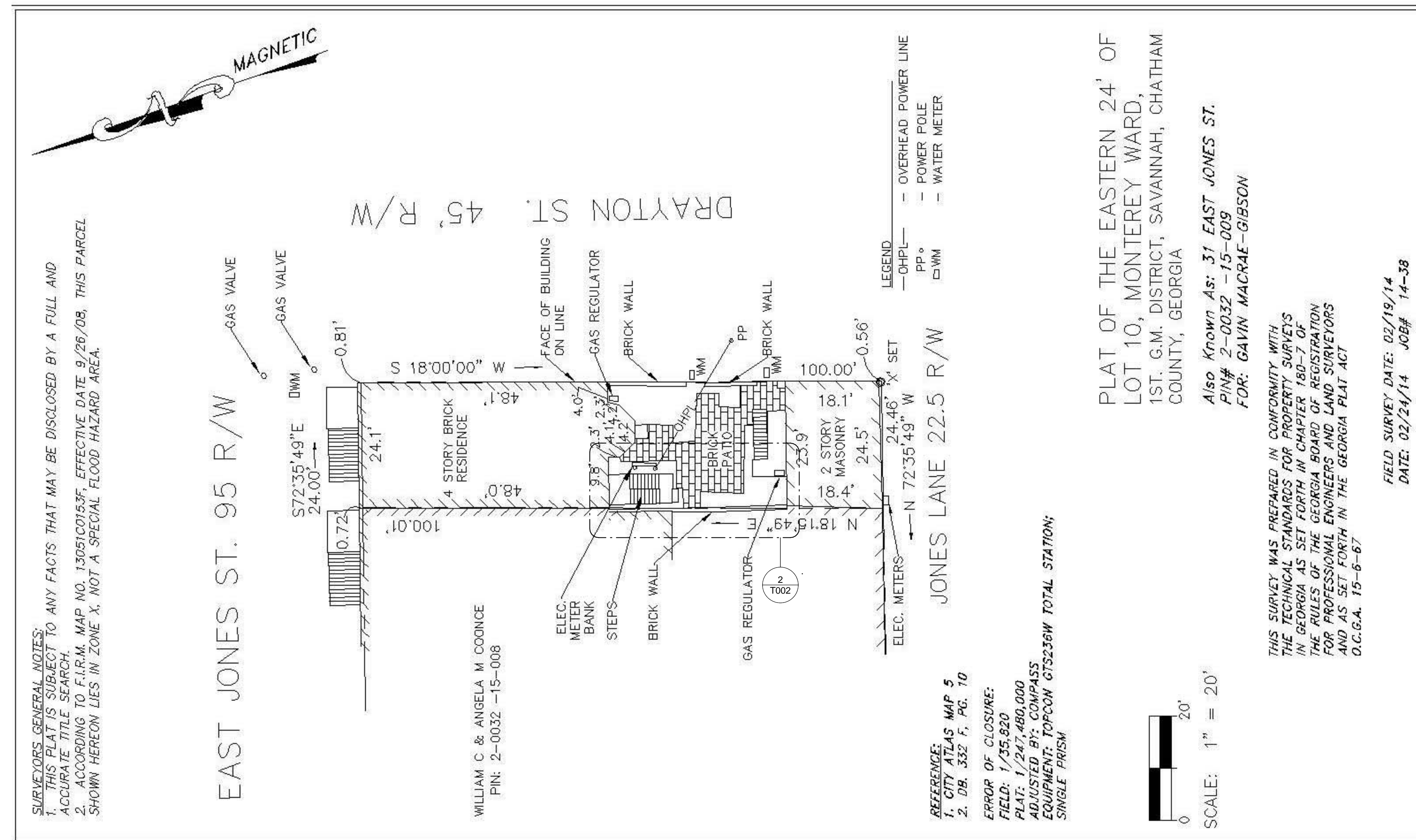


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Owner Address:	
Project Architect/Engineer:	GAVIN MACRAE-GIBSON
Designer:	G. MACRAE-GIBSON
Drawn by:	GABRIEL KIRSHNER
Checked by:	GAVIN MACRAE-GIBSON
Date:	

Project:  
**31 EAST JONES ST.**  
Address: 31 EAST JONES STREET,  
SAVANNAH, GA 31401

Drawing Title:  
**BUILDING DEPT.  
NOTES, LIST OF  
DRAWINGS, SURVEY,  
& SPECIFICATIONS**

SCALE: As indicated FILE: 200.02	Drawing No.: <b>T002.00</b>
Sheets in Contract: 2 of 39	
Sheets in MPC SET: 2 of 34	



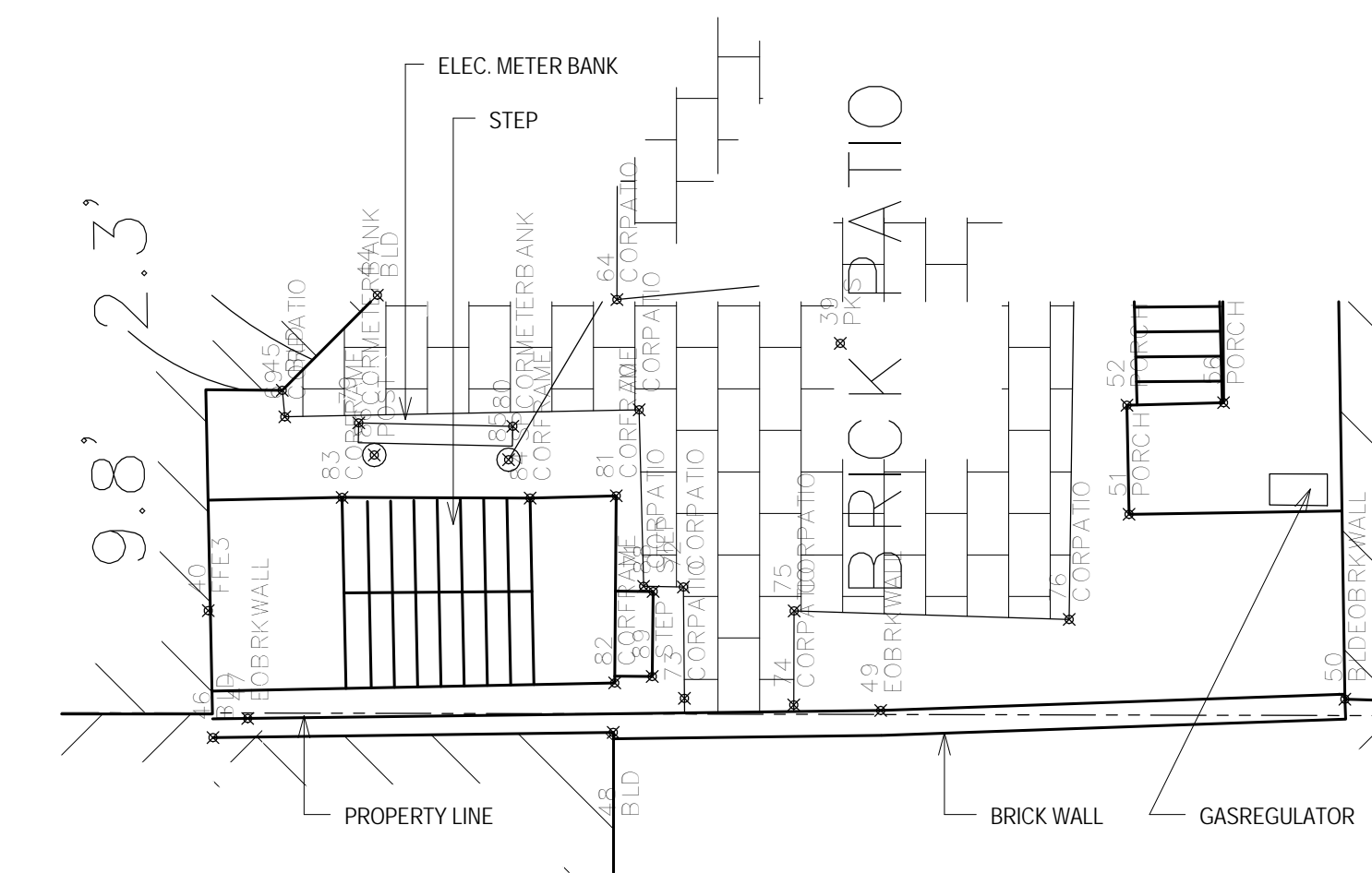
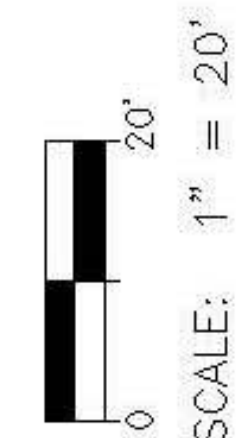
PLAT OF THE EASTERN 24' OF  
LOT 10, MONTEREY WARD,  
1ST. G.M. DISTRICT, SAVANNAH, CHATHAM  
COUNTY, GEORGIA

Also Known As: 31 EAST JONES ST.  
PIN# 2-0032 -15-009  
FOR: GAVIN MACRAE-GIBSON

THIS SURVEY WAS PREPARED IN CONFORMITY WITH  
THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS  
IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF  
THE RULES OF THE GEORGIA BOARD OF REGISTRATION  
FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS  
AND AS SET FORTH IN THE GEORGIA PLAT ACT  
O.C.G.A. 15-6-67

FIELD SURVEY DATE: 02/19/14  
DATE: 02/24/14 JOB# 14-38

REFERENCE:  
1. CITY ATLAS MAP 5  
2. DB. 332 F. PG. 10  
ERROR OF CLOSURE:  
FIELD: 1/355,920  
PLAT: 1/247,480,000  
ADJUSTED BY: COMPASS  
EQUIPMENT: TOPCON GTS336W TOTAL STATION;  
SINGLE PRISM



PROPERTY LINE DETAIL AT ADJACENT  
PROPERTY  
SCALE: 3/16" = 1'-0"

1 SURVEY DRAWING  
SCALE: 12" = 1'-0"

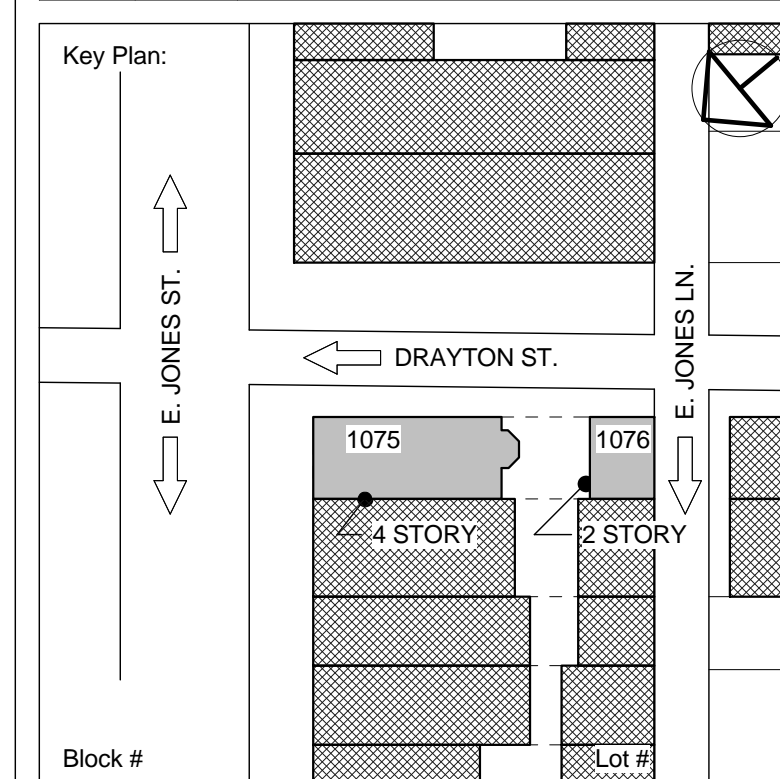
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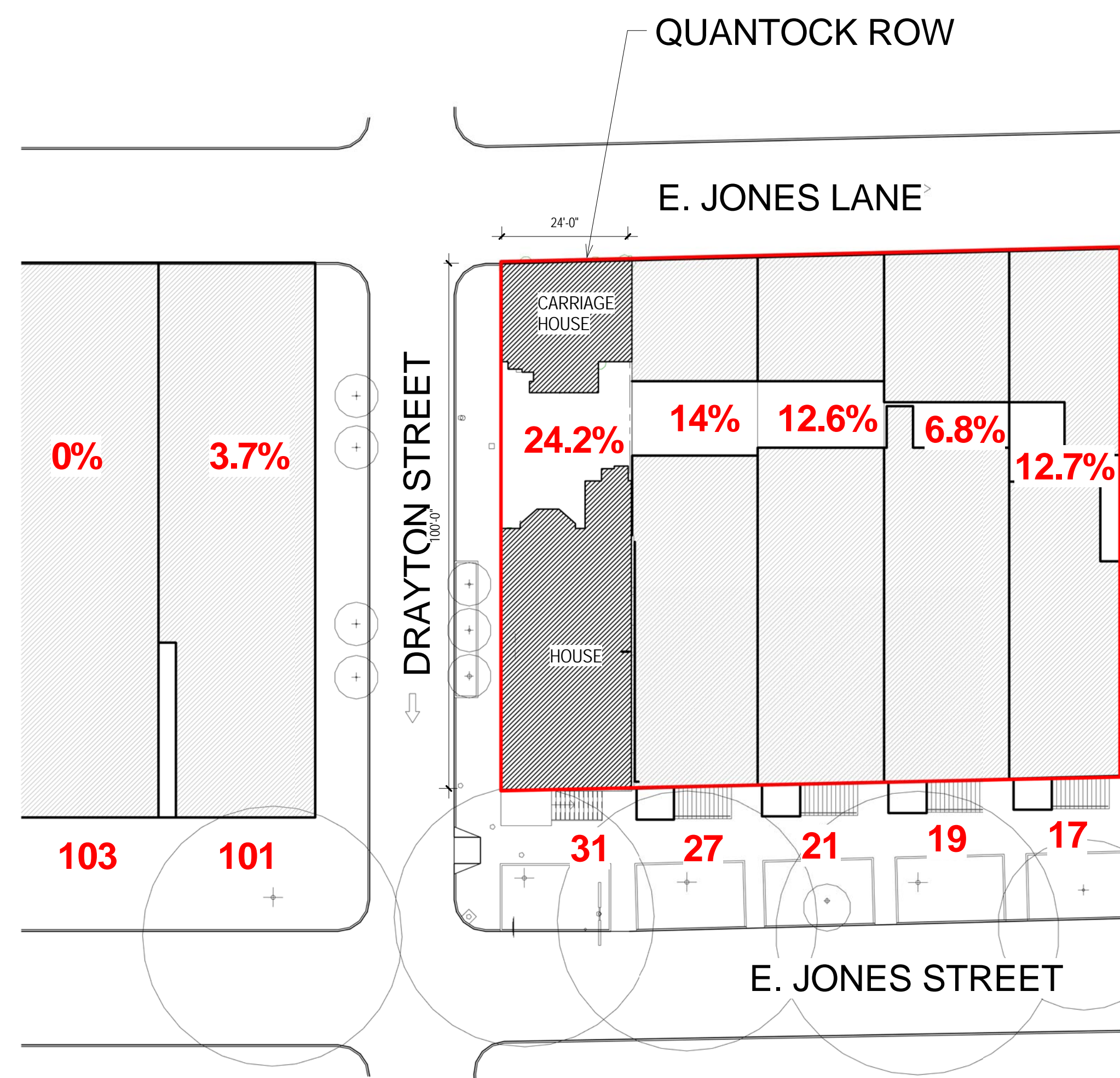


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Designer:	G. MACRAE-GIBSON
Drawn by:	GABRIEL KIRSHNER
Checked by:	GAVIN MACRAE-GIBSON
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31 EAST JONES ST.  
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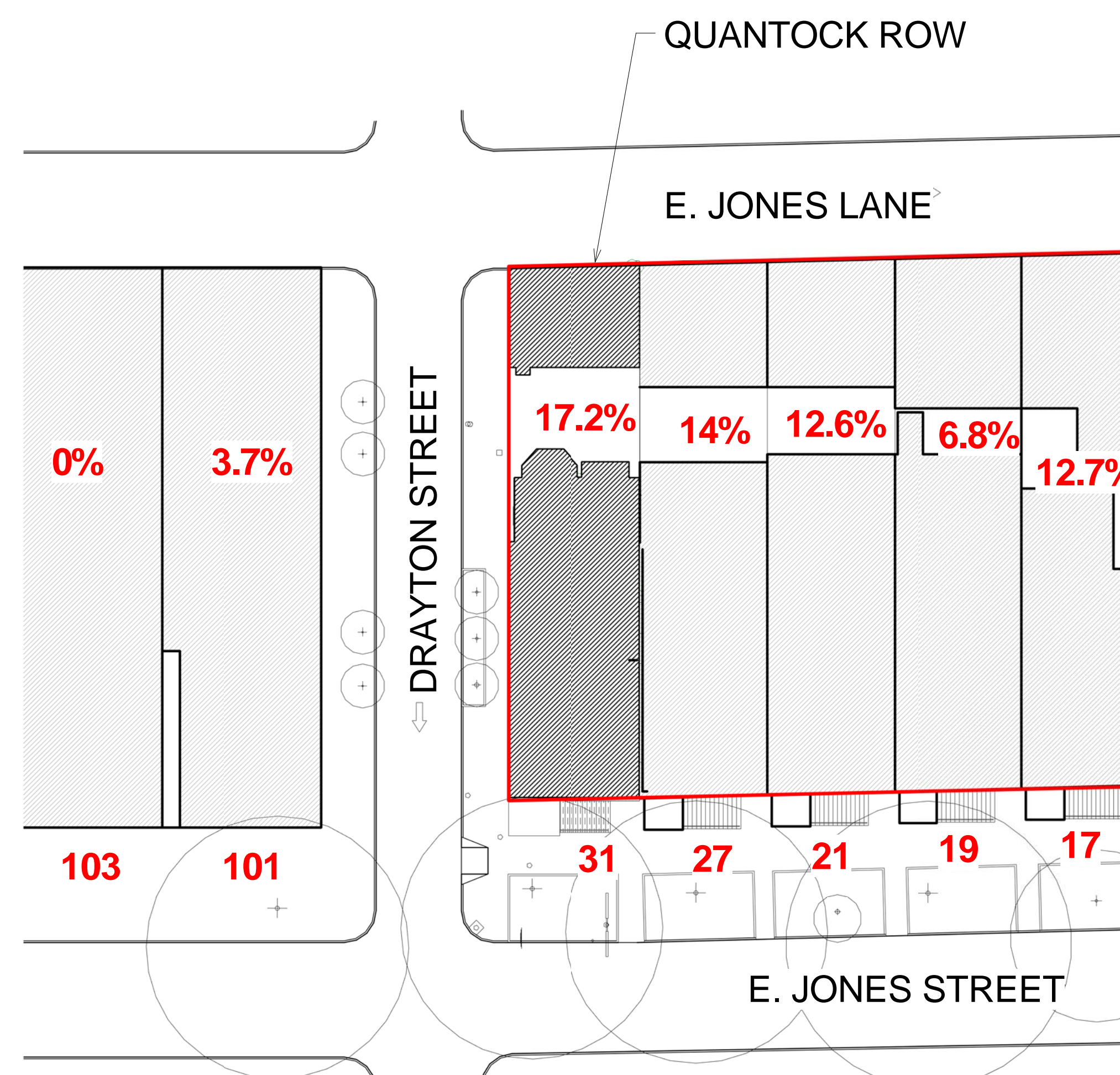
**Drawing Title:**  
  
**LOT COVERAGE**

SCALE:	As indicated	Drawing No.:	T003.00
FILE:	200.02		
		Sheets in Contract:	3 of 39
		Sheets in MPC SET:	3 of 34



**1 EXISTING LOT COVERAGE**  
SCALE: 1" = 20'-0"

NOTE: OPEN AREA OF LOT IS SHOWN BY PERCENTAGE NUMBERS ON EACH PLOT.  
BUILDING COVERAGE CALCULATED IN ACCORDANCE WITH ZONING ORDINANCE SECTION 8-3012.



**2 PROPOSED LOT COVERAGE**  
SCALE: 1" = 20'-0"



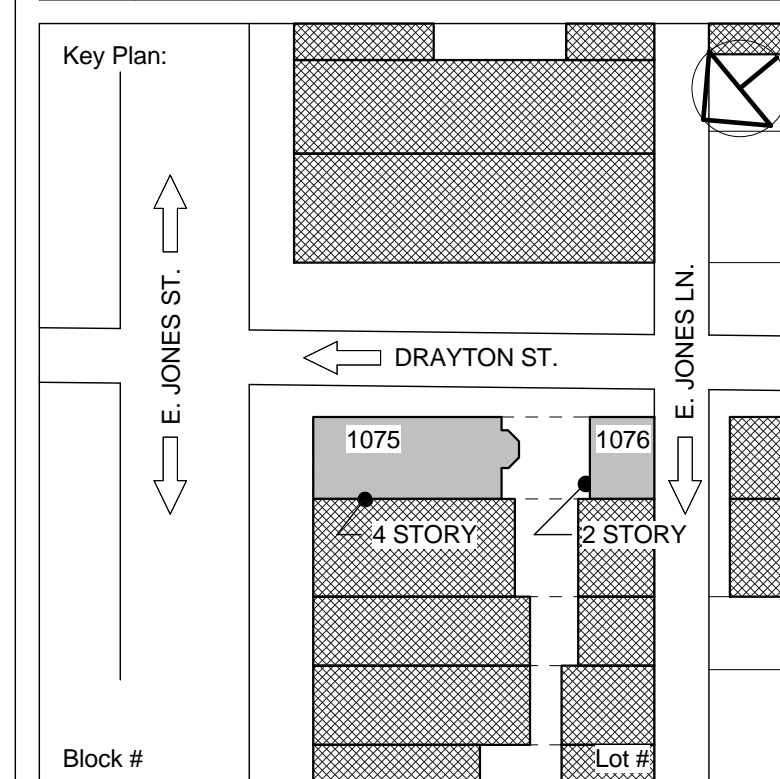
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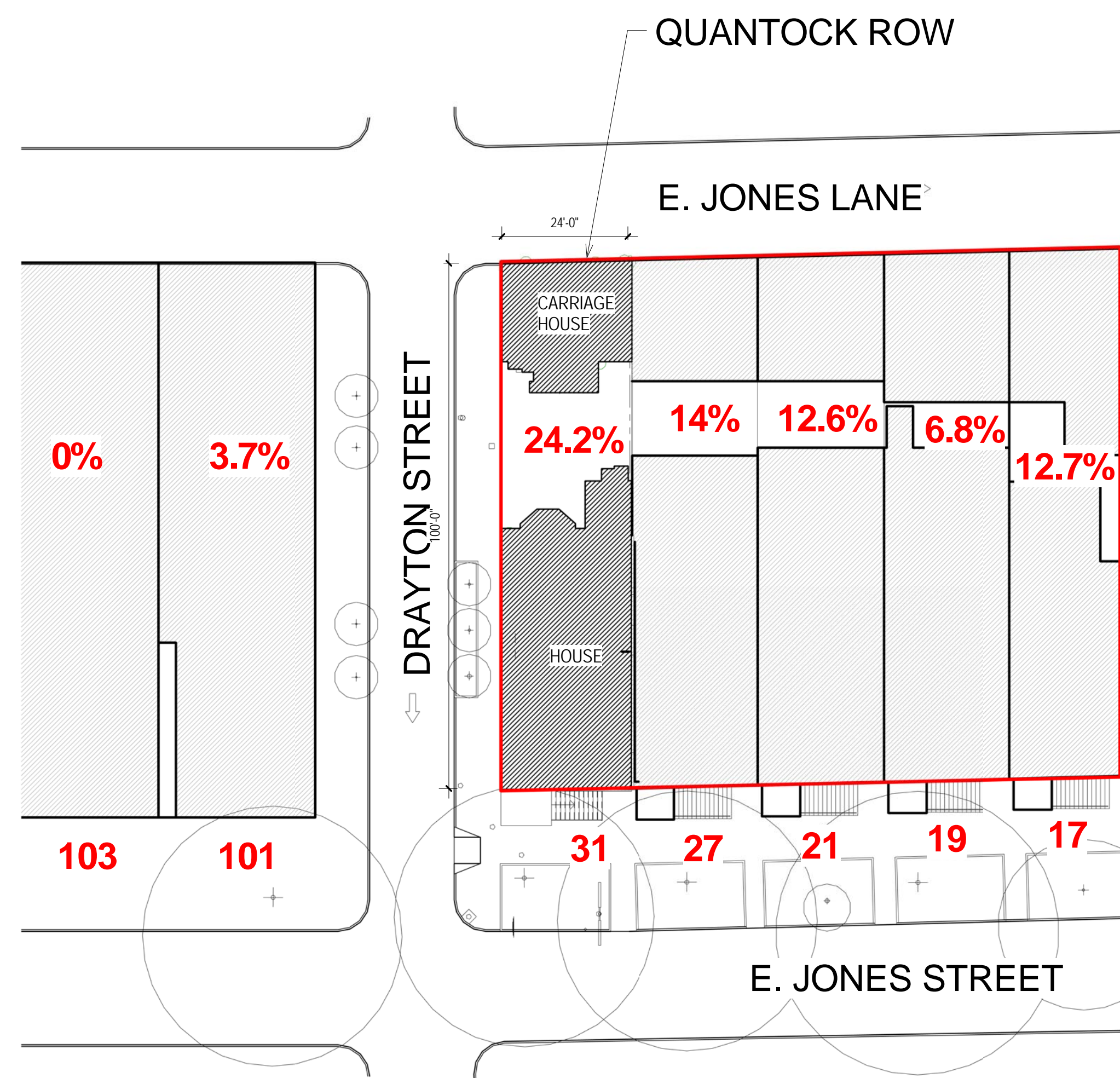


Owner: \_\_\_\_\_  
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 Designer: G. MACRAE-GIBSON  
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**31 EAST JONES ST.**  
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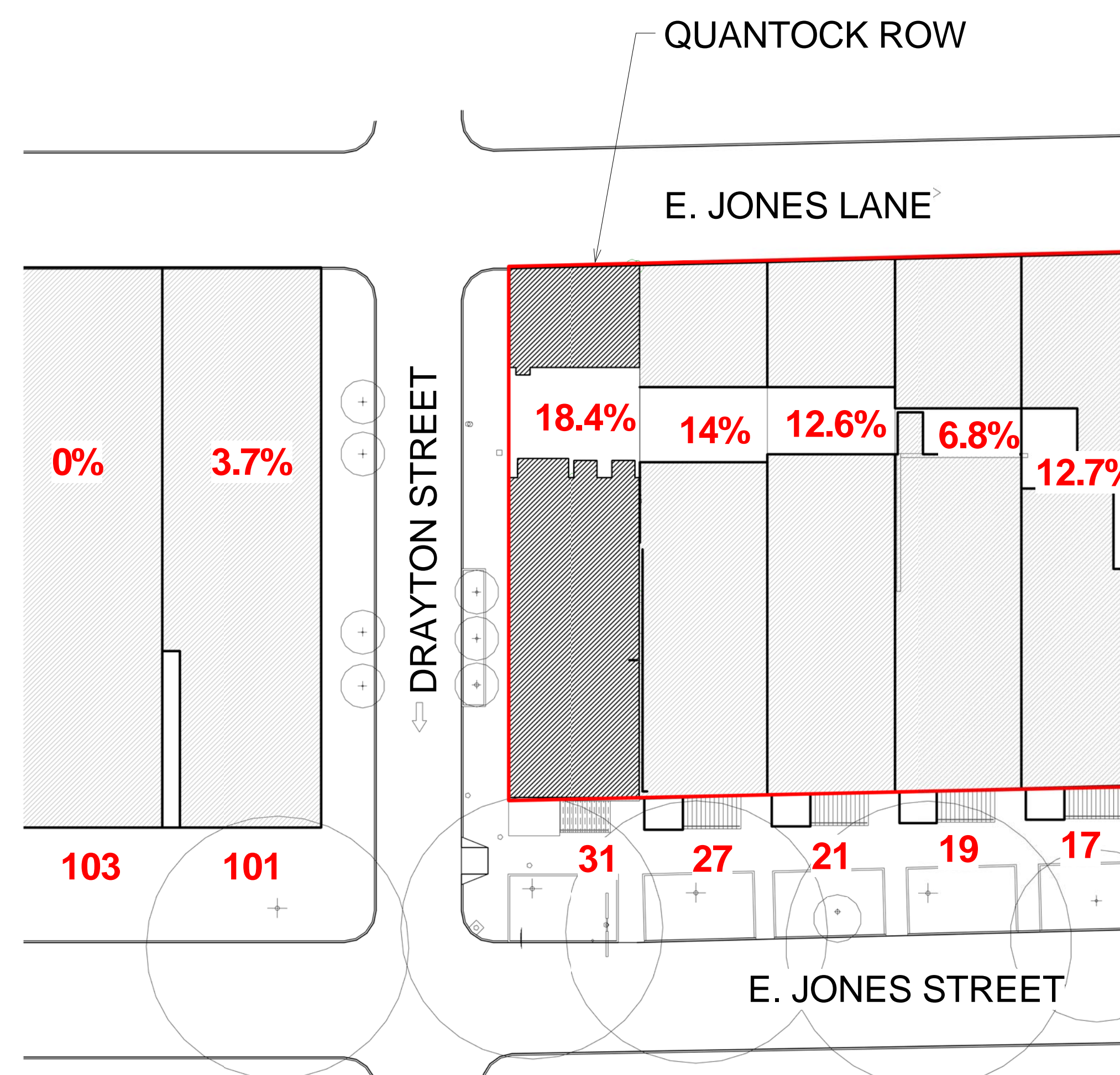
Drawing Title:  
  
**LOT COVERAGE**

SCALE: As indicated	Drawing No.:
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Sheets in Contract: 3 of 39	
Sheets in MPC SET: 3 of 34	



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**2 PROPOSED LOT COVERAGE**  
SCALE: 1" = 20'-0"



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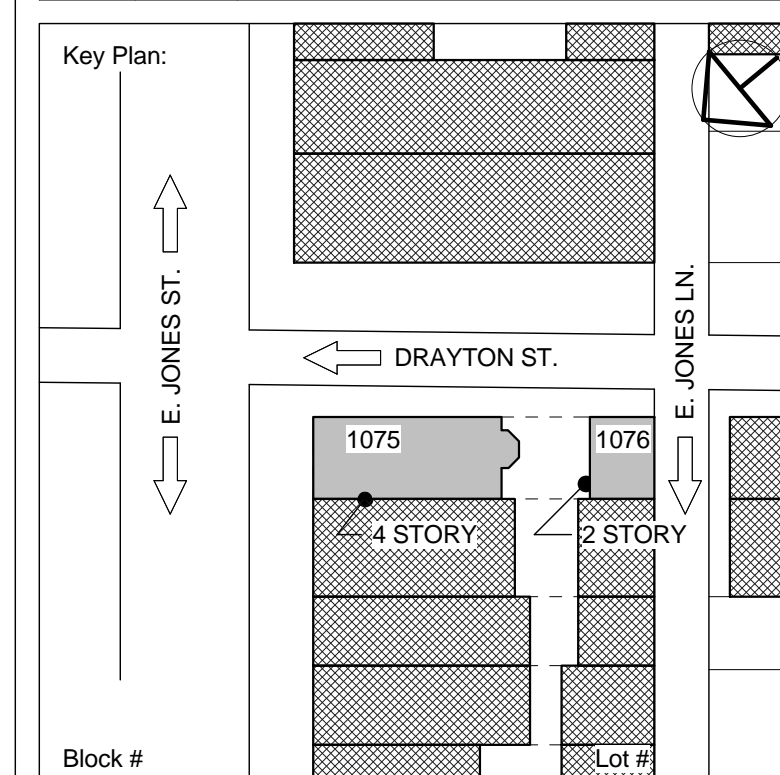
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31 EAST JONES ST.  
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SAVANNAH, GA 31401

**Drawing Title:**  
  
**LOT COVERAGE  
ARIEL VIEW**

SCALE:	12" = 1'-0"	Drawing No.:	<b>T004.00</b>
FILE:	200.02		
Sheets in Contract:			4 of 39
Sheets in MPC SET:			4 of 34

#31

QUANTOCK ROW



LOT COVERAGE ARIEL VIEW - GOOGLE

MAPS

SCALE: N.T.S

**GEORGIA HISTORIC RESOURCES** Resource No. *CH-S-6334*  
 Historic Preservation Division 57 Forsyth Street, Suite 500 County *Chatham*  
 Georgia Department of Natural Resources Atlanta, Georgia 30303  
 404/656-2840

For instructions, see the Georgia Historic Resources Survey Manual

1 Name(s) of resource *Quantock Row*  
 2 Location map with North at top *Survey*

3 Address/location  
 31 E. Jones St.  
 Savannah, 31401

4 Owner's name and mailing address  
 Jack Logan, Sr.  
 31 E. Jones St.  
 Savannah, GA 31401

5  Building  Structure  
 Site  Object

6  Landscape feature  
 Representative example of building type  
 Number represented

7 Use, current *rowhouse*  
 original *rowhouse*

8 Date of construction (or estimate) *1854*  
 16 Number of stories *3*

9 Major changes & date (explain in No.25)  
 Altered  Moved  
 Addition  Destroyed

10 Architect/engineer/designer  
*Unknown*

11 Contractor/builder/craftsman  
*Brwyer and Scudder*

12 Style  
*Oreek Revival - elements*

13 Building type  
*side hallway - row house*

14 Original Floor Plan  
*side hallway (passage) - two rooms deep*

15 Plan shape  
*rectangle*

25 Additional physical description  
*The building has four units. Stoops have Savannah grey brick steps and decorative wood balusters. The doors have transoms and sidelights.*  
*which mapped to 24*

26 Negatives: roll # \_\_\_\_\_ frames # \_\_\_\_\_

17 Facade symmetry & front door(s)  
*asymmetrical, stoop or more doors*

18 Roof type & material  
*flat - unknown (insufficient information)*

19 Chimney placement & material  
*unknown (insufficient information) - unknown material*

20 Type of construction  
*brick bearing*

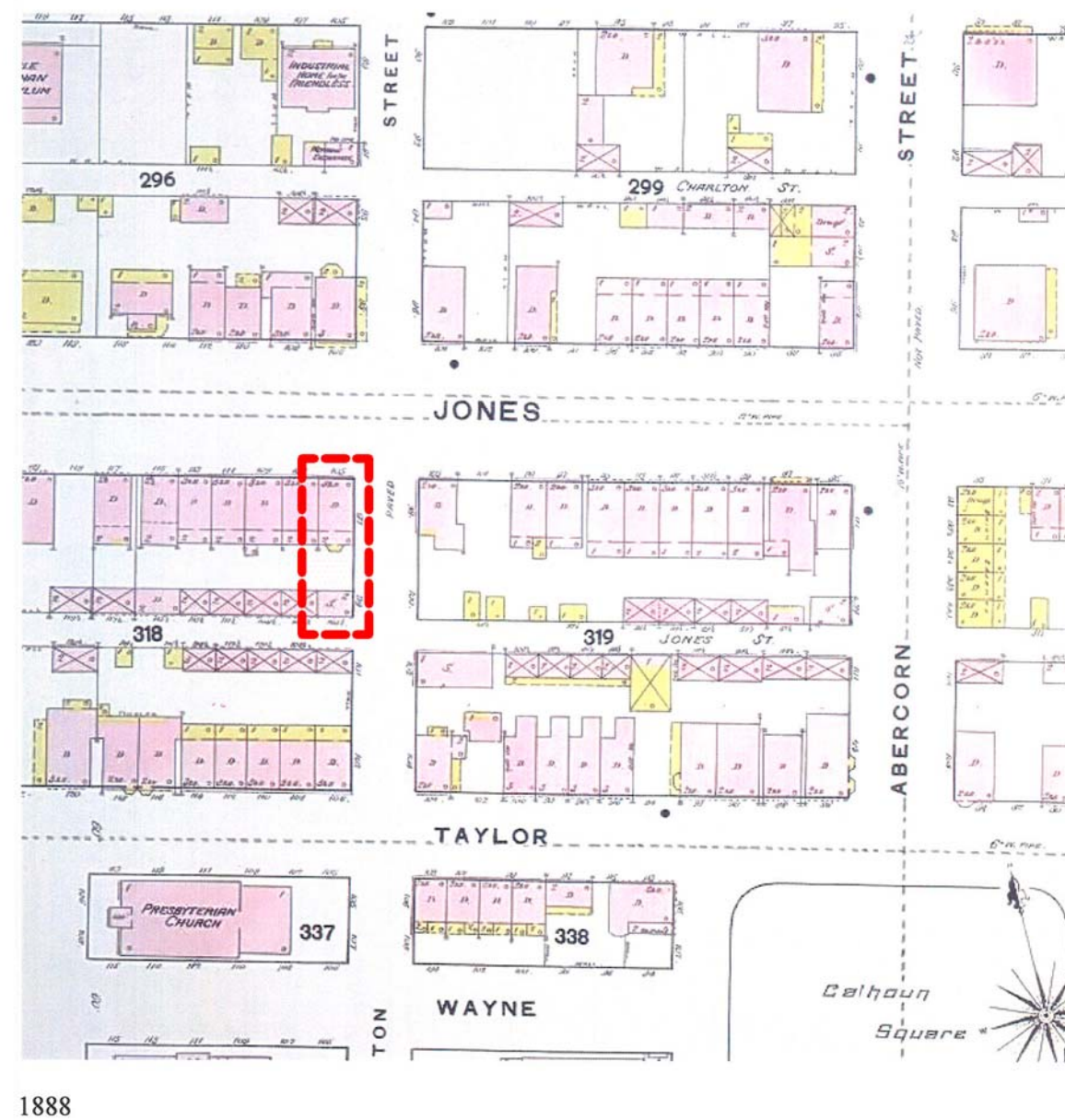
21 Exterior material(s)  
*common/American*

22 Foundation material(s)  
*mucco over brick*

23 Porch(es)  
*stoop (front, 1 story, partial, wood, shed/pers)*

24 Windows  
*double hung with (flat-headed, 6/9, rectangular); double-hung with (flat-headed, 6/6, rectangular)*

1 PROPERTY CARD  
 SCALE : N.T.S.



5 SANBORN MAP 1888  
 SCALE : N.T.S.

Resource No. *CH-S-6334*

27 Description of outbuildings (if any)  
*apartment - two story mucco over brick two unit apartment building, built in 1975 and measures 24' x 18'.*

28 Site plan with North at top

29 Description of landscape features  
*designed fencing/walls*  
 Small courtyard.

30 Number of buildings *1* structures *0*  
 outbuildings *1* sites *0*  
 landscape features *1*

31 Description of the environment  
*urban - residential (old resources)*

32 Archaeological potential

33 History  
*Built for William Quantock.*

34 Historical theme(s)  
*THEMES: architecture*

35 Significance  
*common architectural type (good example/illustration)*  
*common architectural style (good example/illustration)*

36 Sources of information

37 Prepared by (person, organization and address)  
 Andrea J. Becker  
 SCAD  
 Savannah, GA

38 Date of survey *1998* resurvey

39 Government preservation activity  
 Section 106 review  Grant  
 Tax certification  Other

40 SHPO evaluation  
*appears to meet Nat. Reg. criteria*

41 USGS quadrangle name *Savannah*  
 UTM reference  
*12 49 11 70 3148.420*  
 zone easting *nothing*  
 zone easting *nothing*

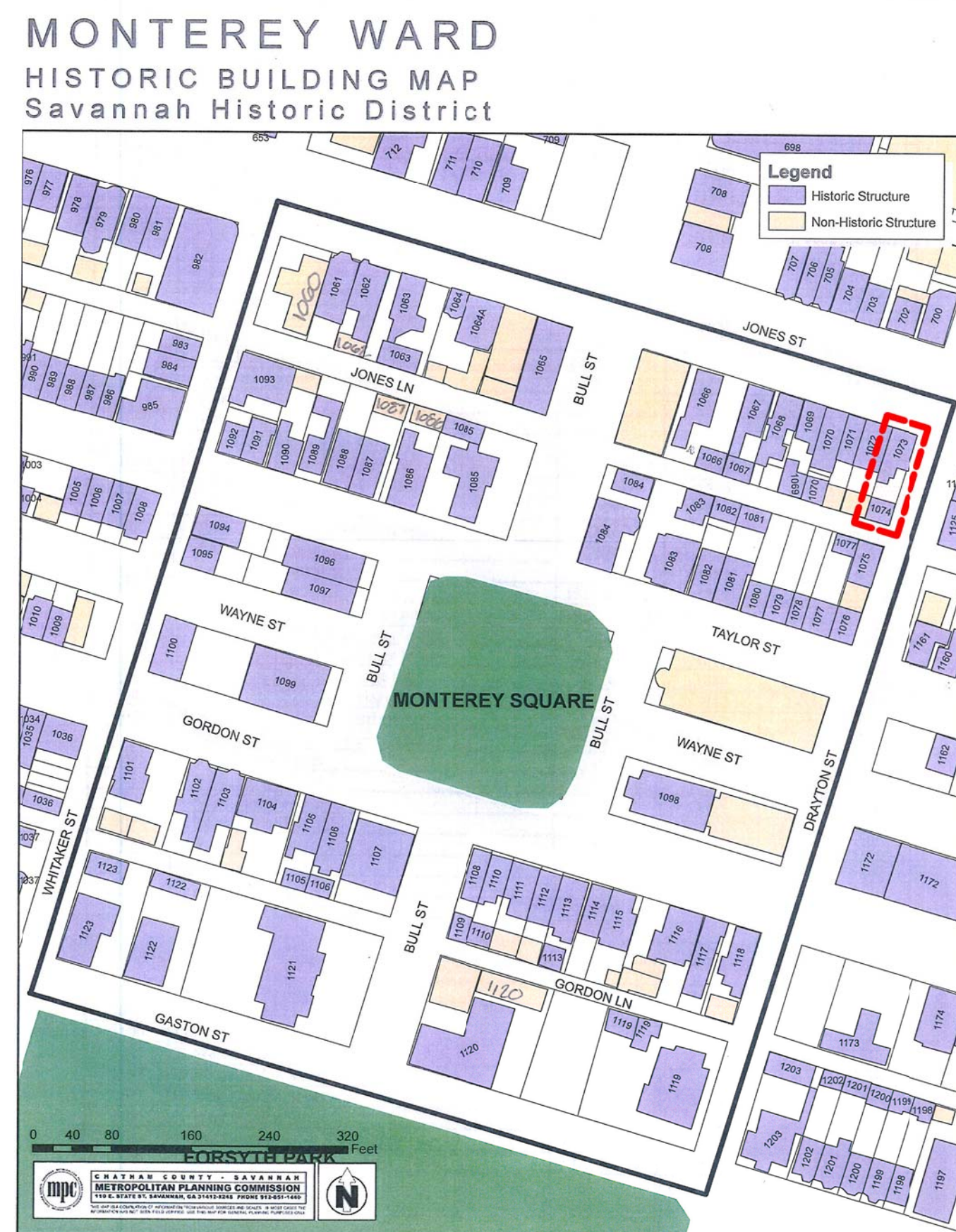
42 Tax map number *2 00325 009*

43 Recognition and date  
 National Landmark - *district*  
 National Register  
 Georgia Register  
 Local designation  
 HABSHAER  
 Determination of eligibility  
 Other

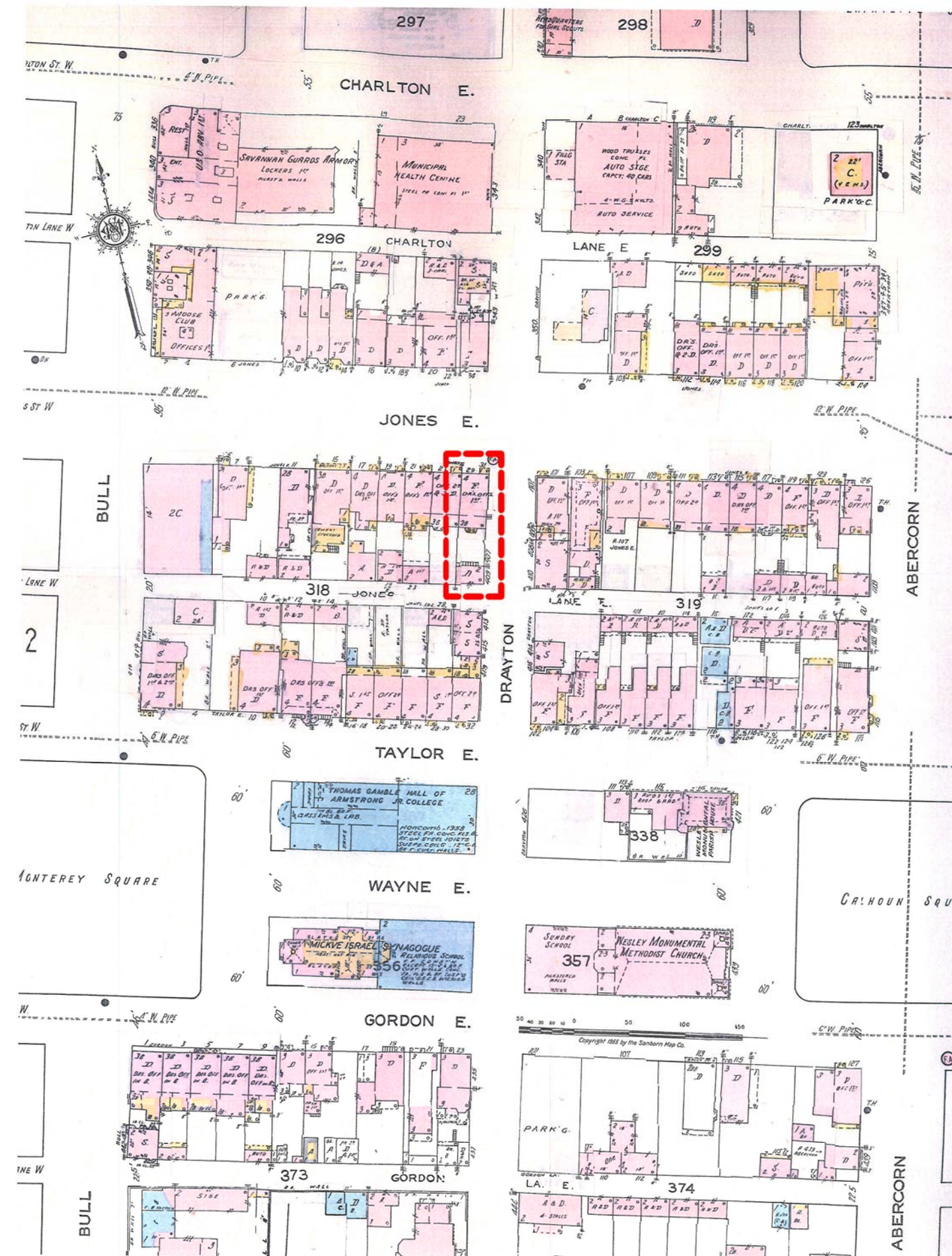
2 PROPERTY CARD  
 SCALE : N.T.S.



6 SANBORN MAP 1916  
 SCALE : N.T.S.



3 MONTEREY WARD  
 SCALE : N.T.S.



7 SANBORN MAP 1956  
 SCALE : N.T.S.



4 HISTORIC MARKER ON HOUSE  
 SCALE : N.T.S.

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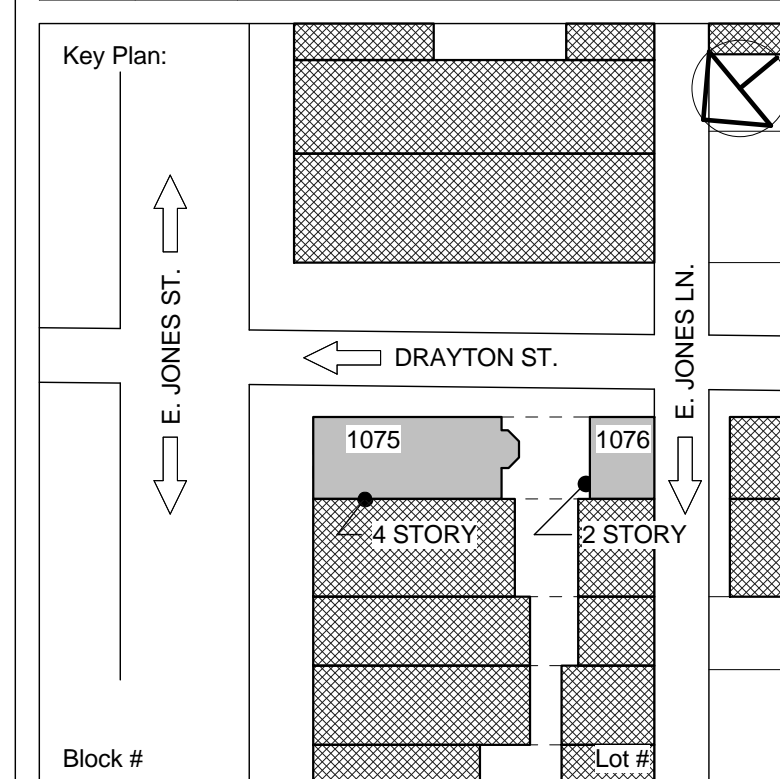
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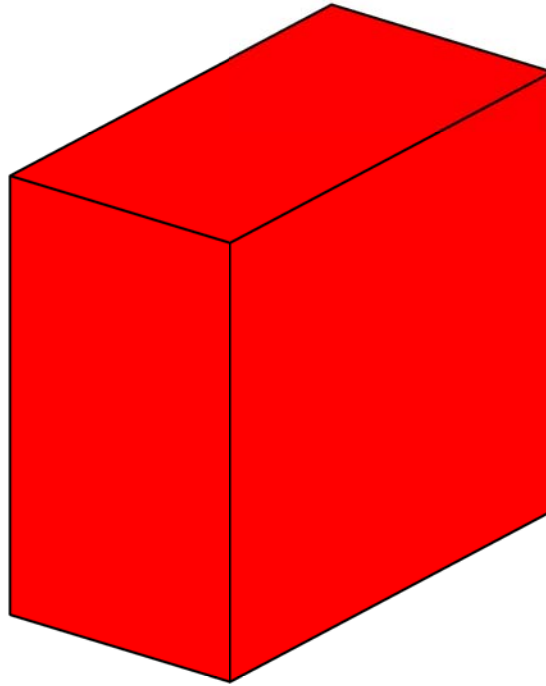
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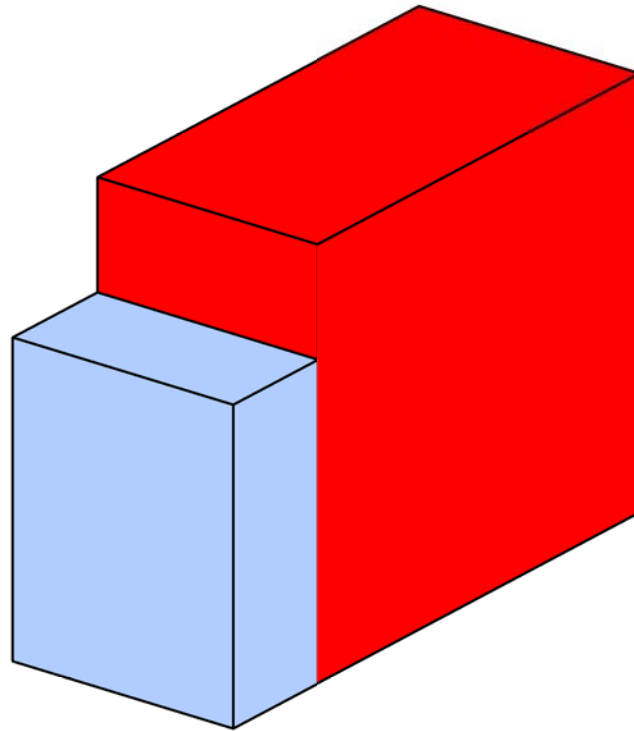
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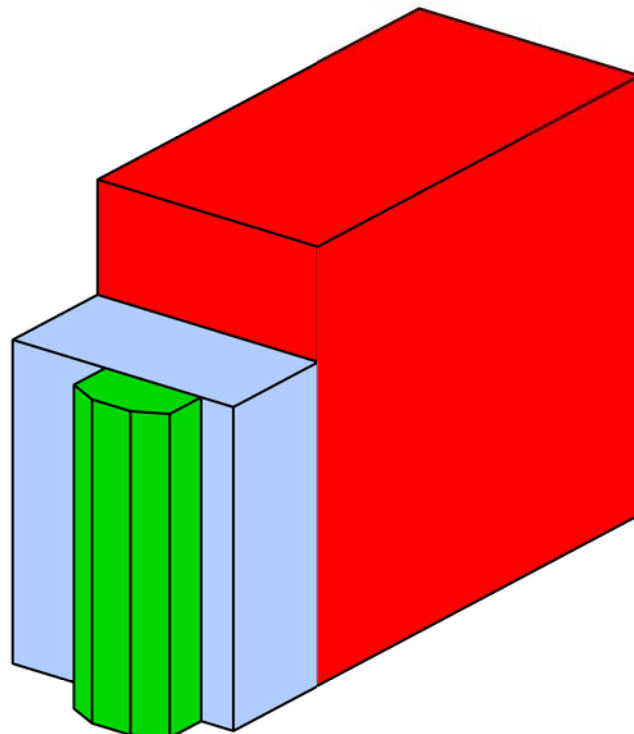




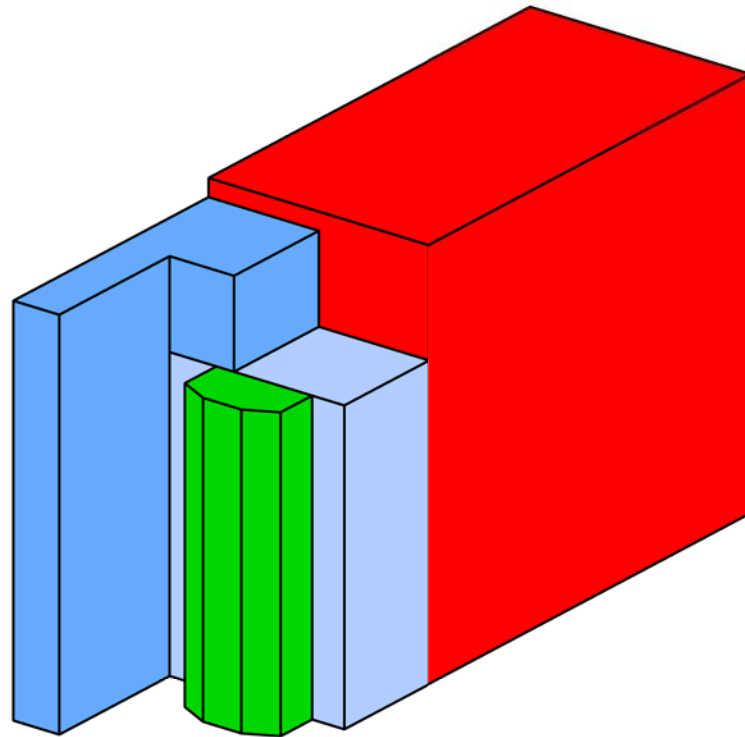
1854



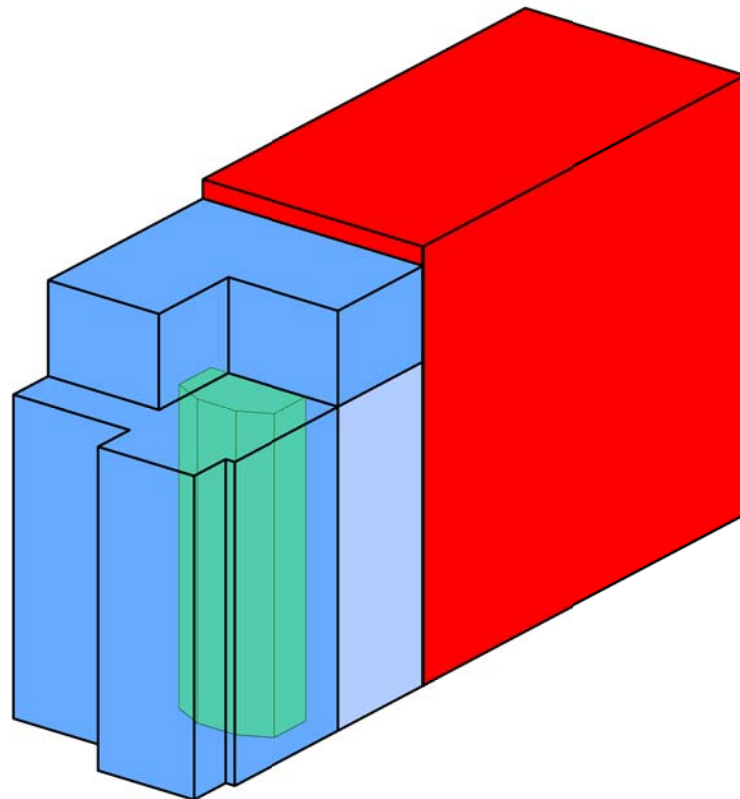
1854 - 1888



1888



C1970



2014