

RIVER VALLEY RANCH

# Design Guidelines

Revised November 21, 2017

# Master Design Guidelines - Table of Contents

8th edition- 11/21/2017

SECTION	DESCRIPTION	
1.	<b>Purpose and Intent of Guidelines</b>	1
1.1	<b>DRC Capacity to Interpret Guidelines</b>	2
2.	<b>Common Submittal Problems: "Hot Buttons", Omissions and Violations</b>	4
3.	<b>Neighborhoods: Special Requirements</b>	6
	Block A-The Settlement	6
	Block B-Sopris View	7
	Block F-Old Town	8
	Golf Course Homes	9
	Block W	9
	360 North and South Homes	10
4	<b>Custom Homes: General Architectural Design Requirements</b>	11
4.1	Design Appropriate to the Site	11
4.2	Non-Repetition	11
4.3	Resource Conservation	11
4.4	Passive Energy and Recycled Materials	11
4.5	Building Height	11
4.6	Single Story Buildings	11
4.7	Building Mass and Form	12
4.8	Roof Forms	12
4.9	60% Second Floor	12
4.10	Building Projections	12
4.11	Building Envelope	12
4.12	External Stone Chimneys	12
4.13	Ancillary Structures	12
4.14	Garden Level Basements	13
4.15	Other Design Features of Importance	13
5.	<b>Custom Homes: Specific Architectural Design Requirements- Roofs</b>	14
5.1	Key Design Features	14
5.2	Roof Forms	14
5.3	Ridge Lines and Roof Planes	14
5.4	Roof Dormers	14
5.5	Type and Location	14
5.6	Roofing Materials	14
5.7	Overhangs	17
5.8	Pitches	17
5.9	Variation Required	17
5.10	Roof Colors and Reflectivity	17
5.11	Roof Projections	17
5.12	Roof Mounted Mechanical Equipment	17
5.13	Renewable Energy Generation Devices and Energy Efficiency Measures	17
5.13.1	Renewable Energy Devices	18
5.13.2	Energy Efficiency Measures	18
5.13.2.1	Retractable Clothesline Characteristics	18
5.13.3	Skylights and Sun Tunnel Characteristics	19
5.14	Gutters and Downspouts	19
5.	<b>Custom Homes: Specific Architectural Design Requirements- Foundations and Retaining Walls</b>	19
5.15	Design Objectives	19
5.16	Sloping Sites	19

SECTION	DESCRIPTION	PAGE
5.17	Cantilevers	19
5.	<b>Custom Homes: Specific Architectural Design Requirements-Exterior Walls and Finishes</b>	19
5.18	Articulation	19
5.19	Exterior Wall Materials	19
5.	<b>Custom Homes: Specific Architectural Design Requirements-Exterior Wood</b>	21
5.20	Siding	21
5.21	Stains and Paint	21
5.22	Cedar Shakes and Shingles	21
5.23	Logs and Timbers	21
5.24	Stone	21
5.25	Stone Wainscoting	21
5.26	Type of Stone Veneer	22
5.27	Lintels	22
5.28	Lintels and Sills	22
5.29	Stucco	22
5.30	Metal Siding	22
5.31	Natural Finishes and Stains	22
5.32	Prohibited Wall Materials	22
5.33	Exterior Trim	22
5.	<b>Custom Homes: Specific Architectural Design Requirements-Doors and Windows</b>	23
5.34	Arrangements	23
5.35	Large Window Openings	23
5.36	Elevations	23
5.37	Windows within Wood Walls	23
5.38	Special Window Shapes	23
5.39	Recessed Windows	23
5.40	Divided Light Windows	23
5.41	1/3 Divided Light Windows	25
5.42	Glass	25
5.43	Prohibited Window Types	25
5.	<b>Custom Homes: Specific Architectural Design Requirements-Garages and Doors</b>	25
5.44	Garage Designs	25
5.45	Garage Doors	25
5.46	Orientation	25
5.47	Main Entry Door	25
5.	<b>Custom Homes: Specific Architectural Design Requirements-Balconies, Porches, Stairs and Railings</b>	27
5.48	Balconies	27
5.49	Railings	27
5.50	Stucco Enclosures	27
5.51	Exterior Stairs	27
5.52	Decks at Ground Level	27
5.53	Chimneys	27
5.	<b>Custom Homes: Specific Architectural Design Requirements- Colors</b>	27
5.54	Earth Tones	27
5.55	Accent Color	28
5.56	Sample Board	28
5.	<b>Custom Homes: Specific Architectural Design Requirements-Texture/Detail</b>	28
5.57	Textures	28
5.58	Details	28
5.59	Natural Materials	28
5.60	DRC Review	28

SECTION	DESCRIPTION	PAGE
5.	<b>Custom Homes: Specific Architectural Design Requirements-Exterior Lighting Fixtures</b>	28
5.61	Minimal Lighting	28
5.62	Design Character	29
5.63	Soffits	29
5.64	Landscape Lighting	29
5.65	Pictorial Specifications	29
5.	<b>Custom Homes: Specific Architectural Design Requirements-Exterior Equipment, Utilities, Meters, A/C Units, etc.</b>	29
5.66	Equipment Enclosed or Screened	29
5.67	Meters and Utility Hook-Ups	29
5.68	Site Utilities Satellite	29
5.69	Dishes Exterior Service	29
5.70	Areas Irrigation	29
5.71	Controls	29
5.	<b>Custom Homes: Specific Architectural Design Requirements- Fireplaces and Fire Pits</b>	30
5.72	Fireplaces	30
5.73	Site Fire Pits/Exterior Fireplaces	30
6.	<b>Site Planning/Landscape Design</b>	31
6.1	Purpose	31
6.2	Recommendations	31
6.3	Trees, Shrubs and Grasses	31
6.4	General Design Considerations	31
6.5	Concepts	31
6.6	Building Envelopes and Easements	31
6.7	More Restrictive Site Plan	32
6.8	Ditch Easement	32
6.9	Golf Course Easement	32
6.10	View Corridor Easements	32
6.11	Combining Lots	32
6.12	Site Design	32
6.13	New Plantings	35
6.14	Changes from Approved Plans	35
6.15	Plant Material Selection and Location	35
6.16	Grouping	35
6.17	Screening	35
6.18	Other Plans	35
6.19	Mulch and Ground Cover	35
6.20	Gravel/Stone Ground Cover	35
6.21	Xeriscape	36
6.22	Slopes and Berms, Maximum	36
6.	<b>Site Planning &amp; Landscape Design-Front, Side &amp; Back Yards</b>	36
6.23	Front Yards	36
6.24	Side Yards	36
6.25	Back Yards	37
6.	<b>Site Planning &amp; Landscape Design -Minimum Planting Requirements</b>	37
6.26	Quantities Versus Lot Area	37
6.27	Qualitative Design	37
6.28	Planting Requirements in Sage and Pimon Homesites	37
6.29	Planting Requirements in The Settlement	38
6.	<b>Site Planning &amp; Landscape Design-Right-Of-Way (ROW) Landscaping</b>	38
6.30	Damages	38
6.31	Notices	38
6.32	Right-of-Way Irrigation	38

SECTION	DESCRIPTION	PAGE
6.33	Repair of Damage to Common Irrigation System	38
6.34	Fines	39
6.35	Performance and Damage Deposit	39
6.	<b>Site Planning &amp; Landscape Design-Irrigation versus Driveway Construction</b>	39
6.36	Driveway Location	39
6.37	Prior Inspection	39
6.38	Sleeving	39
6.	<b>Site Planning &amp; Landscape Design-Private Residence Irrigation</b>	40
6.39	Approximate Specifications	40
6.40	Water Pressure	40
6.42	Inspection	40
6.43	System Zone Controls	40
6.44	Dry Climate Vegetation	40
6.	<b>Site Planning &amp; Landscape Design-Site Grading &amp; Drainage</b>	40
6.45	Drainage Plan	41
6.46	Grading Requirements	41
6.47	Stockpiling and Removal of Excavated Materials	41
6.	<b>Site Planning &amp; Landscape Design-Driveways, Vehicle Access</b>	41
6.48	Driveways	41
6.49	Alignments	41
6.50	Widths	42
6.51	Turning Radius	42
6.52	Damages	42
6.53	Drainage Across Driveways	42
6.54	Paving Materials	42
6.55	Bike Paths	42
6.	<b>Site Planning &amp; Landscape Design-Parking Requirements</b>	42
6.56	Location and Prohibited Vehicles	43
6.	<b>Site Planning &amp; Landscape Design-Fences, Walls and Gates</b>	43
6.57	Locations	43
6.58	Retaining Walls, Privacy Fences or Screen Walls	43
6.58.1	Deer/Wildlife Fencing	44
6.59	Approvals	44
6.60	Terraces, Paths, Hardscape Areas	44
6.61	Decks at Ground Level	44
6.	<b>Site Planning &amp; Landscape Design-Improvements, Lawn Ornaments, Sculpture, Flag Poles, Structures, Play Structures</b>	46
6.62	Lawn Ornaments and Sculpture	46
6.63	Flag Poles	46
6.64	Landscape Structures and Play Equipment	46
6.65	Hot Tubs, Spas and Swimming Pools	46
6.	<b>Site Planning &amp; Landscape Design-Signs and Address Markers</b>	46
6.66	Address Markers	46
6.67	Signs	47
6.68	Realtor Signs	47
6.69	One "For Sale" or "For Rent"	47
6.	<b>Site Planning &amp; Landscape Design-Tree Removal</b>	47
6.70	Sage and Pinon Homesites	47
6.71	Preservation of Native Vegetation	47
	<b>Landscape Designs for Specific Neighborhoods-Blocks A, B, F</b>	49
7.	<b>Design Review Process</b>	53
7.1	Purpose of the Design Review Process	53
7.2	Design Review Process	53
7.3	Before Submitting Plans	53
7.4	Submittals for Improvements	53

SECTION	DESCRIPTION	PAGE
7.5	Interpretation of Guidelines	53
7.6	Interpretations by DRC	53
7.7	Meetings, Fees and Inspections	54
7.8	Steps	54
7.9	Design Review Submittals	54
7.10	Professionals	54
7.11	Town of Carbondale	54
7.12	Town of Carbondale Water and Sewer Tap Fees	54
7.13	Pre-Submission Conference	54
7.14	Meeting Agendas	55
7.15	Argumentative or Combative Applicants	55
7.	<b>Design Review Process-Preliminary Design Review</b>	55
7.16	Design Review Request Form	55
7.17	Staking on Lot	55
7.18	Preliminary Design Review Meeting(s)	55
7.19	Summary Letter	56
7.20	Six Month Delay	56
7.	<b>Design Review Process – Final Design Review</b>	56
7.21	Finalization and Refinement of Submittals	56
7.22	Final Design Review Meeting(s)	56
7.23	Final Design Approval, Summary Letter	56
7.24	Precedents	56
7.25	Disapprovals and Re-Submittal of Plans	56
7.26	Term of Approval Conformance	56
7.27	of Improvements Subsequent	57
7.28	Changes	57
7.29	Changes After Approval	57
7.30	Fines Levied	57
7.31	Variances are Discouraged	57
7.32	Variances	57
7.33	Appeals Procedure	57
7.34	Building Permits	57
7.35	Pre-Construction Meeting	58
7.36	Enforcement of Approved Design	58
7.37	Inspections	58
7.38	Inspections of Work in Progress	58
7.39	Inspection Reports	58
7.40	Unapproved Changes	58
7.41	Stop Work Order	58
7.42	Fines Levied	59
7.43	Curative Work	59
7.44	Schedule of Design Reviews and Inspections	59
7.45	Fees for Design Review	59
7.46	New Construction	59
7.47	Remodel	59
7.48	Resubmissions	59
7.49	Damage and Performance Deposit	60
7.50	Certificate of Compliance and Return of Damage Deposit	60
7.51	Non-Liability	60
8.	<b>Design Review Committee (DRC): Organization, Duties, Responsibilities &amp; Authority</b>	61
8.1	DRC Membership	61
8.2	Interpretations by DRC	61
8.3	Functions of the DRC	61
8.4	Administrative Assistant	61

SECTION	DESCRIPTION	PAGE
8.5	DRC Meetings	61
8.6	E-mail Actions	61
8.7	Records of Actions	61
8.8	Compensation	62
8.9	Amendments of Design Guidelines	62
8.10	Current Revised Design Guidelines	62
8.11	Non-Liability	62
8.12	Master Declaration of Protective Covenants for River Valley Ranch, Article 4	62
9	<b>Construction &amp; Builder Regulations, Inspections and Changes</b>	63
9.1	Introduction	63
9.2	Storage of Materials and Equipment	63
9.3	Commencement of Construction	63
9.4	Construction Area	63
9.5	Native Vegetation	64
9.6	Storage and Parking Spaces	64
9.7	Access to Construction Areas	64
9.8	Vehicles and Parking Areas	64
9.9	Storage of Materials and Equipment	64
9.10	Construction Period and Phasing	64
9.11	Construction Activity Times	65
9.12	Construction Trailers, Sanitary Facilities and Temporary Structures	65
9.13	Signs	65
9.14	Debris and Trash Removal	65
9.15	Clean Up and Eyesore Appearance	65
9.16	Excavation, Grading and Tree Protection	66
9.17	Dust and Erosion Control	66
9.18	Damage Repair and Restoration during Construction	66
9.19	Damage to Right-of-Way Landscaping	66
9.20	Damage to Common Irrigation System	67
9.21	Driveway Construction	67
9.22	Irrigation Sleeves	67
9.23	RVRMA Inspections	67
9.24	Pets	68
9.25	Security	68
9.26	Noise	68
Appendix A	Definitions and Abbreviations	69
Appendix B	Covenants Affecting Design Guidelines	71
Appendix C	Preliminary Design Review/ Checklist of Required Submittals	73
Appendix D	Final Design Review/ Checklist of Required Submittals	75
Appendix E	Landscape Planting, Maintenance and Seeding	78
Appendix F	Landscape Plant Materials: Approved, Sizes, Photos & Descriptions	81
Appendix G	Sign Standards	134
Appendix H	Design Review Request Form	135
Appendix I	Adjacent Lot Use Permission Form	131
Appendix J	Pre-Construction Meeting Form	137
Appendix K	Deposits, Fees & Fines	138

# 1. Purpose and Intent of Design Guidelines

**Purpose and Intent.** The River Valley Ranch (RVR), Master Design Guidelines (Guidelines) have been created to ensure that all improvements at RVR preserve the natural beauty of the mountain valley setting, ensure harmonious residential design, and protect and enhance property values. The Guidelines are intended for use by all persons involved in any Improvements, new buildings or landscapes, as well as subsequent additions or alterations to any property or improvement in RVR. River Valley Ranch provides a wide range of housing choices within a series of interconnected neighborhoods set in a spectacular Colorado landscape. An understanding and respect for the natural resources of the site, as well as an understanding of the area's history and climate, will provide the keys to the successful design of new buildings and landscapes at River Valley Ranch.

**Administration.** The Guidelines are administered and enforced by the Design Review Committee (DRC) in accordance with procedures set forth in this document and the Amended and Restated Master Declaration of Protective Covenants for River Valley Ranch (Covenants). The DRC's role is to provide assistance to Owners and their design professionals, to ensure that the design process is a satisfying experience.

**Changes.** This document may be amended and supplemented by the DRC with the ratification of the River Valley Ranch Master Association (RVRMA) Executive Board (Board).

**Supplemental.** The Master Design Guidelines are supplemental to Town of Carbondale's Building Codes and the Amended and Restated Master Declaration of Protective Covenants for River Valley Ranch plus Amendments, first recorded on March 25, 1998 with the Office of the Clerk and Recorder of Garfield County, Colorado, in Book 1059 pages 623-721.

**Conflicts.** In the event of any conflict between these Guidelines and other documents or authorities, the more restrictive shall govern and control.

**Quality and Features.** The strengths of the property are the Crystal River, the openness of the Valley, the running irrigation courses, the bluffs, and the views to the foothills and Mount Sopris. A sense of open space linkages to the river and surrounding hillsides will be pervasive throughout the community. River Valley Ranch has been designed to recreate the classic living environment of a Colorado River valley for today's lifestyles by including:

- Traditional friendly neighborhoods.
- Rancher's sense of living close to the land and its water.
- Long views to mountain skylines everywhere.
- A sense of community created by a group of families that have sought out this spectacular natural setting and the lifestyle accompanying it.

**Visual Harmony.** The design of the homes in River Valley Ranch should work together as a composition of compatible, albeit distinct, architectural solutions: no individual residence should stand so apart in its design as to detract from the visual harmony of the community, or compete with the natural character of the site.



**Protection of Qualities.** These qualities are being shaped and protected by the River Valley Ranch Master Development Plan and the Guidelines. In the Master Development Plan, layout of roads and streets, open space patterns, distinctive neighborhood settings, golf routing and the design of infrastructure and streetscapes respond to topography, water, views, and traditional way of building a place to live on this land. As a result every home site will share in the sense of connection to the river valley, the mountains and the history of settlement here.

**Neighborhoods.** The Guidelines apply that same approach to the individual buildings and landscapes that will be built here. Chapter 3 -Neighborhoods includes neighborhood-specific guidelines that establish special identities and unique special requirements.

**Design Intent.** It is the intent of River Valley Ranch to build upon the architectural traditions of the area, and allow a diversity of individual architectural expression within an overall unity that characterizes a distinctive community. The Guidelines also seek to ensure that buildings remain subordinate to the grandeur of the surrounding natural landscape.

**Location and orientation.** Building sites provide for the optimization of views to key elements of the landscape such as Mt. Sopris, the Crystal River, and the golf course. Those view opportunities should be an important organizing factor in the architectural design.

**8th Edition.** From time to time, the DRC will make revisions to these Guidelines, as it deems necessary to strengthen their ability to realize the original intent of the Guidelines or to respond to changing construction technologies and market conditions. Any design submitted for preliminary review subsequent to its publication date is subject to this edition. Relative to the original and prior editions, substantial changes have been made; therefore, property owners should expect that some existing homes in the community would not be approved under these current Guidelines.

**Licensed Professionals Required.** It is required that the Owner retain competent assistance from an architect licensed in Colorado and a landscape professional and licensed surveyor. All plans submitted for DRC Final Approval shall be stamped and signed by the Architect. Additional assistance from other licensed design professionals such as a civil engineer is also recommended. The Owner and their chosen consultant(s) should also carefully review the Covenants as well as these Guidelines prior to commencing the design review process. It is also recommended that the Owner commission a lot specific soils test for the proposed homesite prior to engaging the architect or structural engineer. Survey of lot must be stamped and signed by a licensed Surveyor.

## **1.1 DRC Capacity to Interpret Guidelines**

**Interpretations by DRC.** By their nature, these Guidelines are largely subjective. The DRC has broad capacity to interpret both qualitative and quantitative requirements to ensure that the intent of the guidelines is realized in architecture of homes at RVR. The DRC is charged with the preservation of quality and value of homes and property at RVR and takes its responsibility seriously.

**Design Review Process.** The DRC and staff work hard to provide a smooth and friendly review process. It will however, be strong in its enforcement of these Guidelines and the realization of their authority and intent. Applicants are asked to share the same positive approach in working with the DRC, and to be sympathetic to the difficulty of the committee's task. This is particularly important in the process of discussing attributes of proposed designs that the DRC feels need to be changed in order to achieve the quality and spirit of RVR.

## 2. Common Submittal Problems: "Hot Buttons", Omissions and Violations

**Minimum Required Standards.** No DRC Review will be considered, unless the following minimum required standards are met:

- Design elements should build upon a "ranch house vocabulary" as well as the architectural traditions of the area with complex buildings made up of different heights and forms.
- Masses: Minimum of three (3) distinct masses.
- Cascading roofs: Forms should appear to cascade from high mass to lower volumes at perimeters.
- Second Story must not exceed 60% of the ground floor square footage, including garage, covered decks, porches and patios.
- Ridge Lines: No unbroken horizontal length greater than 30' (34' with 2 overhangs.)
- Gable Roof Forms should be primary. Shed and hip roofs should be secondary.
- Gable Roofs: Minimum roof pitch (6-12) 6' height in 12' horizontal run.
- Shed Roofs: Minimum roof pitch (3:12) 3' height in 12' horizontal run. 20% maximum total roof area.
- Chimney should be clad with stone with cut stone caps or a decorative metal cap. Roof projections must penetrate behind the ridge and must be compatible in height and material and/or be painted to match the roof color.
- Windows within Stone: Sills will be above or recessed down into stone, not sitting directly on top of stone.
- Retaining walls must not be more than 4 feet high and must be backsloped.
- Drainage must be controlled on site so as to not impinge upon an adjacent lot or Master Common Area. Drainage swales, dry wells, area drains, catch basins, etc. will be important features.
- Trees and Shrubs should be shown at mature sizes on plans and not too close to the property line.
- Construction fences should be shown on site plan.
- Photographs of neighboring homes must be included with submittals.

**2.0 AMENDED**

**Date:** 4.22.2015

**Refer to:** Eighth Amendment

- Incomplete submittal packages will not be considered.
- Driveway widths must be kept to a 12 foot maximum with curb flaring to 16 feet.
- Exterior lighting must be in compliance with the Town of Carbondale lighting ordinance.

### 3. Neighborhoods: Special Requirements

#### Block A - The Settlement

The Settlement neighborhood is to be characterized by a high level of consistency in form, scale, color scheme and details and is to be consistent with the architecture of the existing homes already designed and constructed within that neighborhood. The architecture is to be reminiscent of western ranch and mountain architecture with stained cedar exterior siding. Unlike the custom home neighborhoods, faux board & batten using cedar plywood with batten is allowed in The Settlement as well as the following special architectural characteristics:

- Board and batten style exterior siding.
- Real or faux stone masonry that is consistent in material and location with existing homes.
- Roof pitch and design that is compatible with the existing architecture.
- Cedar shake shingles for main roof masses with the option of rusted corrugated or appropriately colored standing seam metal roofing.
- Solid stain (not paint) as specified in the most current RVRMA painting contracts for The Settlement and window color schemes that are comparable to the existing colors. Property owners requests for change in the stain color applied to their Settlement home are subject to DRC approval and the Owner will be required to pay any incremental charges resulting from the change in stain color above and beyond what the RVRMA would have spent to restrain the home in its normal re-stain cycle.
- Details of doors, windows, vents, brackets and other architectural features that are western ranch in theme and similar to the existing homes.

**Existing Designs.** While architecture should be consistent with the architecture of the homes already designed and constructed within The Settlement, the following additional criteria needs to be followed:

**Non-Repetition.** When two homes with the same exterior massing and forms are next to each other, the appearance of the proposed home must be altered through the use of exterior colors, garage door orientation, window patterns, stone patterns and accents. There cannot be two homes of the same design next to each other, even if steps are taken to minimize the repetition by "flipping" of the floor plans.

**Window Relationships.** There must be a review of window relationships between proposed homes and existing homes. This review shall take into consideration privacy issues. Windows should not face windows.

Limited Common Assessment. Additionally, The Settlement neighborhood has a Limited Common Assessment organization that maintains all of the landscaping within the neighborhood. Landscaping and fencing are therefore required to be similarly consistent in pattern and designed to facilitate access by maintenance providers to front, side and back yards. Irrigation systems are required to be consistent in design and equipment type as the existing homes.

Master Design Guidelines governing Custom Homes are also applicable to The Settlement, except where the above requirements specifically override those guidelines. This is particularly important in regards to landscape design.

## **Block B – Sopris View**

Approved Designs: Block B Neighborhood is to be characterized by a high level of consistency in form, scale, color scheme, details and is to be consistent with the architecture of the homes already designed and constructed within that neighborhood. Block B consists of 12 similar home sites that were originally approved with 11 prepared designs and color schemes. Careful attention should be given not only to existing Block B style of Architecture, but to the overall architectural style of RVR. The approved designs, color schemes and streetscape shall be strictly adhered to through build-out of Block B. The DRC may consider variations on a case by case basis.

Sites & Solar Access: Block B was platted like no others in RVR with four foot side setbacks, a one-way alley, lots that are longer than wide, and views & southern exposure to the front street. In addition, as a result of the Solar Access Ordinance governed by the Town of Carbondale, Block B had to apply for a variance as the density of the platted lots would not comply with conditions of the ordinance. As a result, East/West ridgelines became a condition of approval, ensuring that each building is suitable for roof-mounted solar collectors. The DRC will provide guidance to applicants regarding the East/West ridgelines, but actual compliance with the condition of approval of solar access will come from the Town of Carbondale.

Sequential Development: Due to the narrow width of the lots and setbacks in Block B, construction of each lot will be safer and simpler if the lots are developed sequentially from East to West. RVR will require "Adjacent Lot Use Permission Forms" for all Block B construction from the neighboring lots. If lots are not developed sequentially from East to West, special attention needs to be paid to the protection existing homes and their side yards. Extensive earth retaining methods may be required for basement construction in order to protect the neighbors' property. The Town-owned rear alley and RVR Common Area Right-Of-Way must also be protected from damage. See sections of the Guidelines regarding Performance and Damage Deposit, Fine Schedule and other Construction & Builder Regulations.

Architecture: Block B is to have a mixed use of exterior materials and facades to create a cohesive, but varied streetscape. Therefore, the home sites of Block B have additional requirements in terms of general design, massing, scale, exterior materials and colors.

Massing and Scale: The remaining home sites are required to create a street and alley presence similar to the existing homes. As such, a two story single structure is required. It is also important to place the building near both front and rear setbacks to keep a consistency within the streetscape.

section 3 AMENDED Common Assessment  
Date: 3.20.2014  
Refer to: 51xth Amendment

Whether re-using the approved prepared designs or using custom plans approved by the DRC, it is imperative that a review of the neighboring home sites prove that the window relationship ensures privacy, particularly to the side yards. If adjacent lots are developed, photos of the front, back and adjacent side of adjacent homes are required at the time of Preliminary Design Review Application to the DRC.

**Exterior Materials & Colors:** Proposed exterior materials and colors must complement the existing Block B homes. Lot owners must consult the approved color schemes to understand the palette that was originally approved for each Lot. Additionally, review between neighboring homes should prove that while the colors and details of the elevations are complimentary, they are not the same.

**Other Requirements:**

- Roof pitch and design that is compatible with existing architecture (8:12 min. 12:12 maximum).
- Real masonry of at least 10% is required on front and rear elevations.
- Roofing must be compatible with the existing homes on Block B.
- Paint and window color schemes must be compatible and consistent with the original approved homes for Block B.
- Details of doors, windows, vents, brackets and other architectural features must be of western ranch in theme and similar to the existing homes.

**ADD's:** Accessory Dwelling Units (ADU's) are required within Block B. Typically, the ADU is above the garage, but could be placed elsewhere as long as access is available. Interior stairs are encouraged due to weather and maintenance conditions. Exterior stairs must be screened per the Guidelines. The ADU must be provided at least one unobstructed parking space.

**Drainage:** The narrow side yard setbacks also present challenges in terms of site drainage. The DRC will review grading plans of proposed buildings very carefully. Special attention must be paid to ensure that drainage is handled appropriately on each lot and in conjunction with adjacent lots.

**Common Assessment:** Block B Neighborhood has a Limited Common Assessment organization that maintains all of the landscaping within the neighborhood. Landscaping and fencing are therefore required to be similarly consistent in pattern and designed to facilitate access by maintenance providers to front, side and back yards. Irrigation systems are required to be consistent in design and equipment type as the existing homes.

**Master Design Guidelines** governing Custom Home Neighborhoods are also applicable to Block B, except where the above requirements specifically override those guidelines.

## Block F - Old Town

Construction of Old Town is now complete. Any requests for additions or alterations to buildings or landscaping are to be made in keeping with the form, scale, color scheme and details of the

existing neo-traditional Victorian design. The DRC shall use the existing context as its guide for decision making.

**Painting:** Property owner's requests for change in the paint color applied to their Old Town home are subject to DRC approval and the Owner will be required to pay any incremental charges resulting from the change in paint color above and beyond what the association would have spent to repaint the home in its normal repaint cycle.

## **Golf Course Homes:**

**Hazard of golf balls:** As is the case with all golf course properties, potential hazard of golf balls must be considered when designing a residence. The Owner is responsible for a home design that mitigates the hazards of living on the golf course. The DRC and RVRMA are not responsible for any damage or injuries that can and may occur when a home is constructed adjacent to the golf course. No artificial screening of errant golf balls will be allowed.

## **Block W**

**60% Second Floor:** Due to topographical considerations, home design in Block Ware exempt from the "60%-40%" floor areas rule which has been established as one of the minimum required standards for Custom Homes. The proscription to avoid a "boxy" appearance will be maintained.

**Other Guidelines:** Specifics to Block W home sites include:

- **Sloping Sites:** Due to topography of the sites, the DRC shall require that the massing of the house be stepped up the hillside to meet the natural slope.
- **Site Grading:** Design should integrate the home with the site and adjacent lots. Grading should be designed as a combination of cuts and fills as an extension of the natural topography. Site grading is preferable to retaining walls although imposed severe grade changes or steep banks are not allowed.
- **Retaining Walls and Landscape Walls:** These should be designed as an extension of the home or as an extension of the natural landscape. They should not exceed twenty feet (20') in length without a visual interruption or significant bend to lessen the visual impact.
- **Tops and Ends of Walls:** These shall be designed to blend with the natural contours and to visually tie the walls to surrounding landforms.
- **Materials:** Walls are to be constructed of boulders, faced stone, laid stone or pre-fabricated interlocking blocks. Where interlocking blocks are proposed, samples shall be submitted to the DRC for approval. Railroad ties, milled timbers and logs are prohibited.
- **Slopes and Grades:** They shall not exceed four (4) feet horizontally to one foot vertically.



- **Grading not Permitted:** This is not allowed in any dedicated open space area, common area and/or between property lines.
- **Uphill Lot Residences:** When viewed from the street, the applicant shall be required to take special consideration to reduce the height of the building as viewed from the downhill side.
- **Exterior Facades of Two Stories:** These may be allowed, if some forms of plane break through the use of decks, balconies, roofs, etc. are employed to relieve an uninterrupted two story facade.
- **Uninterrupted Three Story Facades** shall not be allowed. Where a third story is used, it shall step back a minimum of six feet (6') from the plane of the second story to provide some visual relief.
- **The Block W streetscape** is like none other in the community. As the project property transitions from the manicured turf sod to the hillside native areas of pinon and sage, the intent is to maintain the 10-foot-deep streetscape right-of-way with native grasses and wildflowers. The homeowners will be allowed to create a landscaped entryway onto their lots within an area no wider than 40 linear feet to include the driveway cut within this easement. The DRC will consider each entryway on a case by case basis ensuring consistent character with other homes along the Block W streetscape. All manicured landscape Improvements and associated irrigation within this 40 foot easement will be the responsibility of the individual homeowner to maintain. The remaining native grass areas will be maintained and irrigated by the Master Association.

### **360 North and South Homes:**

**35 acre estates:** RVR includes two 35 acre estate home sites on the mesa to the West of the main part of the community. Home design in 360 is subject to these Guidelines, but offers the DRC much greater latitude for interpretation of these Guidelines given their remote nature. The same expectations for quality design and craftsmanship are to be maintained, but formal requirements can be less restrictive with DRC approval.

**Homes on 360** are limited to 6,500-sq. ft. livable area, not including the garage, but including the basement, and a 1,000-sq.ft. Accessory Dwelling Unit. 360 is not in the Town of Carbondale and is therefore subject to the rules of the Building Department of Garfield County. Homes in 360 are, however, subject to the Town of Carbondale's Lighting and Efficient Builder Ordinances. Outbuildings are also permissible per the County's regulations and DRC approval.

## 4. Custom Homes

### General Architectural Design Requirements

**4.1 Design Appropriate to the Site:** Buildings are to be designed such that they appear to fit into the site instead of just sitting on top of it. To accomplish this goal, buildings must follow topographic changes through the use of stepped floor levels or details on the exterior of the home that give the appearance that the building steps up or down where appropriate. This is particularly important for the hillside lots along the South and West perimeter of the property. While it is required that building masses follow natural site contours, nothing in these guidelines shall prohibit a single floor level, provided that the building height, massing and grading guidelines are met. The DRC may require, in such a case, that the exterior detailing of the building reflect changes in contour through changes in siding materials and details.

**4.2 Non-Repetition:** In general, each custom home at River Valley Ranch must be unique. Floor plans may not be re-used with a potential exception for developers who are building an entire enclave that is distinctly separate from the rest of the custom home neighborhoods. Such arrangements must be worked out prior to the beginning of construction within the enclave. When building in areas of existing homes, the DRC will require photographs of neighboring homes to ensure non-repetition.

Additionally, the DRC has the ability to limit the use of exterior materials or details that, in its view, are appearing too frequently or in too close proximity. For example, a proposed design for a board and batten home that is to be positioned immediately adjacent to two other homes that are also board and batten might be prohibited by the DRC. On the same note, the DRC may also limit the use of a general massing strategy; for example, a home with a single-story garage on the left side with side-facing garage that is proposed to be adjacent to two others of similar form may be prohibited.

**4.3 Resource Conservation:** All homes at River Valley Ranch are required to be constructed in compliance with Town of Carbondale's Efficient Builder ordinance.

**4.4 Passive Energy and Recycled Materials:** RVR encourages the use of appropriate passive energy technologies and the utilization of products made from recycled materials. The DRC will actively support the use of additional resource conservation measures in the design of all new homes in ways that are compatible with the intent of the Master Design Guidelines.

**4.5 Building Height:** Generally, the maximum height limit established by Town of Carbondale Zoning Regulations is 27 feet to the mid-point of the roof's pitch, measured from a fixed point (such as the street in front of the home), sufficient for a two story building with pitched roof. Specific requirements of the Town should be obtained by individual homesite Owner.

**4.6 Single story buildings:** These are not necessarily the best solution. There may be instances where the smaller footprint from a two-story building would provide more ground level

4.6 AMENDED  
Date: 3.20.2014  
Refer to: Sixth Amendment

view opportunities than would a single-story building of the same square footage. Creative design solutions which seek to maximize views from within each home and the surrounding neighborhood will be considered by the DRC.

**4.7 Building Mass and Form:** Buildings must be residential in scale and preferably asymmetrical in form. Exterior volumes should express the nature and organization of interior spaces to provide articulation of walls and roofs. In order to guarantee the articulation of multiple masses within each building, a minimum of at least three distinct masses are required on each home. Building elements such as walls and roofs and roof ridges cannot have an unbroken horizontal length greater than 30 feet, not including distance required for roof overhangs. Exterior elevations may not exceed two-stories in height without some form of set-back or other architectural elements that create visual relief. Similarly, elements that create long horizontal banding such as unbroken wainscots are not permitted.

**4.8 Roof Forms:** Homes should be designed such that they appear to "cascade" from a higher mass at the center of the building to lower volumes at the perimeter.

**4.9 60% Second Floor:** The roofs of all two-story homes must include single-story elements. It is required that the second story portion of homes not exceed 60% of the ground floor square footage including garage area, covered decks, porches and patios; double height spaces must be included in the total area of the second floor. The intent of this requirement is to prevent the design of homes that appear to be two or three-story "boxes."

**4.10 Building Projections:** The use of porches, courtyards, and patios for climate control and/or outdoor living and circulation is encouraged. Such projections must be designed as integral elements of the building using compatible forms and materials.

**4.11 Building envelope:** The Town of Carbondale allows certain "architectural projections to exceed the limits of the building envelope." These are determined by the Town Building Department and typically include roof overhangs, balconies and porches. Check with the Town to determine what will be acceptable for determining a final design that includes elements outside of the building envelope. Elements that exceed the building envelope are also subject to review and approval by the DRC which is directed to make determinations based on both the overall scale of the home and the impact of the projection on neighboring properties.

**4.12 External Stone Chimneys:** These are encouraged as a major design feature in custom home neighborhoods. Chimneys should be clad with stone with stone caps or a decorative metal cap.

**4.13 Ancillary Structures:** Garages, storage sheds, guest wings, caretaker units, etc. are to be designed as integral parts or extensions of the main building in terms of material and color, even if they are physically separated. In all cases, they are required to be secondary in scale to the primary structure. Barn and other "outbuilding" forms are encouraged and must be designed using forms and patterns authentic to the area. The DRC has wide latitude to make decisions regarding subjective questions about the appropriateness of the design of ancillary structures.

Construction can be phased but the primary component of the home must be completed first. Accessory Dwelling Units may not be constructed in advance of the main house.

**4.14 Garden Level Basements:** "Garden level" basements in which a portion of the walls are above grade must be designed carefully. Applications of this form will not be permitted if the increased elevation of the main floor causes the home to appear to be three stories, seemingly sitting high on a plinth or to have a foundation that is too massive.

**4.15 Other Design Features of Importance:**

- Typical ranch house details like covered porches, expansive stone chimneys and strong structural expression.
- Houses designed to optimize views and utilize natural features found on-site.
- An architectural vocabulary that emphasizes a ranch house heritage.
- In the custom homesite neighborhoods at River Valley Ranch, the intent is to create a sense of spaciousness and of living close to the land in a place where the natural environment dominates the scene.
- Trees in natural looking clusters; riparian forms along the drainage ways and water's edges; windbreak forms around houses or groups of houses; and groves at "landmark" locations, such as intersections and entries.
- Exterior surfaces that harmonize with the natural landscape as well as provide an outer skin that will withstand the climate extremes.
- Windows deeply recessed to give an appearance of substantial wall thickness, strength and durability.
- Natural and stained, rather than painted, finishes.
- Unfenced front yards.
- Residences which are environmentally friendly and comply with Town of Carbondale Ordinances.

## 5. Custom Homes: Specific Architectural Design Requirements

### ROOFS

Roofs potentially have the greatest impact upon the overall image of RVR from many public viewpoints, community spaces and individual lots. For that reason, roof design will be one of the most carefully considered elements for design review by the DRC.

**5.1 Key Design Features:** The roof pitches, forms, color, texture and reflectivity are all key design considerations to ensure minimal visual impact. Internal volumes and groups of uses within the building should be expressed by changes in roof planes. The design of roofs should give consideration to snow accumulation and shedding. Entryways, garages and pedestrian areas should be protected from potential snow shedding.

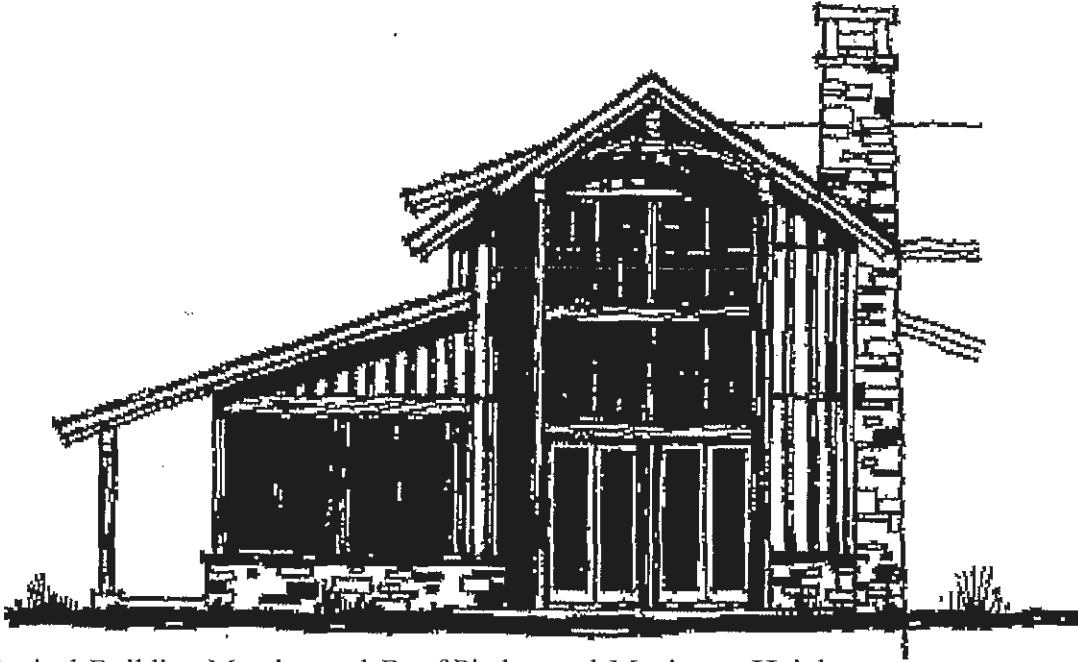
**5.2 Roof Forms:** A simple pattern of primary and secondary roof forms, relatively steep pitches, dormers and a limited palette of materials and colors are the primary characteristics of acceptable roof forms. Gable roof forms are to be primary elements in the design. Hip roof forms with dormers and limited shed roofs are to be used as secondary elements in the design. Large unbroken expanses of single pitched roof, flat and mansard roof forms are prohibited.

**5.3 Ridge lines and roof planes:** These may not exceed 30' (except for overhangs) in horizontal length without some form of break to provide visual relief. For shed roofs, no more than 40% of the total roof may be designed as a single plane. For gable roofs, no more than 75% of the roof may be designed as a single gable and shall conform to all requirements identified in **Section 4, Building Mass and Form, Roof Forms, and 60% Second Floor...**

**5.4 Roof Dormers:** These are an important part of the architecture at River Valley Ranch. The design of dormers should be functional to allow window openings and head heights for upper level or loft living spaces. They can also be used to bring light into multi-story living spaces and to provide protection to entryways, decks and garages. Dormers are recommended in lieu of skylights and skylights will only be permitted with special review and approval from the DRC to ensure that their visual impact from prominent views to the home is eliminated.

**5.5 Type and Location:** Dormers may be gable, hip or shed. Dormers should be designed and located relative to the style and overall proportional balance of the roof and building. Shed dormers should not exceed more than 2/3 of the primary roof plane. In order to maintain a simple roof form and to break up effectively the mass of the building, the front face of larger dormers should be at least 2' back from the plane of the wall below.

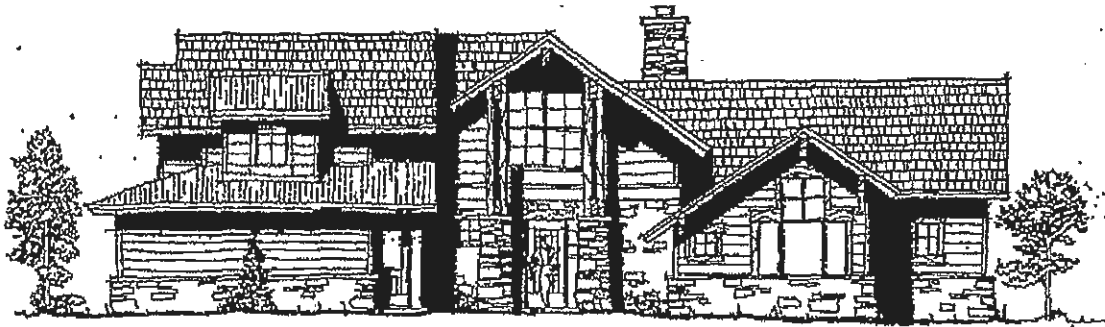
**5.6 Roofing Materials:** In general, roofing materials are to be non-reflective, textured and a variegated dark color. Unit roofing materials such as wood shakes or shingles that meet all applicable fire retarding standards. Composite thick butt architectural grade asphalt shingles are all encouraged. Standing seam metal roofs and oxidized corrugated metal roofs may be approved if they are an integral part of the overall building aesthetic, but they are not permitted to cover 100% of the roof. In general, metal roof should be the secondary material used in coordination with another approved material. Metal roofs must have a non-reflective surface and



Typical Building Massing and Roof Pitches and Maximum Height

Minimum roof pitch for shed roofs, max. 20% of roof area

Minimum roof pitch for main roof

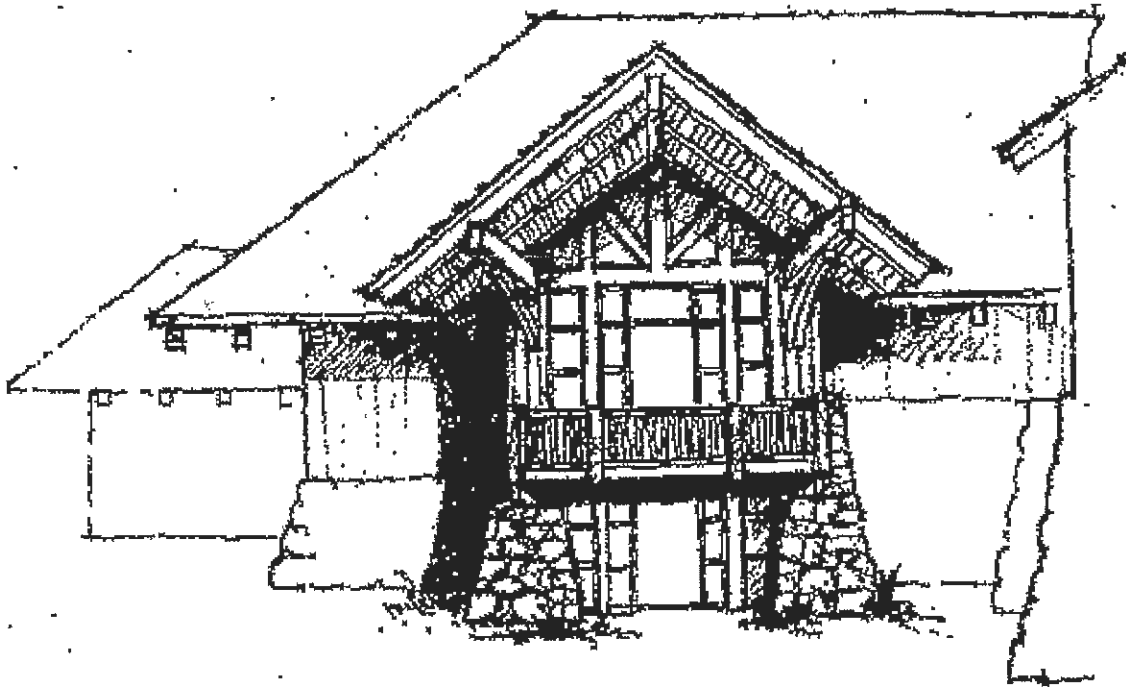


Typical Building Massing



Asymmetrical Building Forms with Varied Heights and "Cascading" Roof Elements

Exterior volumes express interior spaces P15



**Appropriate Building Projections: Balcony and Extended Gable**

Projecting roof overhang provides shade

Integral structural members subdivide large openings

Smaller window units and mullions used to break up expanse of glass



**Complex But Logical Roof Forms**

Dormers

Large overhangs

Strong entry form

a muted dark color. No simulated materials such as plastic shakes or metal panels designed to appear as other materials will be allowed without special review and exception from the DRC. In these cases, the DRC is instructed to be open to advances in technology, but sensitive to proposed alternative materials appearance and proven durability.

**5.7 Overhangs:** Broad roof overhangs can create deep shadow lines that reduce the appearance of the wall expanse and add visual interest to the overall structure. A minimum overhang 2 feet, measured horizontally, is required. Other architectural roof elements such as corbels, rafter tails, and decorative cornices are encouraged to create shadow patterns, visual depth, and interest. Smaller elements such as dormers and selected shed roof may have appropriately scaled overhangs of 6 inches to 12 inches.

**5.8 Pitches:** A slope of 6 inches vertical in 12 inches horizontal (6:12) is required. Porch roofs and limited shed roofs are exempt from this requirement and may have a minimum pitch of 3:12. The lower pitched roofs will be limited to a maximum of 20% of the roof and will be reviewed on a case-by-case basis by the DRC.

**5.9 Variation Required:** The DRC may determine that there is a negative cumulative effect of many residences having similar roof specifications and subsequently may not approve further use of the same specification.

**5.10 Roof Colors and Reflectivity:** Colors should be selected to be compatible with the surrounding natural landscape and integral to the exterior color palette of the house. Samples of approved colors are available from the DRC. In no case, shall reflective surfaces be permitted, regardless of their color. Colors must be in the following families: black, dark greens, browns, grays or natural cedar.

**5.11 Roof Projections:** Flues, vents, and other equipment must penetrate the roof behind the ridge and must be compatible in height and material with the structure from which they project and/or painted to match the roof color. Large vents should be disguised so as to appear consistent with the building architecture.

**5.12 Roof Mounted Mechanical Equipment** is prohibited.

**5.13 Renewable Energy Generation Devices and Energy Efficiency Measures** shall comply with Colorado law, CRS Section 38-30-168 (HB 08-1270).

Devices and Measures may be approved by the DRC on an individual basis, after special review based upon adequate evidence. Plans shall show locations and dimensions of all Devices and Measures, including site plan, roof plan and elevations. Application submittals shall fully describe the devices and measures and graphically or photographically show all visible characteristics, including but not limited to External Appearances, Placement/Location, Dimensions, etc.

Pursuant to the Law, the DRC may place "reasonable aesthetic provisions that govern the dimensions, placement, or external appearance of an energy efficiency measure". Additionally,



the law states that "In creating reasonable aesthetic provisions, Common Interest Communities (the DRC) shall consider:

- (1) The impact on the purchase price and operating cost of the energy efficiency measure;
- (2) The impact on the performance of the energy efficiency measure; and
- (3) The criteria contained in the governing documents (The RVRMA Protective Covenants and Design Guidelines) of the Common Interest Community."

Therefore:

- a. Devices and Measures shall visually blend in with the home, including colors and non-reflectivity characteristics.
- b. Devices and Measures shall be located to minimize visibility from adjacent properties and public spaces.
- c. Special scrutiny shall be done for ground mounted devices, whether placed in a berm or on a free standing pole.

#### **5.13.1 Renewable Energy Generation Devices:**

All devices shall be integrated into the design of the home and should not appear as add-ons, unrelated to the overall design. Non-reflective components shall be used wherever possible. Solar energy applications shall relate to the adjacent roof, match its plane, and blend/match its color with minimal projection therefrom. Other devices will be reviewed based upon submittal of plans, elevations, manufacturer's specifications and cut sheets, etc. Ground mounted solar panels and other devices should be contained completely within the building envelope.

#### **5.13.2 Energy Efficiency Measures:**

Pursuant to the Law, CRS Section 38-30-168, energy efficiency measures include ONLY:

- (1) "Awning, shutter, trellis, ramada, or other shade structure that is marketed for the purpose of reducing energy consumption;
- (2) garage or attic fan and any associated vents or louvers;
- (3) evaporative cooler;
- (4) energy-efficient outdoor lighting device, including without limitation a light fixture containing a coiled or straight fluorescent light bulb, and any solar recharging panel, motion detector, or other equipment connected to the lighting device; and
- (5) a retractable clothesline."

##### **5.13.2.1 Retractable Clothesline Characteristics:**

Show locations and dimensions when extended on Site Plan, Floor Plan and Elevations.

These devices shall:

1. Only be extended during sunny daylight hours;
2. Only be extended as necessary for full usage;
3. Be directly attached to the home and enclosed to visually blend with the home's design when retracted.

### **5.13.3 Skylights and Sun Tunnels Characteristics:**

These shall not be located on prominent, primary elevations of the home. They must match slope of adjacent roof with minimal projection from roof surface and lowest practical profile. They must be flat translucent surfaces, as opposed to dome or bubble in shapes. The colors of the translucent surfaces, and the frame, flashing and trim colors should blend or match adjacent roof. Steps must be taken to minimize light emission to exterior at night. "Energy Star" certification must be included with application, as evidence of net positive energy efficiency and performance.

**5.14 Gutters and Downspouts:** These must follow rooflines and building forms in logical places in order to diminish their overall visual impact. Copper is encouraged. Otherwise, downspouts and gutters must be dark or muted colors that are complementary to the color scheme of the home.

## **FOUNDATIONS & RETAINING WALLS**

**5.15 Design Objectives:** One of the primary design objectives at River Valley Ranch is to create a close integration of site, landscaping and building. The design of foundations is an important aspect of integrating these elements. Foundations and finished site grading must be designed so that the building appears to grow out of the site in a balanced and visually pleasing manner. Foundation walls that are above grade must be clad with stone or other suitable finish material. The DRC will allow exposed foundations of 6 inches or less.

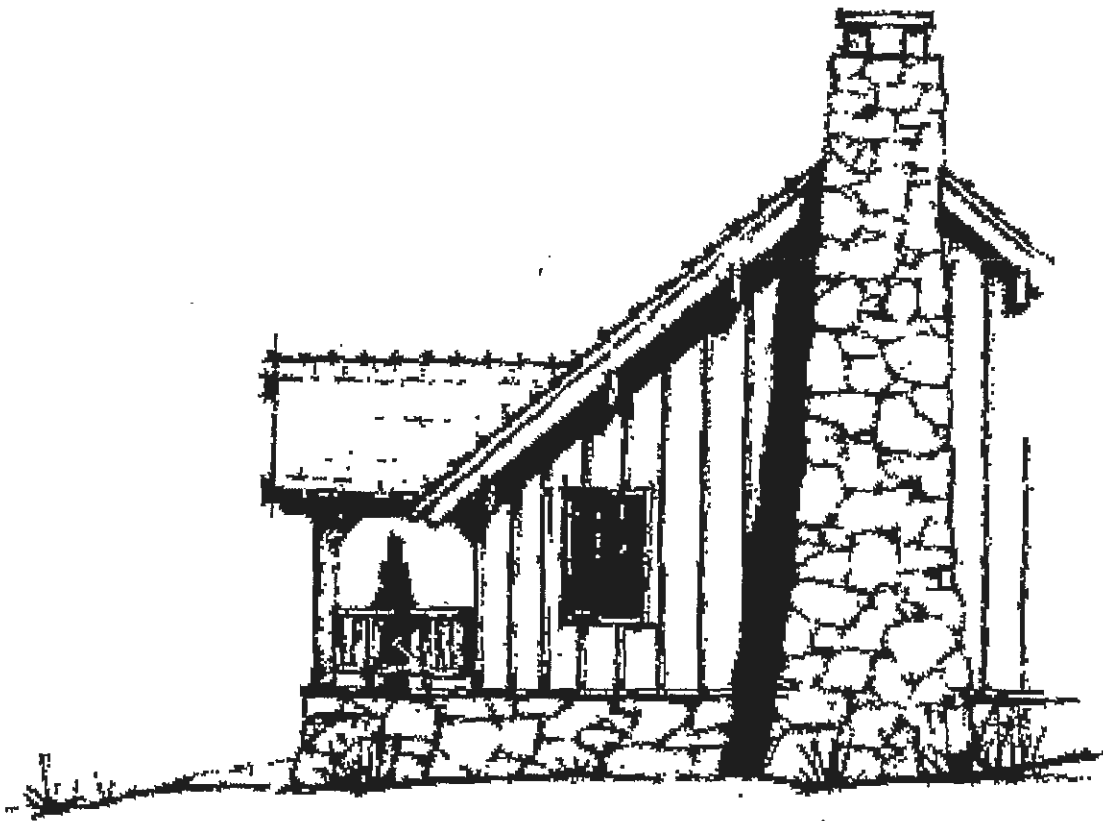
**5.16 Sloping sites:** Foundations must be stepped with the contours of the land to avoid high retaining walls or extensive cut or fill slopes. Exposed foundations or retaining walls that are in excess of 4 feet in height are not permitted. Special conditions are subject to review by the DRC.

**5.17 Cantilevers:** Suspended building masses, decks and cantilevered building elements are not permitted. Such elements shall have appropriately designed structural posts, kickers, beam lookouts, etc.

## **EXTERIOR WALLS & FINISHES**

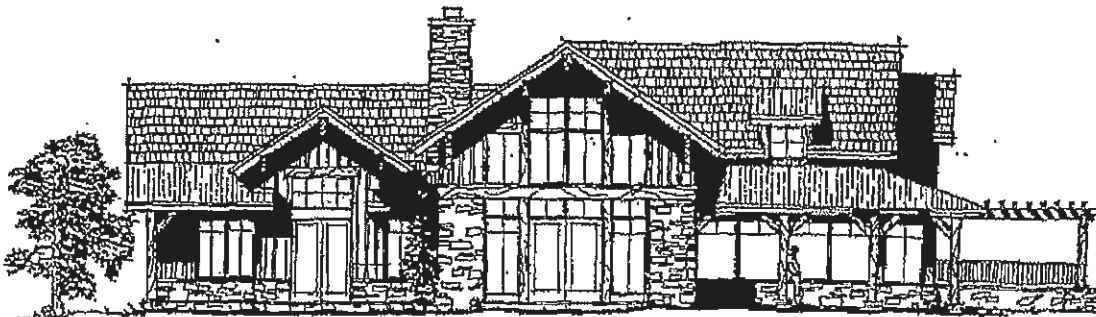
**5.18 Articulation:** An excessive vertical or horizontal expanse of a wall plane may visually compete and contrast with the natural surroundings forming a dominant structure that cannot aesthetically blend or harmonize with its setting. To avoid this condition, the guidelines have established a maximum length of 30 feet for walls. In addition, wall surfaces must be articulated for the purpose of adding interest and alleviating visual monotony. A continuous wall plane may be visually broken by one or more of a variety of design treatments described herein. The intent of any of these methods of articulation is to create a change in the appearance of wall surfaces utilizing: color, form, depth, material, or textural variations. Strong shadow lines resulting from different architectural treatments are effective means to achieve this objective.

**5.19 Exterior Wall Materials:** Each elevation is **required** to be surfaced with more than one material, but not more than three, except in the case of an all stone home that is permissible. One material should be dominant over the other(s) and they should express a logical structural



### Exterior Finishes

Strong textural qualities  
Board and batten as dominant facade material  
Clear break between different materials  
Logical structural use of stone



### Typical Exterior Walls

Structural elements to add sense of depth  
Varied building materials  
Vertical elements to break up horizontal planes  
Deep recessed doors and windows  
Jogs in wall surfaces to create shadow patterns  
Porches and trellis structures to create shadow patterns P20

relationship. Texture can be introduced into a wall surface by the use of shingles, shiplap boards, board and batten, logs, stone, and rock. Jogs or steps in the wall surface, site walls distinguished from the building wall by height and/or alignment, recessed openings, significant vegetation masses, roof overhangs, porches and trellis structures all add articulation to the wall expanse.

## **EXTERIOR WOOD**

**5.20 Siding:** This should be the primary exterior building material within River Valley Ranch. Boards of 6 inches or greater should be used and profiles of channel rustic, shiplap, tongue and groove or board and batten are appropriate. Due to their natural weathering characteristics cedar and redwood are strongly encouraged. The use of plywood with battens to emulate the appearance of true board and batten is not allowed.

**5.21 Stains and Paint:** The use of stain is required with a preference for transparent and semi-transparent stains in order to highlight the grain of the wood. The use of paint on wood exterior siding is not consistent with the architectural theme of the ranch.

**5.22 Cedar shakes and shingles:** These may be used in lieu of wood siding on secondary wall areas such as dormers and gables. Rectangular or half round shingles may be used. Heavy timber, logs and glue-lam beams can be used to express the structural framing of the building, particularly as trusses, lintels, sills, beams, purlins and rafters. The scale of the members should be consistent with the actual or apparent structural value. Connection details should be designed with care and heavy steel plates should be concealed or avoided.

**5.23 Logs and timbers:** These may be used as an exterior finish material. Columns must be set on a stone base or otherwise appear to be supported. Logs and timbers should express a massive, hand-hewn appearance to reflect the natural shape, grain and inconsistencies of the material. Logs may be hewn round or rectangular and joints may have chinking or may be fitted into an interlocking profile without chinking.

**5.24 Stone:** Required on every home; at a minimum it must cover 10% of the exterior wall surface area. Stone should be utilized on fireplace masses and at the base of several building masses. The use of stone with a relatively flat surface such as sandstone or quarried mountain stones is strongly encouraged. Rounded alluvial or river rock is permitted; the use of small consistently sized river rock however, is prohibited. The use of large rocks or boulders to visually anchor comers and ground levels of rock walls and fireplaces is encouraged. Similarly, stone must be used to enhance whole building volumes instead of single elevations; stone must wrap around comers and terminate at logical ending points.

**5.25 Stone Wainscoting:** Use of this technique must be broken through variations in height or periodic breaks designed to avoid the appearance of a continued band. Similarly, windows should either be held above the wainscot or integrated into it, not designed immediately on top of it.

**5.26 Type of stone veneer:** This will be critically reviewed by the DRC and it should appear natural and indigenous to the immediate area. Cultured stone is acceptable but discouraged. It must meet the same specifications as natural stone. Specified cultured stone must closely emulate natural stone and will be reviewed by the DRC very closely.

**5.27 Lintels:** Stone must appear to be self-supporting, where it is used above windows, doors or other openings, it must appear to be supported by an appropriately heavy lintel or a structural appearing arch.

**5.28 Lintels and Sills:** In massive walls of stone or stucco, the use of lintel and sills at door and window openings is required. These lintel and sill members are to be detailed and proportioned so as to appear structurally sound. Lintels and sills may be made of timber, logs, cut stone or natural stone.

**5.29 Stucco:** It is to be used sparingly, covering 20% or less of the exterior, and must be used in conjunction with stone and/or wood siding. It must be dark in color, with a light reflectivity of 40% or less, and incorporate frequent control joints and significant textural qualities. When stucco is used it should convey a visual impression of mass by forming eased or rounded corners with deeply set reveals for door and window openings. Stucco shall be finished in earth-tone colors that are compatible with the natural soils and rock of River Valley Ranch.

**5.30 Metal Siding:** Rusted corrugated or similar metal materials may be used as an exterior finish material in sparing quantities not to exceed 15% of the exterior surface area. Galvanized or other reflective surfaces are not permitted.

**5.31 Natural finishes and stains:** These shall be used on the majority of exterior materials. Stains and sealers will protect and enhance the intrinsic qualities of the material to which they are applied. Painted surfaces will only be allowed on window and door trim and on exterior doors.

**5.32 Prohibited Wall Materials:** In general, exterior materials are limited to the previously described materials. The DRC has the discretion to allow the use of non-identified materials provided that they meet the intent of the Guidelines. The following materials, however, are specifically prohibited:

- Plastics
- Concrete, either masonry units, precast or formed
- Plywood or T-111

**5.33 Exterior Trim:** Details are critical to expressing the quality and craftsmanship of a new home. In concert with the overall architectural style, details should be consistent throughout the building. Window and door trim should be scaled such that it can be read from a distance, but not overwhelm adjacent windows and doors. The DRC will review trim details to ensure that they are of sufficient width and depth to compliment the overall architecture of the home. All windows and doors shall be trimmed with nominal four (4) inch wide board and consistent throughout the building. At wood siding, trims will project a minimum of  $\frac{3}{4}$  of an inch in front

of the siding. Functional details such as windows and shutters are encouraged. However, shutters must be proportioned to cover their respective windows.

## **DOORS & WINDOWS**

**5.34 Arrangements:** Doors and windows shall be designed in proportion to the structure and form of the building and should adhere to a traditional rectangular pattern in keeping with the overall design theme. Windows, in general, should be vertically oriented. Horizontal windows and banded windows are subject to review and approval by the DRC when they are determined to be appropriate aesthetically. Vinyl clad windows are prohibited.

**5.35 Large window openings:** These must be composed of multiple windows in order to maintain a smaller scale. Typically, designers surround large unbroken windows chosen to provide unobstructed access to important views with smaller divided windows in traditional patterns. Additionally, windows must be used in logical patterns throughout the home such that they reveal the internal spatial organization of the home and are consistent on all elevations.

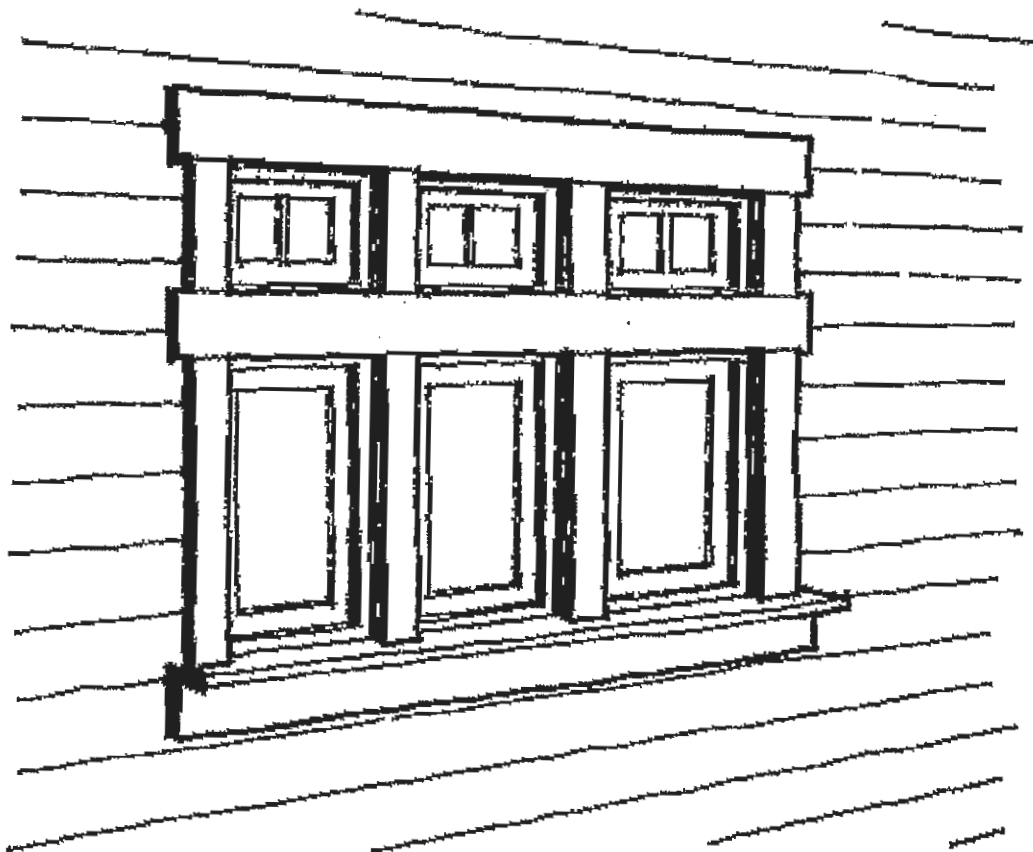
**5.36 Elevations:** All elevations of each home at River Valley Ranch must have sufficient fenestration to create visual interest and to prevent the appearance of blank wall areas. Windows and doors must be balanced such that the majority of openings are not concentrated on single elevations.

**5.37 Windows within wood walls:** These may be used as single opening or in combination to create a transparent wall between well-proportioned timber or log framing. Windows within stucco or masonry walls should be recessed to demonstrate the walls thickness and should appear structurally possible within traditional masonry or stucco construction.

**5.38 Special Window Shapes:** Bay windows may be used. Trapezoid and other unusual shaped windows are not allowed without special exception of the DRC and should only be used in conjunction with divided light windows. Triangular windows are discouraged; where they occur within gable ends must match the angle of the roof and not the interior ceiling form created by a scissors truss. Rectangular windows are encouraged in this condition as an alternative.

**5.39 Recessed Windows:** The surface area of windows must be recessed from the predominant exterior surface of the building. The recessed surface area and the resulting shadow lines help to break up and articulate wall planes to minimize visual monotony, add visual strength to the structure, and give the appearance of substantial wall thickness and durability. Recessed windows also protect and shelter potentially reflective glass, and act as natural climate controls to reduce excessive solar exposure in the summer.

**5.40 Divided Light Windows:** Large expanses of undivided glass will not be approved for building facades visible from off-site. Large openings must be divided through the use of mullions or the ganging of smaller window units. The exterior color of the window frames shall be harmonious with the house color palette; white window frames will not be approved.



Recessed Windows

**5.41 1/3 Divided light windows:** True divided light is required on at least 1/3 of all windows, preferably on the front and rear elevations. Removable clip-in mullions are prohibited. For maximum visual affect, screens shall be located to the interior side of divided light windows.

**5.42 Glass:** Window glass may be coated or tinted to control solar heat gain, but a reflective mirrored appearance is prohibited.

**5.43 Prohibited Window Types:** Sliding windows, horizontal rectangular windows and pop-out windows are not in keeping with the architectural character of River Valley Ranch and will not be approved. In addition, sliding glass doors are generally discouraged in favor of swinging French doors or single light casement doors.

## **GARAGES & DOORS**

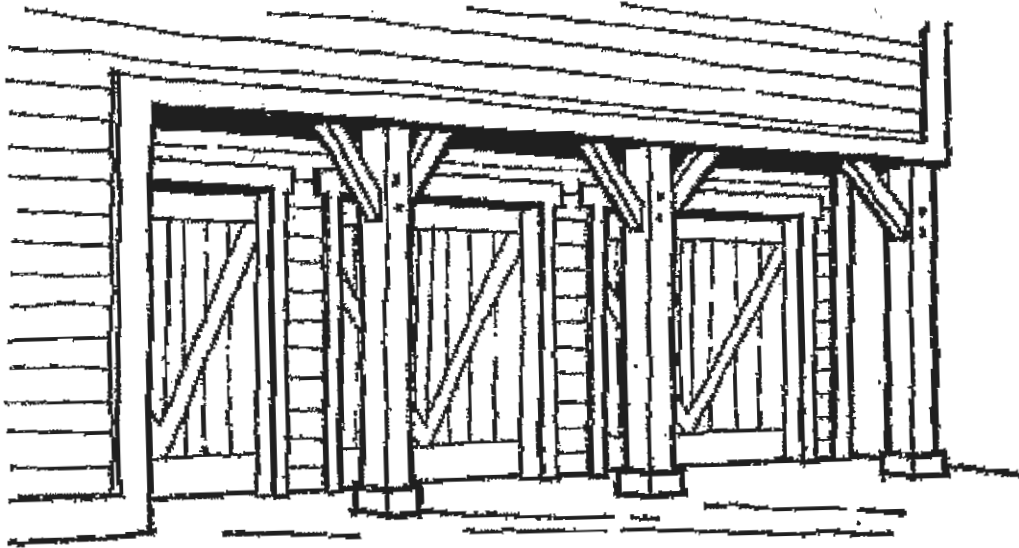
**5.44 Garage Designs:** These should be complementary to the rest of the home such that they maintain the same character. Garages must be subordinate in scale and be proportionate to the rest of the home; while garages may have up to four bays - unless special permission is granted by the DRC for more than four. The number of bays may be limited to less than four if the DRC determines that the scale of the rest of the home is not sufficient to support the larger garage.

**5.45 Garage Doors:** The support walls that separate individual garage doors should be designed so as to emphasize shadow lines on the recessed door surface and to visually break up the continuum of similar construction materials and color. The materials, treatment and color selected for the garage doors must be integrated into the design of the main residence. Single wide garage doors are preferred over double wide doors. Double wide garage doors are allowed if the garage door is designed such that it appears as two doors. The DRC will examine this issue very closely and will require designs to appear as authentic as possible. Additionally, it is required that all garage doors-be deeply recessed.

**5.46 Orientation:** Garage doors must not face the street, unless a determination is made by the DRC and is unavoidable due to homesite configuration. Garage doors shall be oriented to the secondary street on comer lots.

**5.47 Main Entry Door:** The front door of the home, rather than the garage structure, should be designed as the focal point to greet visitors rather than the garage structure; especially main entry doors, which should be designed with great attention to detail in order to create an individual identity for the building. Richly detailed doors are also characteristic of the design theme and must be in keeping with ranch and mountain design. Heavy wood doors are encouraged. Hardware for exterior doors including hinges, latches, handles and pulls should be designed with artistic expression and constructed of materials such as wrought iron, bronze or copper.





**Recessed Garage Doors**

## BALCONIES, PORCHES, STAIRS & RAILINGS

**5.48 Balconies:** Balconies are encouraged. They can be either recessed into the wall mass or projected from exterior walls. When a projected balcony is used, consideration must be given to protection from snow shedding. The underside of projecting balconies must be finished with materials that match or complement exterior wall materials. Supporting structural systems must be visible and appear appropriately massive and must be decorative in nature. Balconies should be sized to individual room functions and should be proportional to the overall building massing. Cantilevered balconies, porches and stairs are prohibited.

**5.49 Railings:** These are subject to specific review by the DRC which is charged with the responsibility to ensure that accepted designs reflect quality and craftsmanship appropriate to River Valley Ranch. In general, they should be light in appearance with a significant portion of the area left open by using narrow pickets or railing patterns. Integrated stone or heavy timber columns are also welcome, particularly when they are extensions of the structural system supporting second-floor balconies. The design of the area below balconies will be subject to DRC scrutiny to ensure that these areas are not too dark or become unusable or unfriendly to landscaping. "Dead" spaces below balconies or porches are not permitted.

**5.50 Stucco Enclosures:** Balconies enclosed with solid stucco walls are prohibited. The use of framing materials for balcony rails is not permitted, but wood or metal railings may be used provided that they are in character with the rest of the Master Design Guidelines. Structural elements in balconies must be sized such that they are appropriately massive.

**5.51 Exterior Stairs:** Exterior stairs of more than half a story are prohibited. The DRC will make special review of such designs before approving them to ensure that the design is in keeping with the standards of quality and aesthetics required by these Guidelines.

**5.52 Decks at Ground Level:** Wood decks on grade are not recommended. However, if used they are required to be skirted, preferably with stone.

**5.53 Chimneys:** They are an important aspect of the architecture at RVR. They must relate in form and material to the design style of the primary structure. Chimneys should be clad with stone with cut stone caps or decorative metal cap. Tapered chimneys are strongly encouraged. Fireplace flues must be enclosed within the chimney and therefore not visible.

## COLORS

**5.54 Earth Tones:** Black, brown, gray, dark green, dark red or natural wood color families are required. Colors must be carefully chosen for their compatibility with the natural environment, their harmony with each other, and the overall aesthetic goals of the Guidelines. Because of the emphasis on natural materials, finishes which complement and enhance the material's intrinsic qualities are encouraged. Colors should complement and blend, rather than contrast with the surrounding natural environment. Colors should generally be recessive; particularly those used for roofs and walls.

**5.55 Accent color:** A minor amount of accent color on trim work may be considered appropriate by the DRC.

**5.56 Sample Board:** This is required for Final Design Review by the DRC. See Appendix D.

## **TEXTURE & DETAILS**

**5.57 Textures:** Textures are to be incorporated throughout a structure in order to create a variety of light and shadows at all scales and eliminate monotony. Building forms are to be complex with setbacks, overhangs, porches, and varied skylines. Walls, roofs and windows are to be made up of clearly defined smaller elements. In consideration of the open environment at River Valley Ranch, all sides of homes are typically visible. Therefore, texture and detail must be rich and varied on all elevations, not just the front and rear elevations.

**5.58 Details:** Richness of architectural detailing including columns, brackets, comers, rafter tails, corbels, eaves, railings, and doors is required. Strength and quality of such details is emphasized. Details should be rugged and substantial in scale relative to the building and its structure.

**5.59 Natural Materials:** These are to appear closer to their natural state rather than manufactured in appearance. Rough, rather than smooth, textural quality materials will more likely meet with DRC approval.

**5.60 DRC Review:** Because this is a particularly subjective requirement, the DRC has the responsibility to act based on the spirit and intent of the Master Design Guidelines as it determines if a proposed design is characterized by an appropriate level of texture and detail. The DRC must be the arbiter that determines the right balance between the poles of austerity and excess.

## **EXTERIOR LIGHT FIXTURES**

**5.61 Minimal Lighting:** In order to maintain a rural character and to preserve views to the night sky, exterior lighting is to be minimized. Lighting should be used to meet the requirements of safety and easy identification of entrances and buildings. Exterior lights should be compatible with the design of the residence. Lights whose sole function is to floodlight a building or its yard will not be permitted. The Town of Carbondale has an Exterior Lighting Ordinance. Owners are responsible for verifying with the Building Department that any exterior lighting meet the requirements of the ordinance, which requires that exterior light fixtures be designed such that the light is downward directed and the light source is fully shielded. As of this writing, the Town of Carbondale Building Inspector interprets "downward directed" to mean that no light can be directed upward and the top of the fixture must be completely opaque. The Inspector interprets "fully shielded" to include opalescent and frosted lenses. The determining factor for these lenses is that the bulb not be visible through the lens when the light is on during daylight; moderate glow is acceptable. Approval by the DRC does not constitute Town approval.

**5.62 Design Character:** Fixtures are to be in character with the architecture at RVR. Decorative lanterns characterized by wrought iron or copper are preferred. Utilitarian fixtures will not be allowed anywhere the fixture is visible.

**5.63 Soffits:** Recessed can lights in exterior soffits cannot be higher than ten feet above exterior grade.

**5.64 Landscape Lighting:** Up lights and flood lights are not permitted. Down lights or path lights may be used to light paths and terraces. Down lights may not be placed higher than five feet from the ground to avoid the appearance of a flood light.

**5.65 Pictorial specifications** for all exterior lights shall be submitted to the DRC before or during the Final Review process. Final approval will not be granted without submission and approval of light fixtures. Any changes must be submitted for review prior to installation.

#### **EXTERIOR EQUIPMENT, UTILITIES, METERS, A/C UNITS, ETC.**

**5.66 Equipment Enclosed or Screened:** Free standing external pad-mounted equipment such as required for A/C units, pools and spas or garbage can storage areas, must be integrated into the building through the use of walled or fenced enclosures, or intensely screened with landscaping materials.

**5.67 Meters and Utility Hook-ups:** Utility meters and hook-ups must be located in the most unobtrusive area possible and then shall be adequately screened from any street on which the Lot or Unit is located and from any neighboring Lot or Unit and the Master Common Areas and Public Parks by structure or landscaping. Their location must be identified during the design submission and review process.

**5.68 Site Utilities:** All site utilities are to be installed underground in alignments that minimize grading, tree clearing, and other physical impacts on the homesite. To the extent possible and with the approval of the utility company, utility boxes are to be located and/or screened so that they are not visible from off-site.

**5.69 Satellite dishes:** Satellite dishes smaller than 18" in diameter are permitted, but their location and proposed screening must be approved by the DRC.

**5.70 Exterior Service Areas:** Outdoor work/storage areas and outside equipment such as mechanical equipment must be completely screened from off-site views by using walls and/or fences and incorporating them into the building design. In addition to screening, garbage can storage areas must also be made inaccessible to wildlife.

**5.71 Irrigation Controls:** These must be located so as to be accessible to maintenance personnel for repair and winterization.

5.71 AMENDED  
Date: 8.27.2014  
Refer to: Seventh Amendment

**All exterior equipment, utilities, meters, air conditioning units and other equipment must be shown on architectural plans.**

## **FIREPLACES & FIRE PITS**

**5.72 Fireplaces:** In accordance with Town of Carbondale ordinances, no wood burning fireplaces are allowed. Interior fireplaces and exterior facing fireplaces which are an integral element of the home are permitted, if gas fired UL labeled and approved by the Town.

**5.73 Site Fire Pits/Exterior Fireplaces:** Fire pits and exterior fireplaces are permitted, but special care must be taken to ensure safety. These must be constructed of fire-proof materials, contain spark arresting screening, and must be surrounded by a minimum circumference of five (5) feet of non-combustible material. Solid fuel sources are discouraged.

## 6. Site Planning & Landscape Design

**6.1 Purpose:** The Landscape Guidelines have been formulated to ensure that the natural beauty of the site is enhanced by the addition of landscape elements within the residential homesites. The native landscape at River Valley Ranch is of a remarkable quality consisting of the profusely vegetated Crystal River corridor, the grassy meadows containing residential neighborhoods and golf, and the scrubby Pinon Pine covered hillsides that form the western backdrop to the community.

**6.2 Recommendations:** The Guidelines contain recommendations for homeowners and builders regarding the installation of landscape architectural elements. The recommendations provide a framework through which the design details of each residence will work together to create a sense of harmony throughout the River Valley Ranch community.

**6.3 Trees, Shrubs and Grasses:** An extensive list of appropriate plant material has been formulated to provide a basis for plant selection compatible with the mountain valley environment of River Valley Ranch. Recommendations for use of herbicides and pesticides are also included with an emphasis on limited applications of these chemicals through appropriate planting, maintenance, and watering practices.

**6.4 General Design Considerations:** Landscape is a major component in the establishment of River Valley Ranch's community image. Homesite Owners should plan on budgeting a minimum of 5% of their construction budget for landscaping. The siting of buildings and the design of the landscape surrounding them is as critical as the architecture of the buildings themselves. The site design and residence must work in unison to create a ranch vernacular of buildings set into an agrarian landscape.

**6.5 Concepts:** The following landscape concepts are recommended to enhance the ranch vernacular:

- Continuity of rolling grasslands.
- Vegetation planted in clusters of like species.
- Vegetation ecosystems created to compliment the adjacent native environment.
- Agrarian patterns of vegetation, such as hedges, wind rows, and orchards.
- Landscape elements used to define spaces and frame views.

**6.6 Building Envelopes and Easements:** Each homesite has a defined building envelope. The building envelope is recorded on the final plat with the Town of Carbondale; it establishes front yard, side yard, and rear yard setbacks. Building envelopes can only be changed by the Town of Carbondale with approval of the DRC. They cannot be altered by River Valley Ranch or the Design Review Committee. The maximum building height has also been established by the zoning process of the Town of Carbondale and is subject to approval of the DRC. These conditions comprise the three-dimensional volume within which all structures must be built.

**6.7 More restrictive site plan:** The Master Design Guidelines and the DRC may set more restrictive provisions than those permitted by zoning. The DRC may establish a more restrictive site plan within a building envelope to preserve a view corridor for example, or to protect a significant land feature.

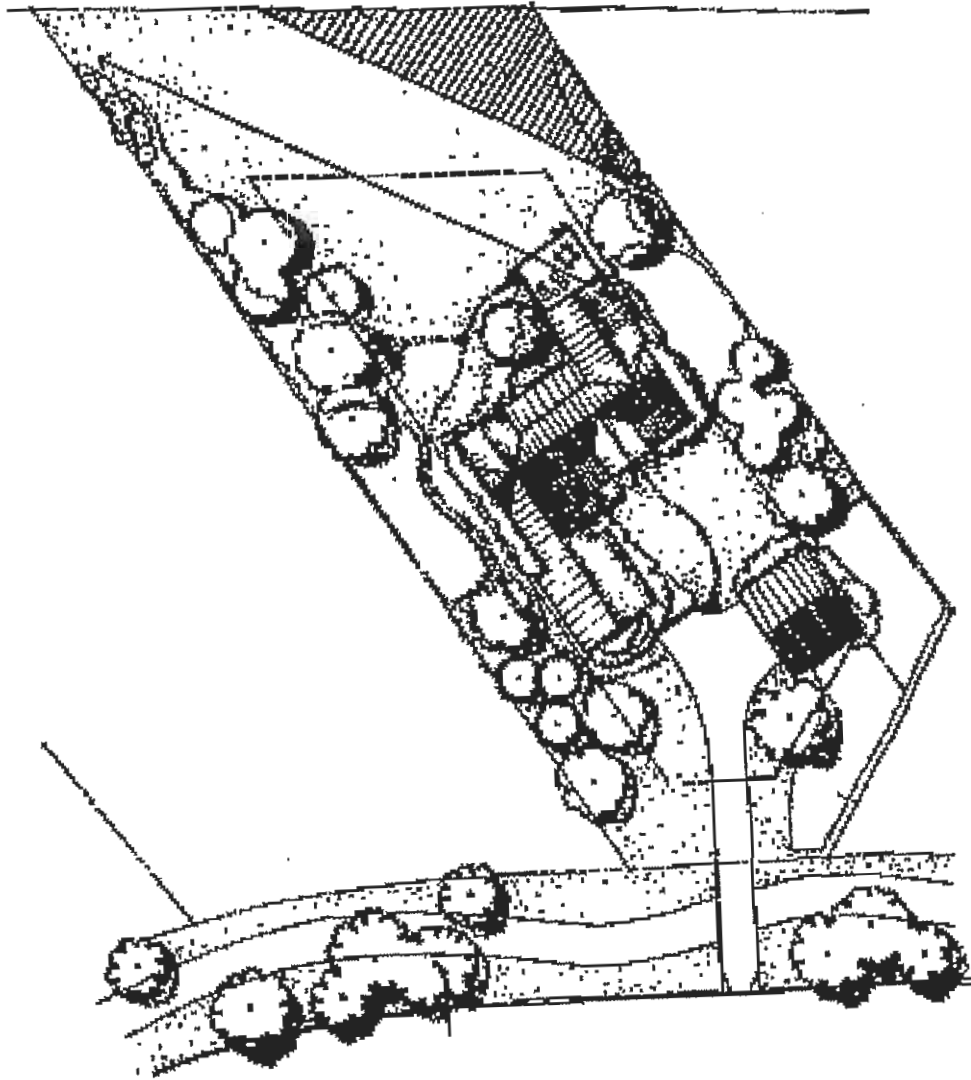
**6.8 Ditch Easement:** Some homesites include ditch easements. The homesite Owner is permitted to fence parallel to, but not across or within the ditch easement.

**6.9 Golf Course Easement:** In some homesites adjacent to the golf course, the site plan establishes a Golf Course Easement. The homesite Owner may not construct or modify any improvements, including walls or fences, in the golf course easement without DRC and golf course operator approval. The golf course operator will maintain the area in the golf course easement at no expense to the homesite Owner. The golf course operator may landscape the area in the golf course easement. The Owner is responsible for a home design that addresses the potential hazards of living adjacent to the golf course.

**6.10 View Corridor Easements:** RVR is located in a spectacular natural setting dominated by views to Mount Sopris, the Crystal River, and the surrounding landforms. In order to preserve views to these features, the DRC has established height restrictions within view easements. Natural elements over fifteen (15) feet at maturity from existing grade may not be placed within the View Easement. Vegetation must be pruned to maintain the height restriction. If the landform is altered within the easement the height shall be determined by measuring from the historic grade or new grade whichever is more restrictive. Owners are responsible to acquire view easement locations for their property from the DRC. Due to building envelopes, homes can be constructed within view easements. In addition, the Town of Carbondale's Solar Access Ordinance dictates the amount of shade landscaping may project from one lot to another. This ordinance is orientation specific. Consideration of this ordinance is highly recommended.

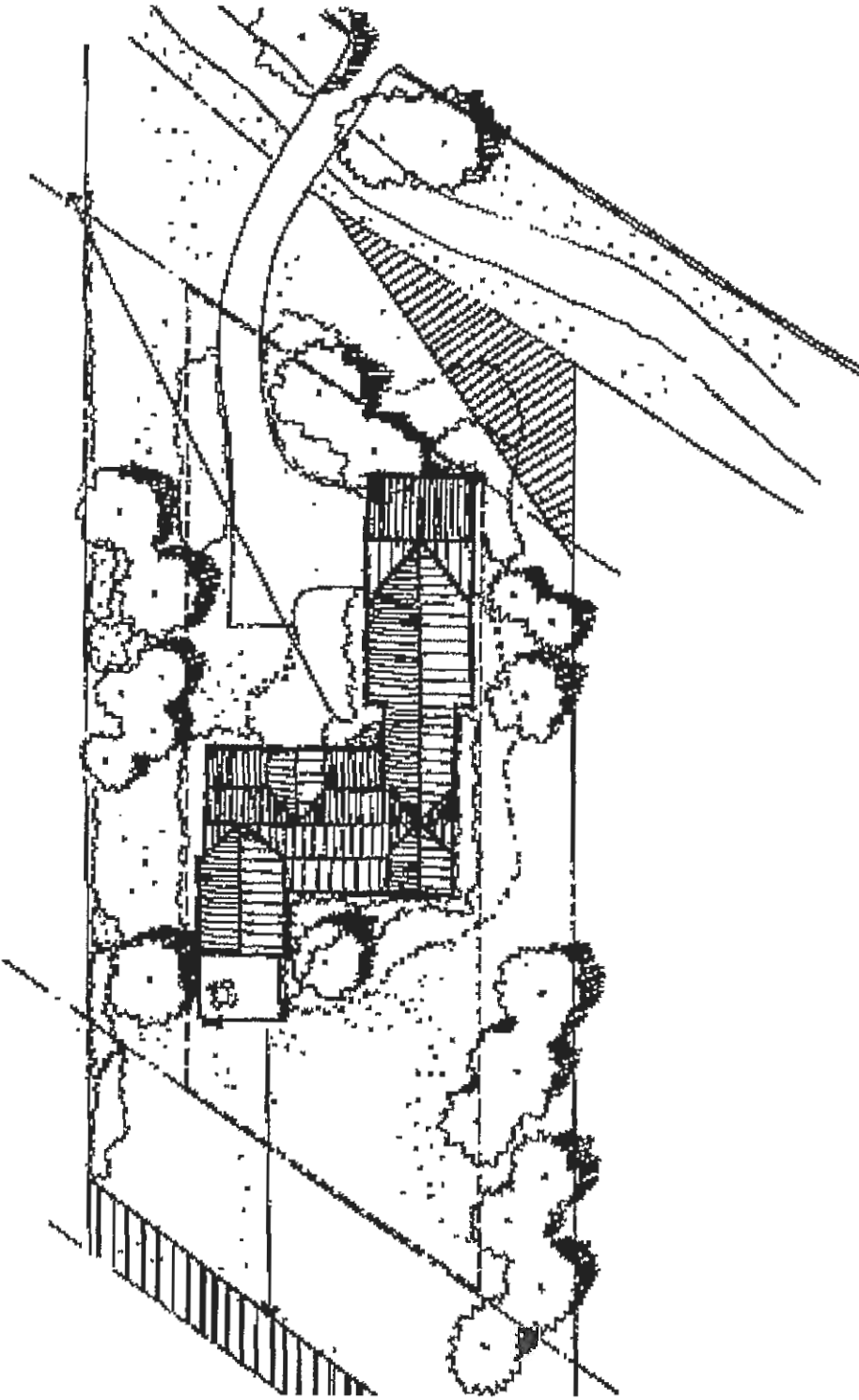
**6.11 Combining Lots:** If an Owner owns two contiguous homesites and wants to combine the homesites into a single homesite with a reconfigured building envelope, the Owner may do so with the consent of the Board. When combining homesites, the DRC must consider that while joining two or more homesites may provide more open space, a relocated building envelope may also have an adverse impact on the views and privacy of other nearby homesites or common areas and therefore may not be approved by the DRC. The plat for the newly configured single homesite must also be approved by the Town of Carbondale and recorded by Garfield County. All expenses associated with recording the new homesite and building envelope and pursuing any required government approvals are the responsibility of the Owner.

**6.12 Site Design:** The site design of each residence shall blend with the overall mountain valley setting of River Valley Ranch. To the extent possible, all landscape improvements should incorporate, rehabilitate, and enhance existing vegetation, utilize indigenous species, and minimize areas of intensive irrigation. All landscape plans should respond to and integrate the landscape designs, grading plans, and plant materials of adjacent residential homesites, community spaces and streetscape.



Typical Homesite with Rear View to Mt. Sopris





Typical Homesite with Front View to Mt. Sopris

**6.13 New plantings:** These must respect view easement restrictions, screen any potentially intrusive uses from view, and help define use areas within the homesite. Replacement of existing materials that have died or deteriorated at the same location and size does not require DRC review.

**6.14 Changes from Approved Plan:** Any substantial change or additions require submission of proposed design drawings and DRC review.

**6.15 Plant Material Selection and Location:** Approved plant materials are summarized in Appendix F. The DRC will carefully review landscape plans to ensure that plant materials are located in appropriate areas and groupings. Plant materials must be indicated on design drawings at mature size so that they will be located neither too close to each other nor too close to buildings, nor impinge on adjacent lots.

**6.16 Grouping:** Materials must be grouped with compatible species with particular attention focused on relative water requirements of different species. All plant materials must be placed in ecologically appropriate areas. Landscaping shall be clumped: dry with dry and wet with wet. Appropriate plant and tree material for a stone ground covering must be provided, these plants must be able to tolerate more marked temperature changes at their roots and be classified as "dry type plant materials". Drip irrigation, appropriate for dry type plants and trees, separate from other zones must be provided.

**6.17 Screening:** Evergreen trees and shrubs should be used where visual screening is an important functional requirement of the landscape. However, care should be exercised in the placement of evergreen trees to avoid compromising the solar access requirements of both the home and adjacent properties. Long term growth and maintenance should also be considered when developing the landscape plan.

**6.18 Other Plants:** The DRC will consider plants not included in Appendix F and may approve their use if they are compatible with the climate and the aesthetic objectives of River Valley Ranch.

**6.19 Mulch and Ground Cover:** Plants as ground cover are not a part of this section. Mulch and Ground Cover used in RVR must be organic and must be definitively shown on landscape plans. Decorative scattered and clumped gravel/stone accents may be approved in natural, tastefully designed, manicured and bark mulch areas. No synthetic or artificial plant materials such as "Astroturf" or imported exotic inorganic materials such as "white rock" or "lava stone" will be approved by the DRC.

**6.20 Gravel/Stone Ground Cover:** The use of gravel and stone as a ground cover is discouraged. Use of limited areas of stone in hard to landscape areas such as drainage problem areas and walkway pathways will more likely be approved rather than broad large expanses. Gravel/Stone ground cover will be reviewed on an individual basis; however, the following guidelines must be met:

- **Lot Coverage.** No more than 3% of the permeable surface square footage of the net Lot area, including requested drip borders around a house, will be approved. The square footage of all "retained native" areas is to be excluded from these calculations. Gravel/Stone square footage calculations shall be provided on landscape plans.
- **Sizes:** 1-5 inches diameter, except walkways/paths where ¼ to 1 inch material may be used.
- **Samples** of proposed material must be submitted and approved prior to installation.
- **Landscape Weed Fabric** must be installed under all gravel/stone areas, prior to placing stone material.

**6.21 Xeriscape:** Professional Designs will be considered as a separate request, but must meet at the minimum requirements, definition and intent of Colorado state law regarding this issue. Rock Mulch and Stone Ground Covering does not a Xeriscape make. Please be very familiar with these strenuous state law requirements before submitting plans.

**6.22 Slopes and Berms, Maximum:** In areas where grading is altered, slopes shall not exceed a rise of 1 foot over a run of 4 feet, ( 4 to 1), except in appropriate, special and hardship conditions, as determined by the DRC. Such graded areas must not affect off-site drainage.

**FRONT, SIDE & BACKYARDS**

**Landscape Planning Areas:** Each residential site can be considered in three zones; front yard, side yards, and back yard. The front yard is the public face of the residence, the side yards define and separate adjacent residences, and the back yard is the private outdoor living space but may also be visible from public spaces such as the Golf Course or parks. Low undulating landforms shall be permitted provided they blend with existing grade, do not exceed a slope of 4 feet horizontally to 1 foot vertically, and do not affect offsite drainage. Play structures and out buildings are not permitted in front yard zone. Native seed areas will be allowed in the side and back yard zones. All seeded areas, shrub beds, and gardens visible from off-site shall be maintained in a clean, weed free condition. Vegetation may not be used to form a wall that hides the residence from the street.

**6.23 AMENDED**  
 Date: 3.20.2014  
 Refer to: Sixth Amendment

**6.23 Front Yards:** This area should provide continuity along the streetscape, compliment the vegetation planted in the Right of Way (ROW) and form a welcoming entrance to the residence. Landscape elements shall be used to enhance the residence's architectural design, soften long expanses of the facade, and screen utilities and parking. Graceful transitions shall be made between lawn/garden spaces and native/xeriscape spaces. Bluegrass sod shall be placed in the front yard along the entire front property line to create continuity between the ROW sod or bike path and the private residence. In certain cases in western neighborhoods where dry land vegetation is naturally predominant, this rule may not be applicable; front yard ground cover in these areas should create an appropriate continuity with the ROW landscaping.

**6.24 Side Yards:** The side yard landscape design should provide privacy and screening between adjacent residences. The DRC will consider long term effects to the Owner's homesite and adjacent properties when evaluating the design. Large stature trees that encroach on

neighboring properties, block views, or create substantial shade may not be approved. Utilities and Service Areas are permitted in the side yard, provided they are screened from offsite view. All seeded areas, shrub beds, and gardens visible from offsite shall be maintained in a clean, weed free condition. Due to the narrow cross section of most side yards, landforms will only be permitted by special review.

Mowed sod that follows the property line is not permitted. The goal is to create a more natural edge of native grasses or planting beds that will blur the hard property lines, reinforcing the sense that River Valley Ranch is a continuous community instead of a collection of homesites. Adjacent property owners have the ability to cross property lines with mowed grass when both parties make their agreement known to the DRC.

**6.25 Back Yards:** Landscape design should provide private outdoor spaces and continuity with adjacent uses such as Golf Course rough, park areas or undisturbed native areas. Landscape elements shall be used to compliment the architecture of the residence especially if the home is visible from public spaces.

Property lines that adjoin public spaces with sod shall have bluegrass sod placed along the entire property line to create continuity between the public space and the private residence. Property lines that adjoin public spaces with native areas shall recreate the native environment along at least 50% of property line to create continuity between the public space and the private residence. All seeded areas, shrub beds and gardens visible from offsite shall be maintained in a clean, weed free condition. Vegetation may not be used to form a wall that hides the residence from the public spaces.

## MINIMUM PLANTING REQUIREMENTS

**6.26 Quantities versus Lot Area:** Each residence is required to plant a minimum of 1.5 trees and 3 shrubs per 1,000 square foot of homesite area, excluding areas designated as Golf Easements but including areas covered by the construction of the home. Within the mix of plant materials, at least 25% of trees and 25% of shrubs specified must meet minimum standards for "larger" trees and shrubs as specified in Appendix F for Approved Plant Materials. The balance of the specified materials must meet minimum standards for "smaller" trees and shrubs. Additionally, 25% of the specified trees must be evergreens.

**6.27 Qualitative Design:** In some cases, Landscape Design Plans will be reviewed on a "Qualitative" instead of a "Quantitative" basis.

**6.28 Planting Requirements in Sage and Pinon Homesites:** Existing native vegetation required to be preserved is subject to reduced minimum planting requirements. The total area of these homesites required for the calculation to determine minimum requirements is reduced by the total area of native vegetation that remains undisturbed.

**6.29 Planting Requirements in The Settlement:** In order to preserve consistency within The Settlement neighborhood on the eastside of the river for both aesthetic and maintenance reasons, a more specific requirement for quantities is described below:

Plant Type	Min. Size	Min.. Quantity
Aspen	1.5" cal.	8
Ornamental Deciduous	1.5" cal.	2
Evergreens	6', 8', 10'	1 each
Shrubs	#5 pot	45
Perennials	#1 pot	75
Cedar Mulch	3" Depth	All Beds

Because The Settlement neighborhood is provided with maintenance services by the RVRMA, any changes or addition to landscaping by home owners is required to be approved by the DRC and may be subject to exemption from the maintenance regimens of the association.

**RIGHT-OF-WAY (ROW) LANDSCAPING**

Generally this area consists of sod, shrubs, and trees planted in clusters along the street. Irrigation systems, sidewalks and paths may also be present in this zone. Owners are not allowed to install or alter landscaping in this area.

**6.30 Damages:** Due to the importance of the ROW landscape features, any damage except damage to the common irrigation system caused to this area by the Owner or Owner's operators shall be repaired by the RVRMA and materials and labor billed to the Owner. See Section 9.19 for procedures regarding damage to Common Area and Right of Way irrigation systems.

**6.31 Notices:** The Owner shall notify the RVRMA of any damage that has occurred to the landscape elements within 24 hours of the occurrence. The disturbance shall be temporarily repaired or made functional within 24 hours and permanently repaired within 2 weeks of the disturbance. Due to the importance of the ROW irrigation system, any damage caused to this system by Owner or Owner's operators shall be reported immediately by the owner to the RVRMA. See **Repair of Damage to Common Irrigation System** below.

**6.32 Right of Way Irrigation:** An underground irrigation system is installed in the street right of way (ROW). This system consists of a 4-inch to 6-inch diameter mainline and electric cables placed approximately 30 inches below grade, a 1 inch to 1.5 inch diameter lateral line placed approximately 12 inches below grade, valve boxes placed at grade, electronic control clocks set above grade, and pop-up irrigation heads placed at grade. Damage caused to any part of the irrigation system jeopardizes the functioning of that irrigation zone and thus affects the health of the streetscape plantings in that area.

**6.33 Repair of Damage to Common Irrigation System:** Because the common irrigation system depends on its integrity in materials and installation, damage done by property owners or

their operators to the common irrigation system will be repaired by the RVRMA and its operators. Property owners are required to reimburse the RVRMA for all of its direct expenses.

**6.34 Fines:** The frequent damage to the common irrigation system and the downstream impacts of allowing dirt and gravel into the lines necessitates a fining system to discourage damaging construction activities. In addition to the responsibility to reimburse the RVRMA for its out-of-pocket expenses, the following fines will also be charged to the property owner:

- \$2000 for each main line break.
- \$1000 for each damaged valve.
- \$500 for each instance of damage to lateral service lines and irrigation heads.

In addition, the cost of repair of any damage to neighboring irrigation systems as a direct result of the original damage will be assessed.

**6.35 Performance and Damage Deposit:** If there are funds remaining in the Performance and Damage Deposit, this account may be debited upon proper notification of the Owner. Otherwise, the property owner will receive a Reimbursement Assessment as defined in Section 10.10 of the Covenants.

## **IRRIGATION vs. DRIVEWAY CONSTRUCTION**

Driveway construction will occur over the existing irrigation system. RVRMA staff or a contractor hired by the RVRMA will meet with the Owner or Owner's Contractor during the Pre-Construction Meeting to help locate the irrigation line and to provide guidance for installation. Any costs associated with this service and charged to the RVRMA will be passed directly to the Owner and collected as stated above.

**6.36 Driveway Location:** The Owner shall locate the driveway to affect as few irrigation heads as possible. Driveways will not be allowed over valve box or control clock locations except by DRC approval. The RVRMA will be responsible for relocating valve boxes and control clocks with the costs to be paid to the RVRMA by the Owner. Any costs associated with this service and charged to the RVRMA will be passed directly to the Owner and collected as stated above.

**6.37 Prior Inspection:** Prior to making a driveway cut, the owner must request a visual inspection by the RVRMA to determine if the cut will affect existing irrigation systems. In the event that irrigation heads are affected by driveway construction, the Owner shall request relocation by the RVRMA and will be responsible for the cost of its relocation.

**6.38 Sleeving:** The Owner is also responsible to place three PVC sleeves under the entire width of the new driveway. Four inch and six inch sleeves must be installed 30" deep, 18" from the curb; an additional 4-inch sleeve is to be installed at a depth of 12 inches below grade immediately adjacent to the curb. This sleeve is necessary to accommodate future repairs or adjustments to the irrigation lateral line.

## **PRIVATE RESIDENCE IRRIGATION**

Each residence is required to install and maintain an underground electrically controlled irrigation system that is connected to the RVR Irrigation Water Company's mainline in the adjacent ROW.

**6.39 Approximate specifications** for the untreated water irrigation system provided are:

- Tap: 3/4" water meter, 3/4" copper stub. An AP wye filter 4E-1B, or an isolation valve.
- Tap Location: Irrigation box set in grade at front property line.

**6.40 Water Pressure:** 40 psi, 8 gallons per minute maximum. Irrigation systems must be designed and operated such that each zone requires a maximum of 8 gallons per minute. If the Owner is found to have installed an irrigation system that exceeds the 8 gallons per minute requirement limitation, they will have 2 weeks to comply with the requirement's limitation. If after 2 weeks, the Owner has not complied with the requirements, the Association will make the required repairs and adjustments at the expense of the Owner.

**6.41 No Guarantee:** The RVRMA does not guarantee these specifications; subsequently the Owner is responsible to verify the conditions in the field.

**6.42 Inspection:** Irrigation system design must be reviewed and approved by the DRC's authorized representative prior to its installation.

**6.43 System Zone Controls:** Zone control boxes must be located in an area accessible to maintenance personnel for repair and winterization purposes.

**6.44 Dry Climate Vegetation:** Due to the dry climate in Colorado, lawn areas, trees, shrubs, and gardens will require permanent irrigation throughout the summer. Native seed areas and xeriscape gardens will require irrigation for the first few years to establish the plant material. Irrigation may be removed from these areas upon establishment of healthy, naturally sustainable plant material.

## **SITE GRADING & DRAINAGE**

Site grading shall be used to provide adequate drainage within the homesite, as well as enhance the aesthetic qualities of the residence. Due to the ranch character of the neighborhood, imposed severe grade changes and steep berms are not permitted. Existing vegetation and site features shall be protected from potential damage from site grading.

Surface drainage shall not drain to adjoining homesites nor open spaces except as established by natural drainage patterns, nor cause a condition that could unnaturally lead to off-site soil erosion on open spaces. Wherever practical, natural drainage courses should be protected and existing drainage patterns maintained. New drainage ways are to be designed to appear and function like

natural drainage ways. Impervious surfaces are to be minimized and excessive cut and fill is discouraged. Grading is not permitted outside the property line.

**6.45 Drainage Plan:** Developing a proper drainage plan will be the responsibility of the Owner. Ensure that when driveways intersect streets that any existing road shoulder drainage patterns are maintained. Any drainage damage that may occur from one homesite to another or common areas because of a change in natural conditions will be the responsibility of the Owner of the homesite that caused the unnatural drainage flow. Approval of a drainage plan by the DRC does not make it liable or responsible to the Owner or others with respect to the adequacy of the engineering or otherwise, but merely implies compliance with the intent of these Guidelines and with design aesthetics. DRC approval does not eliminate or reduce the obligation of the Owner to comply with all legal requirements and be responsible for all damages arising from changes in natural conditions.

**6.46 Grading Requirements:** Grading is to be designed as a combination of cuts, fills, and occasional retaining walls that protect existing vegetation and blend into and/or appear to be extensions of existing natural land forms. Whenever possible, natural slopes are preferable to structures. Retaining walls where visible from off-site, are to be built of rock or stone, and/or treated timber. Structures exceeding four feet in height should be battered and stepped to include ample planting pockets. Slopes should not exceed a slope of four feet horizontally by one foot vertically unless there are extenuating circumstances. Disturbed areas are to be re-vegetated and blended into the surrounding environment.

**6.47 Stockpiling and Removal of Excavated Materials:** Topsoil disturbed by grading operations must be stockpiled within the Construction Area and reused as a part of the site restoration/landscape plan. Excess materials must be removed from RVR unless specific permission is granted by the RVRMA. Homesites identified in the "Sage and Pinon" neighborhoods will require special measures to stockpile materials in a manner least damaging to existing vegetation, possibly requiring materials to be hauled off site in lieu of stockpiling.

## **DRIVEWAYS, VEIDCLE ACCESS**

**6.48 Driveways:** The street scene of River Valley Ranch has been carefully planned to include certain street trees and landscape features. The interruption of this landscape feature can have a significant impact on the appearance and character of a site. Only one driveway entrance will be permitted for each homesite. Lots located at the corner of a collector street, a residential street, or a cul-de-sac, shall have the driveway access from the subordinate street.

**6.49 Alignments:** To ensure minimal visual impact and disturbance, the alignment of residential driveways must generally follow the contours of the land and avoid, to the greatest extent possible, the removal of distinctive site features such as washes or drainage ways, trees, shrubs and irrigation. Where space permits, curving driveway alignments are favored over linear alignments because of their softened visual appearance. Driveways are not to exceed 10% in slope.



6.50 AMENDED  
Date: 3.20.2014  
Refer to: Sixth Amendment

**6.50 Widths:** Maximum driveway widths are limited to 12 feet, except as approved for parking and turn around areas and except as required for onsite parking, turning and flared entries. Flared entries (curb cuts) are limited to 2 feet on each side (16 foot curb cut). Exceptions where conditions with narrow restricted street access may be approved.

**6.51 Turning Radius:** Minimum inside radius of the driveway edge or curb should be determined using architectural graphic standards to accommodate easy egress and exit from garages.

**6.52 Damages:** Any damage done to the landscaping and irrigation in the street right of way that may occur during the construction of the driveway, must be repaired at the Owner's expense. See Fines in Appendix K.

**6.53 Drainage across driveways:** This should be integrated into the design of the drive or apron. Additionally, consideration must be given to the location, orientation and screening capacity of adjacent building envelopes and public areas relative to potential visual impacts from exposed road pavement, headlight glare, traffic disturbance, and general loss of privacy.

**6.54 Paving Materials:** Paving materials should have a primary material. These materials may vary as they relate to individual architecture, but should always maintain a finished, purposeful quality and be of a singular material. These areas shall have a dull, non-reflective surface and color that blend well with the natural surroundings. Concrete, Bomanite concrete, colored exposed aggregate concrete, colored concrete, flagstone, black asphalt, and chip-and-seal are all approved materials. Gravel is not permitted. Feature strips of separate materials and special aggregates in exposed aggregate concrete is encouraged and will be reviewed on a case by case basis.

**6.55 Bike Paths:** Where driveways cross the bike path, the Owner shall maintain the asphalt path surface regardless of their choice of materials for their driveway. The new driveway surface shall be flush with the path. The Owner shall repair any damage done to the bike path at their expense.

**PARKING REQUIREMENTS**

Each single family residence shall include at least two parking spaces in an enclosed garage. The garage may be attached to the residence or detached as a separate building. Except where lot dimensions prohibit, locating the garage towards the rear of the homesite, or turning the garage door away from the street is required to lessen the dominance of garage doors on the street. Additionally, each single family residence shall provide space on-site to accommodate at least two parked cars for guests. These guest parking spaces must be a minimum of 9 feet by 18 feet. Each duplex unit shall include two parking spaces in an enclosed garage plus two additional guest parking spaces per unit. Guest parking may be accommodated with tandem spaces.

Guest parking areas may be constructed from any of the materials that are acceptable as driveways and may be part of the driveway or located on an adjacent area. Turf pavers may also be used as guest parking areas.

**6.56 Location and Prohibited Vehicles:** Parking spaces are to be located behind the face of the residence where the site and the architecture permit. Outdoor parking or storage of boats, trailers, motor homes, buses, campers and trucks over one ton is forbidden.

### FENCES, WALLS & GATES

6.57/6.58 AMENDED

Date: 2.29.17  
Refer to: Ninth Amendment

**6.57 Locations:** In order to preserve a continuous rural character, the DRC will generally prohibit the use of fences, walls or gates along the front property line or within the front yard setback. In addition, on corner homesites, fences, walls or gates will not be allowed along the side yard property line facing the street. The DRC will consider exceptions on a case-by-case basis where the building envelope of a Lot may restrict the placement of a main structure in such a way that the front of the home is not facing the street and/or the area facing the street is the usable recreational space typically reserved for a rear or side yard. Perimeter fences along other side and rear yards are permitted, however, these fences shall be limited to a two or three rail unpainted "corral" fence with a maximum height of 4 feet 6 inches at top of rail. The DRC may approve the addition of a 12 or 14 gauge galvanized wire fencing to the corral fence to provide animal control, however additional landscape screening will be required. In all circumstances, the DRC's primary objective will to preserve a consistent streetscape with the rest of the community, particularly with the neighboring homesites.

**6.58 Retaining walls, privacy fences, or screen walls:** These elements must be a extension of the architectural design of the residence and will be permitted within the building envelope and within the side yards that must not abut streets. They may be built out of wood or stone. They may be used to separate the private areas from the rest of the building envelope and/or as a screening element for parking and service areas otherwise visible from other homesites or public areas. These walls may be used to articulate horizontal and vertical building planes. The standards that shall apply to the use and treatment of site wall are listed below:

6.58 AMENDED

Date: 8.2.2012  
Refer to: Second Amendment

- **Unbroken plane:** No site wall or privacy fence may continue in an unbroken plane for more than 30 linear feet.
- **Uses:** Site walls may not be used to delineate property lines or building envelopes. Site walls are typically used for screening and/or defining outdoor living spaces.
- **Colors** of the walls must be compatible with the residential exterior walls and conform to the same exterior color requirements.
- **Finish To Grade:** Finish materials on all site and building walls must be continued down to finished grade so as to eliminate exposed or unfinished foundation walls.
- **Stone:** When stone is used, the base course of stone must be 1/3 below grade to give the appearance of a true structural wall.
- **Maximum Height:** The objective to minimize site disturbance suggests balanced cut and fill grading solutions, and in turn, reduces the need for tall retaining walls. However, if retaining walls are required, they may not exceed a height of 4' measured from the

lowest natural grade adjacent to the wall. Walls shall be back sloped at 1 to 4 or engineered.

- **Terraced retaining walls** must be offset horizontally by a minimum distance of 3 feet to support viable plant materials in each terrace.

**6.58.1 Deer/Wildlife Fencing:** Fencing temporarily erected for protection of landscape vegetation from deer and elk shall have the following characteristics:

6.58.1 AMENDED  
Date: 9.30.2013  
Refer to: Fourth Amendment

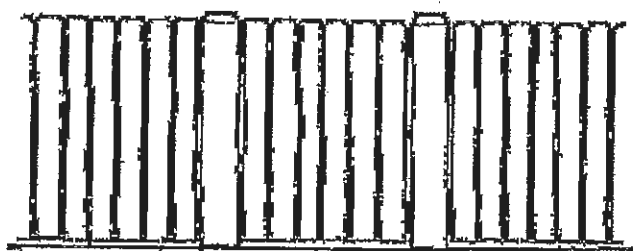
- Maximum height: 7 feet
- Maximum continuous length offence surrounding a group of plants: 200 feet (The maximum area that this will enclose is 2500 sq. ft.)
- Fencing material: 12 or 14 gauge galvanized steel wire fencing is recommended to keep wildlife from reaching low lying branches. However, in areas that may not require a heavy gauge to prevent wildlife from reaching vegetation, such as in areas with planting beds, a light gauge steel fencing (sold locally as "poultry fencing") and fine plastic mesh fencing may be used.
- Color: Brown, black, gray or dark green. Galvanized steel fencing may be painted or left bare.
- Mesh: The mesh shall have at least 94% open area. Mesh made of steel wire or of individual strands of plastic mesh meets this requirement. Stamped plastic mesh used to temporary construction fencing does not.
- Posts: Posts for fencing should be standard metal or wood fencing stakes with a maximum width (or diameter) of 4 inches, and should be of a subdued color as specified above. Wood posts may be left in their natural color.
- Properties larger than .50 acres that have open-rail fencing may erect plastic deer fencing inside of or above the wooden fence. Maximum height is limited to 7 feet. The posts supporting the deer fencing shall not be greater than 2 inches in width. The mesh and posts shall conform to the above requirements in all other respects.
- Allowable time frame: This material may be erected from October 15<sup>th</sup> to April 15<sup>th</sup>. These are general dates as conditions may necessitate extending these dates, which will be at the discretion of the Executive Director. Additionally, those homeowners that live in high traffic areas for wildlife (upper Crystal Canyon Dr. and Perry Ridge) will be allowed to extend this timeframe as conditions warrant, and pending acceptance of the Executive Director.

6.58.1 AMENDED  
Date: 11.1.2012  
Refer to: Third Amendment

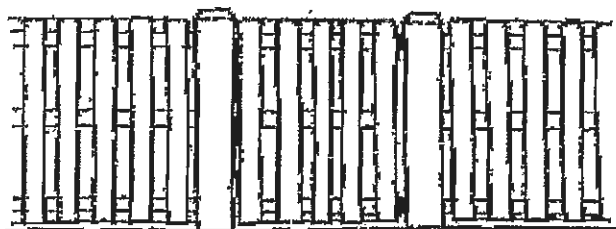
**6.59 Approvals:** All site walls, privacy fences and screen walls must be approved by the DRC. In addition, the Town of Carbondale requires an approval letter from the DRC before a fence permit is issued for construction.

**6.60 Terraces, Paths, Hardscape Areas:** Patios, terraces, paths and outdoor stairs shall transition smoothly between the natural topography and the building. Natural materials such as stone, rock and wood are recommended for these elements. Unless specifically approved by DRC these should be within the building envelope.

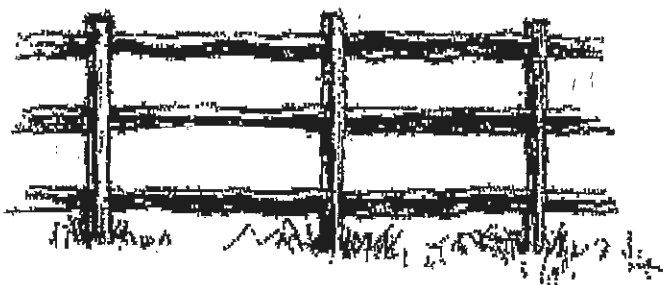
**6.61 Decks at Ground Level:** Wood decks at ground level are not recommended and, if used, are required to be skirted, preferably with stone.



Typical Wooden Privacy Fence Type A



Typical Wooden Privacy Fence Type B



Typical Perimeter Corral Fence

## IMPROVEMENTS, LAWN ORNAMENTS, SCULPTURE, FLAG POLES, STRUCTURES, PLAY STRUCTURES

**6.62 Lawn ornaments and sculpture** must not be placed to be intentionally visible from off site or appear as a highlight of the landscape design. However, they may be permitted in areas adjacent to the residence as a secondary feature for the private enjoyment of the residence. Elements consistent with the ranch vernacular are encouraged. Typically, the DRC will approve those structures that are located behind the front plane of the residence and are not obtrusive to adjacent homesites, the street, or other community amenity areas. Landscape lighting associated with such elements will only be allowed by special review. Owners may submit proposed installation of these elements outside of these areas for special review to the DRC.

**6.63 Flag poles** and similar structures will not be allowed in the landscape. Flags may be hung on structures mounted to the residence provided they do not extend further than 5' from the residence and the flag is not greater than 3'x5'.

**6.64 Landscape Structures, Play Equipment and Outdoor Cooking Facilities:** Structures such as gazebos or sheds and play equipment such as basketball hoops with backboards or jungle gyms are permitted with the approval of the DRC. Play structures and out buildings shall be permitted if sufficiently screened from off-site view. In general, the same guidelines that apply to architecture apply to landscape structures and play equipment. In order to minimize their visual impact, landscape or play structures visible from off-site should be of muted tone natural material such as stained wood. Brightly colored play structures potentially visible from off-site must be effectively screened or they will not be approved.

Outdoor cooking facilities utilizing walls to define the cooking space shall not have a wall exceed 42 inches in height by 8 feet in length if it is outside of the building envelope. In addition, walls must be at least 3 feet off the property line to allow for landscaping. These Improvements will not be permitted within the side-yard setbacks.

**6.65 Hot Tubs, Spas and Swimming Pools** must be located in side or rear yards and be designed to be screened from view and visually connected to the residence through the use of privacy fences, walls, or courtyards. If visible from anywhere off the property, these elements should be color coordinated with the home. All supporting equipment must be screened. Pools, hot tubs, and spas must be constructed and fenced according to all applicable State and local agency regulations.

## SIGNS AND ADDRESS MARKERS

**6.66 Address Markers:** Individual address markers for custom home sites located within front yards should be harmonious with the architectural design of the home, and should not exceed 36 inches in length and 18 inches in height and are subject to approval by the DRC.

6.64 AMENDED

Date: 6.1.2012

Refer to: First Amendment

6.70 AMENDED / Addition  
Date: 1.30.13  
Refer to: Third Amendment

**6.67 Signs:** Signage throughout all neighborhoods at RVR is to be rustic in nature. Job signs, such as those commonly used by contractors, architects, and tradesmen are prohibited. Instead, contractors are required to use the DRC supplied job-site address signs.

**6.68 Realtor Signs:** "Open House" signs will not be permitted within River Valley Ranch except immediately in front of the home and only during the time the house is open to the public; they must be removed at night. Open House signs may not be more than 4 feet in height or width.

**6.69 One "For Sale" or "For Rent" sign** is permitted for each homesite, providing it complies with the standards outlined in Appendix F, Sign Standards. Homesites that back to the golf course are permitted a second sign that faces the golf course.

**No other types of signage are permitted including all types of advertising. Please refer to Section 3.29 of the Covenants for further explanation.**

**TREE REMOVAL**

The removal of existing trees and shrubs on homesites is to be avoided, but must be approved by the DRC, including where necessary to accommodate a new structure. Clearing for view corridors and solar exposure may be considered by the DRC provided it does not increase the visual impacts on adjacent homesites, public spaces, or off-site visibility of the house. Damage and Performance Deposits may be required.

**6.70 Sage and Pinon Homesites:** The majority of custom homesites at RVR are sited within the former pasture land of the original cattle ranch. The neighborhoods in the West side of the community, including The Ridge, The Point, The Overlook, The Pinons, Gamble Oaks and Block GG are, however, situated in areas that are rich with native sage, pinon and other dry land vegetation. In these areas, the guiding principles of the Guidelines are the same, but the application will be different. In these neighborhoods landscaping and construction should disturb as little of this natural vegetation as possible. New landscaping will blend into the native condition. It is particularly important to minimize irrigated areas. Homesites within these neighborhoods may have irrigated lawns and planting beds, but it is required that the landscape transition to the native condition within each homesite, unless adjoining property Owners agree upon a shared scheme.

**6.71 Preservation of Native Vegetation:** This is particularly important where homesites are adjacent to common areas and back to the steep slope at the western edge of the community. At a minimum, 25% of the original vegetation must be preserved unless the owner can demonstrate to the DRC that this requirement cannot be met due to legitimate construction logistic requirements.

Also in these areas, the DRC will be stringent in its review of required staking of foundation plans and flagging of trees and other substantial vegetation to be removed in an effort to ensure that as much native vegetation is preserved as possible. Removal of significant trees will be allowed only under exceptional circumstances.

The transition line from cultivated and irrigated area to wild and dry land must be made with undulating forms. Landscape designers may choose to create an irrigated and manicured area around the home. Xeriscape approaches to the entire site are also welcomed. Within the manicured planting areas of these neighborhoods, plantings that are related both visually and ecologically to the dry land vegetation are required. For example, Bristlecone and other pines and pinons are recommended while Aspens, Cottonwoods, Dogwoods and similar wet-root deciduous trees will require special review and exception from the DRC and will be favored only in natural depressions or similarly wet areas. Because the natural vegetation patterns change from homesite to homesite in these neighborhoods, the DRC will have great latitude in determining if a landscape design is appropriate for the context of the particular homesite.

## LANDSCAPE DESIGN GUIDELINES FOR SPECIFIC NEIGHBORHOODS

### **Block A, the Settlement; Block B – Sopris View; Block F-Old Town**

This revised Guideline applies to both new construction and renovation of existing site and landscape improvements in Blocks A, B, and F. See Section 3, *Neighborhoods-Special Requirements* - of the River Valley Ranch Design Guidelines for additional architectural and site requirements for these blocks.

Though each Block is defined by distinctly separate architectural character, lot shape/size, and landscape, the overall approach to the development or renovation of Front, Side, and Rear Yard landscape design is similar. The lots are generally long and narrow, with small front yards, narrow side yards, and private/enclosed back yards. As a result, the focus of the landscape should be on smaller species of plants than may be appropriate on the Custom Homesites.

#### **Intent & Character:**

The following sections outline the general approach to Front, Side, and Rear Yard landscapes. The DRC will review new installation and renovation applications on a case-by-case basis. Removal/renovation applications must be accompanied by graphic plans, specific plant species and locations, and comprehensive photography of the existing landscape. This does not apply to perennial or annual flowers contained within planting beds. Photos of adjacent properties are required per Appendix C of these Guidelines but may be limited to adjoining lots. All new construction must comply fully with the submittal requirements listed in Appendix C. As in other areas of River Valley Ranch, there will be no requirements to protect Sopris views, however the DRC does encourage neighbor to neighbor cooperation.

**Front Yards:** In each of the three Blocks, the front yards are intended to present a continuous, cohesive streetscape. The streetscapes are characterized by regularly-spaced (though not always evenly-spaced) street trees in turf lawn, with planting beds (typically referred to as "foundation plantings") along the front porch/entry. It is also common to continue this foundation planting along a portion of the front entry walk or driveway. Landscape proposals for the Front Yard zones will be reviewed on the basis of the number and species of plants, specifically as they relate to mature size and anticipated maintenance requirements. Species that will, at maturity, obscure front porches/doors, overhang/encroach neighboring properties, or simply will become too large for the scale of their location will be prohibited by the DRC. The DRC encourages homeowners to propose the replacement of overgrown/inappropriate species. Revisions to Front Yard landscapes in Blocks with common landscape maintenance will also be reviewed on the basis of complexity of maintenance and impact to common irrigation systems.

**Side Yards:** The narrow side yards of each of the three Blocks significantly limits the appropriate level and density of landscape installation. Side yard landscape should be



limited to small shrubs and groundcovers as needed to screen utilities. Solutions that result in a shared landscape between adjacent lots are encouraged. Trees in side yards will only be permitted by special review. See "Front Yards" for information regarding removal of inappropriately large species.

**Rear Yards:** The Rear Yards in Blocks A, B, and F provide the greatest freedom in terms of species selection and plant density. Larger species of trees and shrubs may be proposed in rear yards, and will be reviewed on the basis of potential impact to neighboring parcels and landscapes. In particular, the DRC will not permit large species to be placed on the property lines. The DRC will place emphasis on considerations of privacy issues, for any required changes to irrigation, egress for landscape contractors (in the case of Block A), and impacts that may affect the Town of Carbondale Solar Access Code.

**Large species:** Large species of deciduous and evergreen trees and shrubs are prohibited unless expressly permitted by the DRC. Examples of large trees & shrubs include (but are not limited to) Colorado Blue Spruce, Ponderosa Pine, Linden, Ash, Honeylocust, Cottonwood, Hackberry, Lilac, Serviceberry, Willow. It is important to note that there are varieties of many of the above listed species that have limited mature size and may be appropriate. The applicant must understand the size and growth habit of the species proposed. Per these guidelines, plants must be drawn at full size (typically accepted to be 2/3 of the maximum size listed for the plant); inclusion of size information for each species will speed the review process.

**Sample plant list:** The following plant list is a guide to some of the plant material that is acceptable in different applications within Blocks A, B, and F. Please note that not all species will be appropriate in all locations. The applicant must provide sufficient information to the DRC to review the appropriateness of each species and location.

Rosa x 'Adelaide Headless'	Semi-Double Red Shrub Rose	2-4' x 2-4'
Rosa x Bonica	Double Light Pink Shrub Rose	3-4' x 3-4'
Rosa x 'Cuthbert Grant'	Double Dark Red Shrub Rose	2-3' x 3-4'
Rosa x 'Iceberg'	Double White Shrub Rose	2-3' x 18-24"
Rosa x Meidi/and Pink	Single Pink Shrub Rose	3-4' x 2-3'
Rosa x Meidi/and Red	Single Red Shrub Rose	3-4' x 2-3'
Rosa x 'Morden Sunrise'	Orange Shrub Rose	20-30" x 2-3'
Rosa x 'Nearly Wild'	Single Pink Shrub Rose	2-3' x 2-3'
Rosa x 'Fairy'	Double Pink Shrub Rose	2-3' x 2-3'
Rosa x Winnipeg Parks'	Bright Red Shrub Rose	1-2' x 1-2'
Rosa x Ivory Carpet	Double White Shrub Rose	18-24" x 18-24"
Spirea sp.	Spirea	2-3' x 2-3'
Symphoricarpos oreophilus	Mountain Snowberry	2'-4' x 2-4'
Symphoricarpos x doorenbosii Marlene	Pink Snowberry	3-4' x 2-3'
Viburnum dentatum Blue Muffin	Blue Muffin Arrowwood Viburnum	3-5' x 3-4'
Viburnum opulus 'Nanum'	Dwarf European Cranberrybush	1-2' x 1-2'

### Evergreen Trees

Juniperus chinensis 'Blue Point'	Blue Point Juniper	8-10' x 6-8'
Juniperus chinensis 'Spartan'	Spartan Juniper	15-20' x 4-6'
Juniperus scopulorum 'Cologreen'	Cologreen Juniper	15-20' x 4-6'
Juniperus scopulorum 'Gray Gleam'	Gray Gleam Juniper	12-15' x 4-6'
Juniperus scopulorum 'Medora'	Medora Juniper	15-20' x 3-5'
Juniperus scopulorum 'Skyrocket'	Skyrocket juniper	15-20' x 2-3'
Juniperus scopulorum 'Wichita Blue'	Wichita Blue Juniper	15-20' x 4-6'
Juniperus virginiana 'Cupressifolia'	Hillspire Juniper	15-20' x 4-6'
Picea abies 'Cianbrassiliana Stricta'	Dwarf Norway Spruce	10-12' x 4-5'
Picea abies 'Hillside Upright'	Hillside Spruce	10-12' x 4-5'
Picea abies 'Mucronata'	Mucronata Norway Spruce	10-12' x 4-5'
Picea glauca 'Conica'	Dwarf Alberta Spruce	5-7' x 2-3'
Picea glauca 'North Star'	Compact White Spruce	10-15' x 5-7'
Pinus bungeana 'Compacta'	Lacebark Compact Pine	15-25' x 10-15'
Pinus cembra	Compact Swiss Stone Pine	25-35' x 15-18'
Pinus edulis	Pinon Pine	20-30' x 10-20'
Pinus heldreichii	Bosnian Pine Bosnian	15-25' x 10-12'
Pinus leucodermis 'Iseli Fastigiata'	Pine Tannenbaum Mugo	15-25' x 6-8'
Pinus mugo 'Tannenbaum'	Pine Dwarf Scotch Pine	10-15' x 6-8'
Pinus sylvestris 'Giobosa Viridis'		8-10' x 3-4'

### Evergreen Shrubs

Juniperus chinensis 'Armstrogii'	Armstrong Juniper	3-4' x 3-4'
Juniperus communis Alpine Carpet	Alpine Carpet Juniper	8-10" x 3-4'
Juniperus communis 'Effusa'	Effusa Common Juniper	18-24" x 4-6'
Juniperus squamata 'Blue Star'	Blue Star Juniper	15-18" x 2-3'
Picea abies 'Eiegans'	Spreading norway Spruce	3-4' x 3-6'
Picea abies 'Nidiformis'	Bird's Nest Spruce	3-4' x 3-6'
Picea pungens 'Globe'	Dwarf Globe Green Spruce	2-3' x 2-3'
Pinus cembra 'Nana'	Dwarf Swiss Stone Pine	5-8' x 3-5'
Pinus contorta 'Spaan's Dwarf'	Compact Lodgepole Pine	2-3' x 2-3'
Pinus mugo 'Mops'	Miniature Mugo Pine	2-3' x 2-3'

Pinus mugo 'White Bud'  
Pinus strobus 'Blue Shag'

White Bud Mugo Pine  
Dwarf Blue Eastern White Pine

2-3' x 3-4'  
3-4' x 3-4'

## 7. Design Review Process

**7.1 Purpose of Design Review Process:** This section provides a guide to the design review process for the River Valley Ranch community. The process involves a series of meetings between the Owner, their design professionals and the DRC. It begins with an informal introductory meeting and concludes with the completion of construction. Along the way are a series of meetings, or check points, designed to ensure a smooth and efficient review of the new home design or improvements to an existing home. The DRC is committed to assisting Owners through the design review process. As opposed to a "regulatory review agency", the DRC should be thought of as a member of the Owner's design team. See Section 4.9 of the Covenants: Submission of Plans, Specifications and Data.

**7.2 Design Review Process:** While the DRC and staff work hard to provide a smooth and friendly review process, it will however, be strong in its enforcement of these Guidelines and the realization of their authority and intent. Applicants are asked to share the same positive approach in working with the DRC and to be sympathetic to the difficulty of the committee's task. This is particularly important in the process of discussing attributes of proposed designs that the DRC feels need to be changed in order to achieve the quality and spirit of RVR.

**7.3 Before submitting plans.** For any DRC Design Review, the Owner or their representative is required to meet with the RVRMA Executive Director or Administrator for the DRC to obtain a copy of the current Master Design Guidelines, which will also be available via the RVRMA website.

**7.4 Submittals for Improvements:** Submittals will be carefully reviewed by the DRC to ensure that the design is compatible with both RVR as a whole, and to the particular homesite. This design review process must be followed for any of the following improvements:

- **Construction of all new buildings.**
- **Exteriors:** The renovation, expansion or refinishing of the exterior of existing buildings including repainting with a different color as previously approved by the DRC.
- **Site and/or landscape improvements** that are major, except for replacement of plant species similar to those previously approved by the DRC.

**7.5 Interpretations of Guidelines:** The DRC evaluates proposals on the basis of the Master Design Guidelines. Most of the Guidelines outlined in this document are written as relatively broad standards and the interpretation of these standards is left up to the discretion of the DRC. Some of the standards contained herein are absolute design parameters and it is the responsibility of the DRC and the Owner's professional designers to ensure that improvements comply with these absolute standards.

**7.6 Interpretations by DRC:** By their nature, these guidelines are largely subjective. The DRC has broad capacity to interpret both qualitative and quantitative requirements to ensure that the intent of the guidelines is realized in architecture of homes at RVR. The DRC is charged with

7.4 AMENDED  
Date: June 1, 2012  
Refer to: First Amendment

7.7 AMENDED  
Date: 2.24.2014  
Refer to: Fifth Amendment

the preservation of quality and value of homes and property at RVR and takes its responsibility seriously.

7.7 Meetings, Fees and Inspections: The design review process allows for four (4) one-half hour meetings with the DRC. If the applicant exceeds the allowable time with the DRC, including review of changes and unapproved construction, additional fees for time will be assessed. The Design Review Fee also includes six (6) construction inspections: site/utility location, top of foundation, framing, final architectural, final landscape and final irrigation. If additional inspections are necessary, additional fees for time will be assessed.

7.8 Steps: The Design Review Process involves:

- Pre-Submission Conference
- Preliminary Design Reviews
- Final Design Review
- Pre-construction Conference
- Inspections during Construction

7.9 Design Review Submittals: Any "Improvement" will require and must be preceded by the submission per Appendix C and D which includes Checklists of Required Submittals.

Incomplete Submittals will not be accepted for review by the DRC, at their discretion.

7.10 Professionals: It is required that the Owner retain competent assistance from an architect, surveyor licensed in Colorado, and a landscape professional. All plans submitted for DRC Final Approval shall be stamped and signed by the Architect. A Lot topographical survey shall be signed and stamped by the surveyor. Additional assistance from other licensed design professionals such as a civil engineer is also recommended. The Owners and their consultant(s) should also carefully review the Covenants as well as these Guidelines, prior to commencing the design review process.

7.11 Town of Carbondale: Having secured final design approval from the DRC, the Owner will also have to meet all requirements of the Town of Carbondale to obtain a building permit.

7.12 Town of Carbondale Water and Sewer Tap Fees: The Town of Carbondale required the original developer of RVR to pre-purchase all anticipated EQR's for sewer and water tap fees at RVR. Therefore, EQR's may be available from the RVRMA at a discount. Please contact the RVRMA Executive Director or DRC Administrator to determine availability.

7.13 Pre-Submission Conference: This is a required meeting between the RVRMA Executive Director or DRC Administrator and the architect and/or Owner that is held prior to the submission of any design materials. The purpose of the meeting is to review the design and construction process in a friendly atmosphere, while reinforcing the importance of enforcement of Master Design Guidelines and the rules regarding the construction process. This meeting is required to take place prior to the submission of design materials for Preliminary Design Review. The

RVRMA will respond as quickly as possible to requests for a Pre-Submission Conference, but may require up to (10) business days to schedule the meeting.

**7.14 Meeting Agendas:** To be placed on a DRC agenda, Complete Submittal Packages are required a minimum of two (2) working days in advance of the regularly scheduled meeting. In the event that there is no regularly scheduled meeting, the DRC will notify the Owner of the date of the meeting, which is to be held within 3 weeks of the submission. The DRC is required by the Covenants to respond within 45 days of receipt of the submittal materials, but it will make every attempt to provide a response within 15 days of each review meeting. Owners and architects are welcome, but not required to participate in the meeting. The DRC normally meets privately immediately prior to inviting the Owner or their representative to join the discussion. DRC response and Owner participation remain consistent at all other stages of the review process. The design review fee allows for 120 minutes of DRC review whether the applicant or a representative of the applicant is present or not. Meeting agendas allow pre-determined time allotments determined by the DRC Administrator. Multiple Preliminary Design Reviews may be necessary depending upon the design and at the discretion of the DRC.

**7.15 Argumentative or Combative Applicants:** If in the event, at any point in the process, the applicant or their representative, in the view of the DRC, becomes argumentative or combative, the DRC reserves the right to defer the discussions to a later meeting, with the option that the DRC seek the participation of the Executive Board in particularly difficult cases.

## **PRELIMINARY DESIGN REVIEW**

See Preliminary Design Reviews Checklist of Required Submittals in Appendix C.

**7.16 Design Review Request Form:** Submitting of all required materials together with the Fee for Design Review will initiate the process. This preliminary step in the review process is intended to avert wasted time and professional fees that result from pursuing a design solution which is in conflict with the standards contained in these Guidelines.

See Design Review Request Form in Appendix H.

See Design Review Fees in Appendix K.

**7.17 Staking on Lot:** This is required to show the location of corners of the proposed buildings and all other major improvements upon submittal of the required materials. Any trees proposed to be removed and/or protected must also be properly tagged.

**7.18 Preliminary Design Review Meeting(s):** This meeting or meetings are designed to review drawings, massing model and photographs of neighboring properties to ensure that the Conceptual Design for the home adheres to the Guidelines. Owners and architects are encouraged not to submit fully developed plans and specifications in order to avoid the additional expense of making changes to designs that are more fully developed. See Preliminary Design Reviews Checklist of Required Submittals in Appendix C.

**7.19 Summary Letter:** The DRC will provide a written summary of the findings of the DRC within 15 days. Additional review meetings may be necessary to review corrected and/or new materials.

**7.20 Six Month Delay:** Within six-months after the initial Preliminary Design Review meeting, the Owner must initiate the Final Design Review process by submitting a Design Review Request Form together with the required final documents. Should more than six months lapse between the preliminary and final submission, the DRC may require the owner to resubmit for preliminary review.

## **FINAL DESIGN REVIEW**

See Final Design Review Checklist of Required Submittals in Appendix D.

See Design Review Request Form in Appendix H.

**7.21 Finalization and Refinement of Submittals:** In the Final Design Review meeting(s), the Owner/architect should deliver fully developed design drawings that address any concerns identified in the Preliminary Design Review. All submission requirements and material Sample Board is required for final approval. A revision to the original massing model is generally not required in reviews subsequent to the Preliminary Review, unless requested by the DRC. In situations where significant changes are required during the Preliminary Reviews, the DRC may reasonably encourage an interim submittal prior to a Final Review, to make sure that the redesign is on the right track before proceeding to completed documents.

**7.22 Final Design Review Meeting(s):** Incomplete submittals and issues that violate the Guidelines and/or Covenants will require additional review meetings until corrected and for any new materials.

**7.23 Final Design Approval, Summary Letter:** The DRC will provide a written summary of the findings of the DRC within 15 days. Additional review meetings may be necessary to review corrected and/or new materials.

**7.24 Precedents:** Final design approval is site specific, and should not be construed to establish precedent for other sites.

**7.25 Disapprovals and Re-submittal of Plans:** If the decision of the DRC is to disapprove the submission, the DRC will provide the Owner with a written statement of the basis for such disapproval to assist the Owner in modifying or redesigning the project so as to obtain the approval of the DRC. An additional design review fee may be required for each resubmission as required by the DRC. See Section 4.11 of the Covenants: Criteria for Approval or Disapproval.

**7.26 Term of Approval:** Final approval is valid for one year. Should more than a year lapse, the Owner must resubmit for approval and pay the necessary re-submission fees. If necessary, the DRC can require that the process be started at the beginning.

**7.27 Conformance of Improvements:** Any "Improvements" by Owners must conform to approved plans. Therefore, the final approval of a proposed design constitutes an agreement with the RVRMA that the proposed home or modification be consistent with the approved plans and specifications. See Section 4.18 of the Covenants: Improvements Must Conform to Approvals.

**7.28 Subsequent Changes:** Additional construction, landscaping or other changes in the Improvements that differ from the approved final design documents must be submitted in writing to the DRC for review and approval prior to making changes.

**7.29 Changes after Approval:** The DRC understands that the construction process ultimately results in either a need or desire to make a change from the approved drawings. It is required that the DRC review and approve proposed changes to final approved plans and will welcome the opportunity to review proposed changes before they happen. In the event a change is desired, the owner, builder or architect must first contact the Executive Director to inform of the proposed change and submit the proposed changes in a graphic form including applicable photographs. The DRC will work in a reasonable manner to respond to a request for change as quickly as possible, but the review process will remain consistent with the aforementioned Guidelines.

**7.30 Fines Levied:** Fines may be imposed if changes are made without prior written approval of the DRC. See Appendix H. These fines may be deducted from any remaining balance of the Damage and Performance Deposit after notice of the Owner as required, or through a Reimbursement Assessment as described in Section 10.10 of the Covenants.

**7.31 Variances are Discouraged:** The RVRMA Executive Board highly discourages requests for Variances. However, it encourages Owners to work with the DRC to resolve disputed issues and to help bring a Project into compliance with the Guidelines.

**7.32 Variances:** In the event a variance is requested by the Owner, the DRC will only review the request as required under the Covenants. If the DRC agrees that such variance is warranted, the Committee will submit, in writing, the variance requested, the reasons for such variance, and the unique circumstances under which the variance should be allowed. The request shall be signed by the majority of the DRC members and shall be submitted to the Board for final action as described in Section 4.19 of the Covenants.

**7.33 Appeals Procedure:** The Owner has the right to appeal decisions made by the DRC. The Owner can initiate such an appeal procedure by submitting in writing a document stating the reason for the appeal. The Executive Director will set a hearing date for the Board to review the appeal and notify the Owner of such date. The Owner or representative must be present at the hearing to review the appeal. The Board will render a decision at a scheduled meeting and provide the reasons for denying or approving the appeal in writing within fifteen (15) days of the meeting.

**7.34 Building Permits:** The Owner may apply for all applicable building permits from the Town of Carbondale only after receiving Final Design Approval from the DRC.



**7.35 Pre-Construction Meeting:** See Appendix J and K. The Contractor and the Owner (possible) participate in the Pre-Construction Conference with the RVRMA Executive Director, DRC Administrator, Facilities Manager, and Irrigation Maintenance Contractor. The Design Guidelines, Construction and Builder Regulations, including the Fine Schedule are reviewed during this meeting to ensure that the Owner and Builder understand the policies contained in the Guidelines and the RVRMA's ability to enforce them. Particular emphasis is placed on the importance of requesting approval for potential changes to the design. A written summary of important highlights is provided at the meeting and the Owner is copied by mail if not able to participate in person. The RVRMA will respond as quickly as possible to requests for a Pre-Construction Conference, but may require as many as 10 business days to schedule the meeting.

**7.36 Enforcement of Approved Design:** The final approval of a design submission an agreement between the homeowner's association and the property owner that the property owner will construct the proposed home consistent with the design documents approved by the DRC. The following policy was adopted to provide a process for the DRC and RVRMA staff to use to prevent conflicts and to respond to property owners who do not build according to approved plans in a consistent and reasonable manner. See Section 4.18 of the Covenants: Improvements Must Conform to Approvals.

**7.37 Inspections:** These will be performed by a DRC representative and Inspection Reports filed with the DRC Administrator, as described in Chapter 9: Construction & Builder Regulations.

**7.38 Inspections of Work-in-Progress:** During construction, the DRC or its representative has the right to inspect construction to ensure compliance with approved documents. Inspections may occur at any time without prior approval of the Owner. If changes or alterations are discovered which have not been approved, the DRC will send a letter to the Owner identifying the changes and ask the Owner to explain. See Section 4.16 of the Covenants: Right to Inspect.

**7.39 Inspection Reports:** The DRC administrator reviews reports to determine if any concerns need to be addressed by the DRC. If a report is favorable, the DRC administrator sends a note of appreciation with a copy of report to the Builder. If a report is not favorable, the DRC reviews the report in its next meeting if determined to be necessary by the DRC Administrator.

**7.40 Unapproved Changes:** If the DRC determines that any changes made by the Builder are not in keeping with the Guidelines, a letter is sent to the Builder and Owner with a copy of the inspection report notifying the builder and/or owner that specific changes from the approved plans are not in keeping with the Guidelines. The builder and/or owner must submit to the DRC an alternative plan to bring the design into compliance with the Guidelines within one week. Proposed revisions must be submitted graphically and is subject to normal review by the DRC.

**7.41 Stop Work Order:** If the Builder or Owner fails to submit a proposed revision within required time frame, the DRC will issue a stop work order which if violated, will be subject to a daily fine levied for each day work continues without resolution with the DRC of the unapproved construction. The Owner has the right to appeal the decision of the DRC to the Executive Board.

7.40 AMENDED  
Date: 6.1.2012  
Refer to: First Amendment

**7.42 Fines Levied:** Fines may be imposed where changes are made without advance approval of the DRC. Fines can be doubled for repeat violators. See Appendix K.

**7.43 Curative Work:** If the builder or owner refuse to submit a proposed revision or refuse to make changes per the DRC's request, the DRC will recommend to the Executive Board that it use its powers as outlined in Sections 4.15 through 4.18 which gives both the DRC and the Executive Board the capacity to enter the property and cure noncompliant Improvements. Any cost associated with such curative action shall fall on the Owner as described in Section 4.17 (c) of the Covenants.

**7.44 Schedule of Design Reviews and Inspections:** The DRC will make every reasonable effort to comply with the time schedule for development review outlined below. However the DRC will not be liable for delays that are caused by circumstances beyond its control. See Appendices C, D, H, and I for necessary checklists and forms. The DRC will provide design review according to the following schedule. If all required materials as described in Appendices C and D are not submitted, the DRC will not be responsible to meet these requirements.

- **Pre-Submission Meeting:** Scheduled within fourteen (14) days of receipt of written request.
- **Preliminary Design Review(s):** Application documents to be submitted at least two (2) days prior to the next scheduled DRC meeting. Written comments from the DRC meeting shall be provided to Builder/Owner within fifteen (15) days.
- **Final Design Review(s):** Application documents must be submitted two (2) days prior to the next scheduled DRC meeting, and within six months after Preliminary Design Review. Written comments from the DRC meeting and/or written notice of Final Design Approval shall be provided to Owner within fifteen (15) days.
- **Pre-construction Meeting:** Scheduled within fourteen (14) days of written request.
- **Construction Inspections:** Performed periodically throughout process per Chapter 9. Final inspection within twenty-one (21) days of receipt of written request for Certificate of Compliance.
- **Certificate of Compliance:** DRC Approval shall be issued within twenty-one (21) days of a favorable inspection.

**7.45 Fees for Design Reviews:** In order to defray the expense of reviewing plans and related data, and to compensate any consulting architects, landscape architects, and other professionals, the Covenants establish submission fees payable each time an Application is made to the DRC.

**7.46 New Construction:** See Appendix K.

**7.47 Remodel:** See Appendix K.

**7.48 Resubmissions:**

- If one-year has lapsed since the previous submission (or) since approval was granted by the DRC, the applicant must restart the process and is subject to the full Application Fee.

- If the application proves to be particularly difficult and requires more than four one-half (1/2) hour reviews, the DRC will require additional fees, roughly equivalent to the cost of the additional required process, billed at fifteen (15) minute increments.

**7.49 Damage and Performance Deposit:** This must be deposited with the DRC prior to the commencement of any work on-site. The Damage and Performance Deposit will be used to reimburse for DRC time involving unapproved changes and to cure damages incurred during construction. If the amount of the Damage and Performance Deposit drops below \$10,000 then the Owner will be notified and required to replenish the Deposit fund before continuing construction. See Sections 4.14 and 4.18 of the Covenants. See Appendix K.

**7.50 Certificate of Compliance and Return of Damage Deposit:** When the Owner has completed whatever work is required to satisfy the DRC, the Certificate of Compliance is sent and the balance of the Performance and Damage Deposit is refunded, less any outstanding charges for DCR review fees, repairs of damages and expenses incurred by RVRMA to repair damage of common irrigation systems or other common property or adjacent properties. See Section 4.17 of the Covenants. See Appendix K.

**7.51 Non-Liability:** Neither the DRC nor any member or employee will be liable to any party for any action, or failure to act with respect to any matter if such action or failure to act was in good faith and without malice.

7.51 AMENDED  
Date: 6. 1. 2012  
Refer to: First Amendment

## **8. Design Review Committee (DRC): Organization, Duties, Responsibilities & Authority**

**8.1 DRC Membership:** The DRC shall consist of a minimum of three (3) members, each of whom shall either be an Owner of a Lot or Unit in the Common Interest Community, or a local architect, landscape architect, builder or engineer. All members of the DRC shall be appointed and removed from time to time by the Board. Any member of the DRC may resign from the DRC at any time upon written notice stating the effective date of the member's resignation. Any member may be removed at any time by the Executive Board with or without cause. Subject to the three (3) member minimum, the Board may increase or decrease the size of the DRC from time to time in its discretion.

**8.2 Interpretations by DRC:** By their nature, these Guidelines are largely subjective. The DRC has broad capacity to interpret both qualitative and quantitative requirements to ensure that the intent of the guidelines is realized in architecture of homes at RVR. The DRC is charged with the preservation of quality and value of homes and property at RVR.

**8.3 Functions of the DRC:** The principal functions of the DRC are as follows:

- To consider and act upon such proposals or plans submitted to it in accordance with the Design Review Process described in these Guidelines.
- To amend the Guidelines as deemed appropriate, with final approval of amendments contingent upon the Executive Board's concurrence.
- To perform any duties assigned to it by the RVRMA as set forth in this document and the Covenants.

**8.4 Administrative Assistant:** The Executive Board may hire or appoint an administrative assistant for the DRC, and shall provide appropriate compensation for any such services. The DRC shall have the right to establish one or more sub-committees to perform one or more of the functions of the DRC.

**8.5 DRC Meetings:** The DRC will meet bi-monthly or as needed to perform its duties. A quorum shall consist of three (3) members. The DRC's actions on matters will be by a majority vote. If one of those members is associated with an application that member shall abstain from voting and such project may only be approved upon agreement of the other members present.

**8.6 E-mail Actions:** Any action required to be taken by the Committee may be taken without a meeting, if consent in writing or by E-mail, setting forth the action so taken is signed by a majority of the Committee members.

**8.7 Records of Actions:** The DRC's Administrative assistant will keep and maintain a record of all actions taken by it, and report in writing to the Executive Board all final actions taken by the

DRC. The powers of the DRC relating to design review will be in addition to requirements imposed by the Town of Carbondale.

**8.8 Compensation:** The Executive Board has the right to set compensation for DRC Members. Professional consultants retained by the DRC to assist them in carrying out their responsibilities may be paid such compensation as the Board determines appropriate.

**8.9 Amendments of Design Guidelines:** The DRC may recommend adopting, and/or repealing, by majority vote, any changes to be incorporated into or amendments to the Guidelines which, among other things, interpret, supplement or implement the provisions of the Guidelines. All such changes will be appended to and made a part of the Guidelines, provided that they are ratified by the RVRMA Executive Board.

**8.10 Current Revised Design Guidelines:** Each Owner is responsible for obtaining from the DRC a copy of the most recently revised Design Guidelines. These are available via the RVRMA website, delivered via email or produced in hard copy for a fee.

**8.11 Non-Liability:** Provided that DRC members act in good faith and without malice, neither the DRC nor any member will be liable to the RVRMA, any Owner or any other person for any damage, loss or prejudice suffered or claimed on account of:

- Approving or disapproving any plans, specifications and other materials, whether or not defective;
- Constructing or performing any work, whether or not pursuant to approved plans, specifications and other materials;
- The development or manner of development of any land within River Valley Ranch;
- Executing and recording a form of approval or disapproval, whether or not the facts stated therein are correct; and/or;
- Performing any other function pursuant to provisions of the Guidelines and/or the Covenants.

**8.12 Master Declaration of Protective Covenants, Article 4** contains additional requirements regarding the DRC and its activities, responsibilities and authority.

## 9. Construction & Builder Regulations, Inspections and Changes

**9.1 Introduction:** To assure that the construction of any Improvements on a homesite will occur in a safe and timely manner and without damaging the natural landscape or common improvements of RVR or disrupting residents or guests, these regulations will be enforced during the construction period. The Contractor and Owner must sign the Pre-Construction check-list, which acknowledges that the Owner and his Contractors have read and will comply with the most recent copy of the Guidelines prior to commencement of work.

**9.2 Storage of Materials and Equipment:** The storage of materials and equipment on the Lot is prohibited until completion of the Pre-Construction Meeting and authorization to begin construction.

**9.3 Commencement of Construction:** Construction will not begin until:

- **Final Plan Approvals** have been issued from the DRC
- **Building permit** has been obtained from the Town of Carbondale
- **Damage and Performance Deposit** has been placed with the RVRMA. See Appendix K.
- **Adjacent Lot Use Permission** form completed and signed with the neighboring Owner, if necessary. See Appendix I.
- **Construction area plan** approved by the RVRMA.
- **Pre-Construction Meeting:** Prior to commencing construction, the Builder/Contractor must meet with an authorized representative of the DRC or Executive Director to review the Pre-Construction Checklist, approved Final Plans, the Construction Area Plan and the Construction Regulations. At this meeting the Builder/Contractor or Owner must have available a copy of the Building Permit issued by the Town of Carbondale.
- **Construction** shall begin within 15 days or as reasonably agree upon in writing by the Executive Director after the Pre-Construction Conference.

**9.4 Construction Area:** Prior to the commencement of any construction activity the Builder/Contractor will provide the DRC with a detailed plan of the proposed "construction area" showing the area in which all construction activities will be confined, and how the remaining portions of the homesite will be protected. The construction area is required to be fenced with green mesh construction fencing or other material approved by the DRC that must be maintained in good upright condition throughout the construction period. Orange fencing is prohibited. The permanent driveway cut must be identified at the beginning of construction and construction fencing used to limit all vehicular access to the future driveway.

9-4 AMENDED  
Date: 4.22.2015  
Refer to: Eighth Amendment

9-4 AMENDED  
Date: 3.20.2014  
Refer to: Sixth Amendment

**9.5 Native vegetation:** In Sage & Pinon areas with existing native vegetation, DRC will require that the Contractor limit the construction area in such a manner as to impact as little of the native vegetation as possible.

**9.6 Storage and parking areas:** The Owner or Owner's Contractor will the location and size of the construction material storage and parking areas, and the locations of the chemical toilet, temporary trailer structures, dumpster, debris storage, utility trenching, and the limits of excavation. Additionally, silt darns are required where conditions merit their use to prevent the loss of soil into waterways or onto adjacent property. Silt fences, where required, must be secured by burial of a minimum of 12 inches.

**9.7 Access to Construction Areas:** Access to the construction site for all will be limited to the route established by the DRC prior to the commencement of any construction activity. Usually the identified route is the future driveway. Prior to the installation of the permanent driveway materials, contractors are required to use road base or large aggregate gravel (2" minimum) on the access route. The larger aggregate tends to reduce the amount of mud and other debris carried into the streets and thereby reduces the Owners liability for clean-up. If the identified access route is violated or not maintained with gravel or superior surfaces, the DRC may seek curative measures as described in Section 4.17 of the Covenants

**9.8 Vehicles and Parking Areas:** Parking for construction personnel vehicles machinery other than within the DRC approved construction area on-site, will occur only in specific areas designated by the DRC so as to minimize damage to the existing landscape and adjacent properties. Any approved on-street parking must be limited to one side of the street, thereby allowing the smooth flow of normal vehicular traffic. Construction crews will not be permitted to park on adjacent homesites without written approval from the homesite Owner that is forwarded to and recorded by the DRC or any other unapproved areas.

**9.9 Storage of Materials and Equipment:** All construction materials, and vehicles must be stored within the fenced boundary of the DRC approved construction area and outside any tree protection fencing located within the approved construction area. Equipment and machinery is to be stored on-site only while needed for activities specific to the homesite. Builders may not use vacant adjacent lots for storage without permission and a completed Adjacent Lot Use Permission Form submitted to the DRC from the affected lot Owner. Such storage areas must also be fenced and access routes to the property must be approved by the RVRMA. See Appendix I for forms.

**9.10 Construction Period and Phasing:** Construction must be completed within 24 months of the date of final approval of the planned Improvements by the DRC. Construction can be phased, but the primary component of the home must be completed first. Accessory Dwelling Units may not be constructed in advance of the main house.

**9.11 Construction Activity Times:** The time of construction will be limited to the period from 7:00AM until 7:00PM Monday through Friday, 8:00AM until 6:00 PM on Saturdays. Town of Carbondale regulations prohibit construction activity on certain national holidays or on Sundays.

**9.12 Construction Trailers, Sanitary Facilities and Temporary Structures:** Owner or Builder/Contractor who wants to bring a construction trailer or the like to River Valley Ranch must obtain written approval from the DRC. The DRC will work closely with the Builder to locate the trailer in the best possible location in order to minimize impacts to the site and to adjacent homesite Owners. Sanitary facilities must be provided for construction personnel on-site in a location approved by the DRC. The facility must be facing the interior of the lot, away from the street, and is not allowed within the Right-of-Way. It must be maintained in such a manner to prevent it from becoming foul smelling or unsightly. All such facilities must be removed from the homesite prior to issuance of a Certificate of Compliance and may not remain on the site subsequent to substantial completion of the home or homes for which it is being used. Temporary living quarters for the Owner, Builder/Contractor or their employees will not be permitted.

**9.13 Signs:** Architects, contractors, and sub-contractors will not be permitted to display any signs on any homesites within River Valley Ranch.

**9.14 Debris and Trash Removal:** Builders/Contractors must clean up all trash debris on the construction site at the end of each day. Trash and debris must be removed from each construction site whenever the trash receptacle has become full or poses a threat of allowing trash to blow way. Lightweight material, packaging, and other items, must be covered to prevent wind from blowing such materials off the construction site. Builder/Contractors are prohibited from dumping, burying or burning trash on the Lot or elsewhere in RVR.

**9.15 Clean Up and Eyesore Appearance:** During the construction period, construction site must be kept neat and tidy to prevent it from becoming a public eyesore or affecting adjacent homesites. Dirt, mud or debris resulting from activity on each construction site must be promptly removed from roads, open spaces, and driveways or other portions of River Valley Ranch. Any clean-up costs incurred by the DRC or the RVRMA in enforcing these requirements will be billed to the Owner, and payable to the RVRMA per Section 4.17 of the Covenants.



**9.16 Excavation, Grading and Tree Protection:** The Builder/Contractor will take extreme care during excavation to assure that trees not authorized for removal are not damaged. All trees remaining within an approved construction area must be properly tagged and protected prior to the commencement of any grading operations. Every effort must be made to reduce compaction and/or disturbance within the drip line of all trees located within and outside of the fenced approved Construction Area.

**9.17 Dust and Erosion Control:** Blowing dust resulting from grading operations must be controlled by watering. During construction, erosion must be minimized on exposed cut and/or fill slopes through proper soil stabilization, water control and re-vegetation. The Builder is responsible for the implementation of all erosion control techniques as may be required by State or local agencies. Grading operations may be suspended by the DRC during periods of heavy rains or high winds.

**9.18 Damage Repair and Restoration During Construction:** Damage and scarring to other property including open space, adjacent homesites, roads, driveways, and/or other improvements will not be permitted. If any such damage occurs, it must be repaired or restored promptly at the expense of the Owner of the homesite. See Fines in Appendix K for special requirements for the repair of common irrigation systems. Upon completion of construction, each Owner and Builder will be responsible for cleaning up the construction site and the repair of all property which was damaged including, but not limited to restoring grades, planting shrubs and trees as approved or required by the DRC, and repair of streets, driveways, pathways, drains, culverts, ditches, signs, lighting and fencing, but not including common irrigation systems. Any property repair costs as mentioned above, incurred by the DRC or the RVRMA will be billed to the Owner. Failure to remedy damage as directed by the DRC will result in the cost of the damage repair being deducted from the Damage and Performance Deposit. See Fines in Appendix K.

**9.19 Damage to Right of Way Landscaping:** Due to the importance of the Right of Way (ROW) landscape features, any damage except damage to the common irrigation system caused to this area by the Owner or Owner's Contractors shall be repaired in a timely fashion by the Owner utilizing materials and construction techniques to match existing landscape elements. See Appendix K for procedures regarding damage to irrigation systems in Common Areas and Right of Ways. The Owner shall notify the RVRMA of any damage that has occurred to the landscape elements within 24 hours of the occurrence. The disturbance shall be temporarily repaired or made functional within 24 hours and permanently repaired within 10 days of the disturbance. If damage to the landscape elements is not repaired within 10 days, the RVRMA shall perform the repairs and subsequently charge the Owner for all costs incurred.

**9.20 Damage to Common Irrigation System:** Because the long term effective operation of the common irrigation system in the ROW's and Limited Common Assessment areas depends on its coherence in materials and installation, damage done by property owners or their operators to the common irrigation system will be repaired by the RVRMA and its operators. Owners are required to reimburse the RVRMA for all of its direct expenses. Frequent damage to the common irrigation system and the downstream impacts of allowing dirt and gravel into the lines necessitates a fining system to discourage sloppy construction activities.

**9.21 Driveway Construction:** New driveway construction will occur over the existing irrigation system. The Owner or Builder shall locate the driveway to effect as few irrigation heads as possible. Driveways will not be allowed over valve box or control clock locations, except by DRC approval. The RVRMA will be responsible for relocating valve boxes and control clocks with costs to be paid for by the Owner.

**9.22 Irrigation Sleeves:** Prior to making a driveway cut, the Owner or Builder must request a visual inspection by the RVRMA to determine if the cut will affect existing irrigation systems. In the event that irrigation heads are affected by driveway construction, the Owner or Builder shall request relocation by the RVRMA and will be responsible for the cost of its relocation. The Owner or Builder is also responsible to place three (3) PVC sleeves under the entire width of the new driveway. Four-inch (4") and 6" sleeves must be installed 30" deep and 18" from the curb. An additional 4" sleeve is to be installed at a depth of 12" below grade, immediately adjacent to the curb. This sleeve is necessary to accommodate future repairs or adjustments to the irrigation lateral line.

**9.23 RVRMA Inspections:** In addition to the building inspections required by the Town of Carbondale, the following inspections must be scheduled with the DRC and the RVRMA:

- **Site Inspection** which will include the staking within the fenced, Construction Area, all comers of proposed buildings, the driveway, extent of grading, protected vegetation must be staked, together with the locations of any temporary buildings. This inspection must be completed prior to any site clearing or disturbance of existing grade.
- **Foundation Inspection** including top elevation and floors versus benchmark in street.
- **Framing Inspection** will be scheduled as soon as the building is "framed in", and before any siding or roofing material is installed.
- **Final Inspection** - This inspection must be done prior to any application to the Town of Carbondale for a Certificate of Occupancy.
- **Landscaping Inspection** shall be performed as part of the Final Inspection. In the event that seasonal restrictions prohibit the completion of the landscape installation

concurrent with the completion of the home, scheduling of completion must be made and agreed to in writing with the Executive Director. A portion of the Damage and Performance Deposit may be withheld pending completion, inspection and approval of the landscape installation.

- **Irrigation Inspection** shall be performed as part of the Final Inspection to determine that the irrigation as installed conforms to approved plans.

Additionally, the DRC will be doing on-going frequent informal inspections with the intent to catch any problems or violations before they become "built-in".

**9.24 Pets:** All pets belonging to construction personnel must be kept within vehicles or leashed at all times while within RVR. They must not be a nuisance to or threaten any persons.

**9.25 Security:** Precautions at the construction site may include temporary fencing approved by the DRC. Security lights are prohibited with the exception of those activated by motion detectors. Audible alarms and guard animals will not be permitted.

**9.26 Noise:** Builder/Contractors will make every effort to keep noise to a minimum. Radio sound will be kept at a low level to minimize disturbance to neighbors and wildlife.

## APPENDIX A Definitions and Abbreviations

Unless the context otherwise specifies or requires, the following words or phrases when used in these Design Guidelines shall have the following meanings.

**Architect:** A person licensed to practice architecture in the United States of America.

**Landscape Professional:** Preferably a licensed landscape architect or an individual or entity recognized as a professional in the field of landscape design and installation.

**RVR:** River Valley Ranch

**RVRMA:** River Valley Ranch Master Association. The RVRMA is a Colorado non-profit corporation, the members of which shall be the Owners of homesites within RVR, their successors and assigns.

**Board:** The term "Board" shall mean the Executive Board of the RVRMA, its governing body.

**Builder/Contractor:** A person or entity engaged by an Owner for the purpose of constructing any Improvement within RVR. The Builder/Contractor and Owner may be the same person or entity.

**Building Envelope:** That portion of any homesite, designated as a Building Envelope on the Final Plat, and within which the construction of buildings and accessory and appurtenant structures and improvements is permitted. Horizontal improvements may be developed outside of the Building Envelope, i.e. swimming pools, decks, fencing, playground equipment, provided they receive prior DRC approval and are in compliance with the Town of Carbondale requirements.

**Construction:** Any new construction or remodel of an existing building, facility or property improvement which will require the issuance of a building permit or staging of construction materials and parking of vehicles by construction employees.

**Covenants:** The Amended and Restated Master Declaration of Protective Covenants for River Valley Ranch Plus Amendments.

**DRC:** Design Review Committee. The Committee appointed as provided in the Covenants to review and either approve or disapprove proposals and/or plans and specifications for the construction, exterior additions, landscaping, or changes and alterations within RVR.

**Excavation:** Any disturbance of the surface of the land (except to the extent reasonably necessary for planting of approved vegetation), including any trenching which results in the removal of earth, rock, or other substance from a depth of more than 12 inches below the natural surface of the land or any grading of the surface.

**Fill:** Any addition of earth, rock, or other materials to the surface of the land, which increases the natural elevation of such surface.

**Final Plat:** The recorded final Subdivision plat or parcel map for any portion of RVR.

**Improvement:** Any improvements, structural or otherwise, alterations, additions, repairs, excavation, grading, landscaping or other work which in any way alter any property within the Common Interest Community, or the improvements located thereon, from its natural or improved state existing on the date this Master Declaration or a Supplemental Declaration for such property was first Recorded, including, but not limited to, dwelling units, buildings, outbuildings, additions, swimming pools, patio covers, awnings, the painting or other change of any exterior surfaces of any visible structure, walkways, outdoor sculptures or artwork, sprinkler or irrigation systems, garages, carports, roads, driveways, parking areas, ponds, ditches, fences, screening walls, retaining walls, stairs, decks, flag poles, fixtures, landscaping (including the addition, alteration or removal of any tree, shrub or other vegetation), hedges, windbreaks, plantings, planted trees and shrubs, gardens, poles, signs, tanks, solar equipment, wind harnessing or other energy generating equipment, exterior air conditioning, water softener fixtures, utilities, antennae and satellite dishes or receivers. Once an Improvement has been constructed or accomplished on a property within the Common Interest Community, any subsequent alteration of or addition to or removal of that Improvement shall *also* constitute an "Improvement" hereunder. See Section 2.25 of the Covenants.

**Guidelines:** The restrictions, review procedures, and construction regulations adopted and enforced by the Design Review Committee (DRC) as set forth in this document and as amended by the Design Review Committee. These Design Guidelines are the "Master Design Guidelines" and "Master Development Guidelines" referred to in the Covenants for RVR.

**Homesite:** The term "homesite" shall be any parcel of land depicted as a homesite or lot on a final plat.

**Owner:** The term Owner shall mean the recorded owner of any homesite or homesites as shown on the official records of the Clerk and Recorder of Garfield County, Colorado. The Owner may act through an agent provided that such agent is authorized in writing to act in such capacity. Such agent is commonly the Owner's Contractor(s) or Builder(s).

**Residence:** The building or buildings, including any garage or other accessory building, used for residential purposes constructed on a homesite, and any improvements constructed in connection therewith.

**ROW:** Right-of-Way. The streets & frontages including bike paths extending to the front and/or side property line.

## **APPENDIX B           Covenants Affecting Design Guidelines**

2.5 Application for Certificate of Compliance

2.9 Building Envelope

2.25 Improvements

2.34 Master Development Guidelines

3.1 Master Development Control

3.5 New Construction Required; No Temporary Buildings or Occupancy

3.6 Building Envelopes

3.7 Master Development Guidelines

3.8 Annoying Light, Sound or Odor

3.9 Noxious or Offensive Activities; Nuisances; Construction Activities; Pesticides

3.10 No Hazardous or Unsafe Activities

3.11 Outside Burning; Fire Hazards

3.14 No Unsightliness; Clothes Drying; Sporting Equipment; Children's Recreational Equipment

3.18 Equipment, Tanks, Antennae, Satellite Dishes, Etc.

3.20 Excavations

3.23 Fencing and Gates

3.24 Tree and Natural Shrub Preservation

3.26 Landscaping

3.27 Basketball Goals; Tennis Courts

3.28 Swimming Pools, Spas, and Related Equipment

3.29 Signs and Advertising

3.36 Right of Entry

3.37 Damage by Owners During Construction

3.41 Implementation and Variances

#### **ARTICLE 4 DEVELOPMENT REVIEW COMMITTEE**

4.1 Establishment of Development Review Committee

4.3 Meetings and Action of Committee

4.6 Master Development Guidelines

4.7 Design Review Fee

4.8 Pre-submission Conference

4.9 Submission of Plans, Specifications and Data

4.11 Criteria for Approval or Disapproval

4.12 Decisions of Committee

4.14 Damage and Performance Deposit by Owner

4.15 Prosecution and Completion of Work After Approval

4.16 Right to Inspect

4.17 Certificate of Compliance; Inspection of Work; Correction of Defects

4.18 Improvements Must Conform to Approvals

4.19 Committee Power to Grant Variances

4.21 Reconstruction of Master Common Areas

4.23 Enforcement

12.3 Air Quality Restrictions

13.7 Golf Land Hazards, Risks and Liabilities: Disclosure, Assumption of Risk, Release and Indemnification

## APPENDIX C Preliminary Design Reviews / Checklist of Required Submittals

**NOTICE:** To be placed on a Meeting Agenda for a Design Review, a Complete Submission Package is required. Complete submission packages promote a seamless, efficient and effective the Design Review process. Please refer to the following to avoid delays:

- **Common Submittal Problems:** "Hot Buttons", Omissions and Violations, See Chapter 2.
- **Design Review Request Form** (See Appendix H)
- **Design Review Fee** check payable to the RVRMA. (See Appendix K)
- **Licensed Architect and Landscape Professional** identified (or) letter of commitment.

### Required Submittal Materials (2 copies, one to be retained by DRC)

**Location Map:** Showing streets, this lot amongst others in this Block and vicinity.

- **Survey:** 1"= 20' scale, stamped and signed by a licensed Surveyor, State of Colorado. Include adjacent street, bike path, existing contour lines at 1' intervals. Extend lines 15' beyond property.
- **Site, Landscape and Grading Plans:** 1"= 20' scale, conceptual to be refined for subsequent Final Design Review:
  - Property lines, street curbs, bike-walk paths, building envelope, buildings, development setbacks, construction area, easements and other restrictions on property, including view easement, if any.
  - Existing grading contour lines at one (1) foot intervals. Blend and link proposed contours with existing and adjacent lots. Beyond property lines, show contour lines up to 15' to show impacts on existing off site grades.
  - Grading contour lines, drainage improvements, drainage swales, area drains, dry wells and other grading features. Generally no drainage onto neighboring lots.
  - Building footprint with finished floor grades related to spot elevation at street, patios, decks, driveway, parking, turn-around, temporary construction fences, wood fences, retaining walls, and any other site improvements.
  - Material of all hardscape surfaces, including color if appropriate.
  - Other natural and topographical features identified that affect the use of the Lot area, together with any other pertinent information.
  - Existing trees in ROW with identification and any trees to be removed.
  - Existing vegetation in public spaces adjacent to property up to 20' from property line.
  - Existing vegetation materials to be protected and to be removed with tagged identification.



- o Improvements: Trees, shrubs, irrigated areas, ornamental plantings, xeriscape planting, mulch areas, gravel areas, lawns and native grass areas, terraces, driveway, pool, spa, fences, fire pit and others.
  - o Air handlers, utilities and other mechanical equipment.
  - o Trees and shrubs shown at "mature sizes.
  - o Landscaping vegetation clearly depicted and labeled on plan.
  - o Tabulation of lot area vs. required trees and shrubs.
  - o Provide plant list of trees and shrubs, sizes, quantities and calculations, and botanical names. For approved trees and shrubs and minimum size requirements. See Appendix F.
  - o Utility connections including fire hydrants, sewer, water, telephone, cable television, electrical service and landscape irrigation. Identify utility meters, shut-off valves and pedestals within the Lot and in street ROW.
- **Schematic Floor Plans:**  $\frac{1}{4}'' = 1'$  scale, include finish floor levels related to finish grades, and spot elevation in Street. Show calculation 2nd floor vs. main floor, including garage and covered outdoor elements.
  - **Schematic Roof Plan:**  $\frac{1}{4}'' = 1'$  scale, include pitches and slope arrows.
  - **Schematic Elevations:**  $\frac{1}{4}'' = 1'$  scale, include roof heights, existing and finish
  - **Label elevations:** North, East, etc. and exterior materials.
  - **Windows:** divided lights and swings.
  - **Model, Massing Study:** Simple massing study model at  $\frac{1}{8}''$  scale. Not expensively detailed, but simply adequate to communicate basic 3-dimensional concepts. Include topography from street to rear property line, with finish contour intervals of 1' to 2' to show how the house "fits into" the terrain and drainage. If practical, include entire site.
  - **Photographs** of adjacent built homes and empty Lots, to proposed project, including two homes on either side. Show front and rear from an angle.
  - **Staking:** All proposed buildings and other site amenities must be defined with 4' height wood or steel stakes and the outline(s) defined by string connecting the stakes. The main floor elevation(s) must be clearly marked on the stakes.
  - **Tree Tagging:** All trees proposed for removal shall be clearly marked with bright orange tape tied around their trunks five feet above ground level.

**Questions** regarding the above may be directed to the RVRMA DRC Administrator at the RVR Ranch House (970) 963-6300 or E-mail: ktardif@rvrcommunity.com



## RIVER VALLEY RANCH

### River Valley Ranch Preliminary Design Submittal Requirements Appendix C

To be placed on the Design Review meeting agenda, the Preliminary Design Review process will require the following:

- ❑ **Pre-Design Conference** with RVR DRC Administrator and a Design Review Committee member **must** be conducted prior to a Preliminary Plan Submittal. We recommend you schedule this meeting **prior** to starting the design process.
- ❑ Completed ***Design Review Request and Contact Information Form***
- ❑ A digital set of drawings that meets the Preliminary Design Review requirements below must be submitted to the DRC Administrator one-week prior to the scheduled review. Two sets of 24" x 36" drawings must be brought to the Preliminary Design Review. One set will be retained by the RVRMA DRC and one set will be returned to the applicant.
- ❑ **Required Submittal Material**
  - ❑ **Survey** –Survey 1'=20' scale, stamped and signed by a licensed Surveyor, State of Colorado. Include adjacent street, bike path, and existing contour lines at 1' intervals. Extend contour lines 15' beyond property lines and into adjacent streets.
  - ❑ **Preliminary Schematic Floor Plans** – ¼" = 1'. Show calculation of second floor area versus the main floor area to demonstrate compliance with the 60% second floor rule.
  - ❑ **Preliminary Schematic Roof Plan** – ¼" = 1'. Include roof pitches and slope arrows
  - ❑ **Preliminary Schematic Elevations** – ¼" = 1' including roof heights, existing and finish grades, and notation of exterior materials. Show all proposed doors, windows and divided lights.
  - ❑ **Preliminary Site/Grading/Landscape Plans** – conceptual plans at 1' = 20' min. showing:
    - ❑ Please note that landscape plans must be prepared by a professional landscape designer.
    - ❑ Property lines, street curbs, bike-walk paths, building envelope, buildings, development setbacks, easements, and other restrictions on property.
    - ❑ Existing grading contour lines at one (1) foot intervals. Blend and link proposed contours with existing contours. Beyond property line, show existing contour lines extending 15 feet to show impacts on existing off-site grades.

- ❑ Grading contour lines, drainage improvements, drainage swales, area drains, dry wells and other grading features.
  - ❑ Building footprint with finished floor grades related to spot elevations at street, patios, decks, driveway, parking, turn-around, fences, retaining walls, and any other site improvements.
  - ❑ Material of all hardscape surfaces, including color, if appropriate.
  - ❑ Natural and topographical features identified that affect the use of the Lot area, together with any other pertinent information; existing vegetation with trees to be removed and vegetation to be protected (include areas in the ROW and public spaces within 20 feet of the property line.)
  - ❑ Improvements: Trees, shrubs (at mature sizes), irrigated areas, ornamental planting, xeriscape planting, mulch areas, gravel areas, lawns and native grass areas, terraces, driveway, water features, pools, spas, patios, decks, fences, walls, firepits, and any other significant design elements.
  - ❑ Landscape vegetation clearly depicted and labeled on plan
  - ❑ Tabulation of lot area vs. required trees and shrubs
  - ❑ Plant list of trees and shrubs, sizes, quantities and calculations, and botanical names. Note the minimum size requirements for trees/shrubs.
  - ❑ Air handlers, utilities, and other mechanical equipment; utility connections including fire hydrants, sewer, water, telephone, cable, television, electrical service and landscape irrigation. Identify utility meters, shut-off valves and pedestals within the Lot and in street ROW.
- 
- ❑ **Model/Massing Study** – A simple massing model at 1/8" scale or 3-D computer model is required. Simple massing study model at 1/8" scale. Include topography from street to rear property line, with finish contour intervals of 1' to 2' to show how the house 'fits into' the terrain and drainage. If a 3-D model is presented, the DRC must be able to view the model from any angle.
  - ❑ **Photographs** – of adjacent built homes and empty Lots, to proposed project, including two homes on either side. Show front and rear from an angle.
  - ❑ **Staking** – All proposed buildings and other site amenities must be defined with 4' height wood or steel stakes and the outlines(s) defined by string connecting the stakes. The main floor elevation(s) must be clearly marked on the stakes.
  - ❑ **Tree Tagging** – All trees proposed for removal shall be clearly marked with bright orange tape tied around their trunks five feet above ground level.
- 
- ❑ **4. Design Review Fee** of \$4,500 payable to River Valley Ranch Master Association.

Questions should be directed to Pam Britton, DRC Administrator at (970) 710.9040.

# RIVER VALLEY RANCH MASTER ASSOCIATION

## PRELIMINARY DESIGN SUBMITTAL - CHECKLIST OF REQUIRED SUBMITTALS

BLOCK/LOT: \_\_\_\_\_

NAME: \_\_\_\_\_

RVR ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_

EMAIL: \_\_\_\_\_

**NOTICE:** To be placed on a Meeting Agenda for a Design Review, a Complete Submission Package is required. Complete submission packages promote a seamless, efficient and effective Design Review process. **Once the Preliminary design plans have been submitted to the DRC Administrator, there will be no refund of any unused portion of the DR Process Fee.**

**Required Submittal Materials (2 copies, one to be retained by DRC + digital version of materials if possible)**

_____	DR Process Fee (\$4,500)
_____	Location Map/Survey
_____	Site Plan
_____	Schematic Floor Plans
_____	Schematic Roof Plans
_____	Schematic Elevations
_____	Preliminary Landscape Plans
_____	Preliminary Grading Plans
_____	Model/Massing Study (physical or digital)
_____	Photographs of Adjacent Built Homes
_____	Staking
_____	Tree Tagging
_____	Noticing of Adjacent and Abutting Property Owners
_____	Other

# RIVER VALLEY RANCH MASTER ASSOCIATION

## COMMON SUBMITTAL DESIGN ISSUES

NAME: \_\_\_\_\_

BLOCK/LOT: \_\_\_\_\_

DATE: \_\_\_\_\_

### ITEM

**Design elements:** Should build upon a 'ranch house vocabulary' as well as the architectural traditions of the area with complex buildings made up of different heights and forms

**Masses:** Minimum of three (3) distinct masses

**Cascading roofs:** Forms should appear to cascade from high mass to lower volumes at perimeters

**Second Story** must not exceed 60% of the ground floor square footage, including garage, covered decks, porches, and patios

**Ridge Line:** No unbroken horizontal length greater than 30 feet (34 feet with two overhangs)

**Gable Roof Forms:** Should be primary. Shed and hip roofs should be secondary

**Gable Roofs:** Minimum roof pitch (6:12) 6' height in 12' horizontal run

**Shed Roofs:** Minimum roof pitch (3:12) 3' height in 12' horizontal run. 20% max total roof area

**Chimneys:** Should be clad with stone with cut stone caps or a decorative metal cap. Roof projections must penetrate behind the ridge and must be compatible in height and material and/or be painted to match the roof color.

**Windows with Stone:** Sills will be above or recessed down into stone, not sitting directly on top

**Retaining Walls:** Must not be more than 4 feet high and must be backsloped

**Drainage:** Must be controlled on site so as not to impinge upon an adjacent lot or Master Common Area. Drainage Swales, dry wells, area drains, catch basins, etc. will be important features

**Trees/Shrubs:** Should be shown at mature sizes on plans and not too close to the property line or existing desirable vegetation

**Construction fences:** Should be shown on site plan

**Photographs:** Of neighboring homes must be included with submittals

**Driveway widths:** Must be kept to a 12-foot maximum with curb flaring to 16 feet.

**Exterior Lighting, Solar Access, Green Building and Permeable Surface :** Must be in compliance with the Town of Carbondale codes, ordinances and requirements.

**Incomplete submittal packages will not be considered.**

## **APPENDIX D Final Design Review / Checklist of Required Submittals**

**NOTICE:** To be placed on a Meeting Agenda for a Final Design Review, a complete **Submission Package** is required. Complete submission packages promote a seamless, efficient and effective the Design Review process. In order to avoid delays, be sure to include:

- **Any changes/amendments required by the DRC as a result of the Preliminary Design Review.**
- **Design Review Request Form** (See Appendix H.)

### **Required Submittal Materials** (2 copies, one to be retained by DRC)

- **Construction Documents:** Working drawings and specifications that generally conform to the Preliminary Design Review documents reviewed by DRC. All plans must be signed and stamped by a licensed Architect.
- **Location Map:** Showing streets, this lot amongst others in this Block and vicinity.
- **Survey:** 1"= 20' scale, stamped and signed by a licensed Surveyor, State of Colorado. Include adjacent street, bike path, and existing contour lines at 1' intervals. Extend contour lines 15' beyond property lines to show impact on neighboring properties.
- **Landscaping and Grading Plans:** (1"= 20' scale minimum)
  - Property lines, street curbs, bike-walk paths, building envelope, buildings, development setbacks, construction area, easements and other restrictions on property, including view easement, if any.
  - Existing grading contour lines at one (1) foot intervals. Blend and link proposed contours with existing and adjacent lots. Beyond property lines, show contour lines up to 15' to show impacts on existing off site grades.
  - Proposed grading contour lines, drainage improvements, drainage swales, area drains, dry wells and other grading features. Generally, no drainage onto neighboring lots.
  - Building footprint with finished floor grades related to spot elevation at street, patios, decks, driveway, parking, and turn around, temporary construction fences, wood fences, retaining walls, and any other site improvements.
  - Material of all hardscape surfaces, including color if appropriate.
  - Other natural and topographical features identified that affect the use of the Lot area, together with any other pertinent information.
  - Existing trees in ROW with identification and any trees to be removed or relocated.

- o Existing vegetation in public spaces adjacent to property up to 20' from property line.
  - o Existing vegetation materials to be protected and to be removed with tagged identification.
  - o Improvements: trees, shrubs, irrigated areas, ornamental plantings, xeriscape planting, mulch areas, gravel areas, lawns and native grass areas, terraces, driveway, pool, spa, fences, fire pit and other elements.
  - o Air handlers, utilities and other mechanical equipment
  - o Trees and shrubs shown at "mature" sizes.
  - o Landscaping vegetation clearly depicted and labeled on plan.
  - o Tabulation of lot area square footage vs. required trees and shrubs.
  - o Provide plant list of trees and shrubs, sizes, quantities and calculations, and botanical names. For approved trees and shrubs and minimum size requirements, see Appendix F.
  - o Utility connections including fire hydrants, sewer, water, telephone, cable television, electrical service and landscape irrigation. Identify utility meters, shut-off valves and pedestals within the Lot and in street ROW.
- **Irrigation Plan:** 1" = 20' scale minimum showing location of tap, control clock, mainline, lateral line, and irrigation heads. Label material and sizes of each element. Zone outputs, not to exceed 8 gal/minute. Show temporary irrigation techniques to establish native and xeriscape areas. Show PVC sleeves to be placed under driveway adjacent to ROW irrigation line. See Chapter 6. regarding Right-of-Way, for details.
  - **Roof Plan:** 1/4" = 1' scale, include pitches and slope arrows.
  - **Floor Plans** 1/4" = 1' including all exterior door and window locations and sizes, and the location of all exterior mechanical systems, finish floor levels versus finish grades, and spot elevation in Street. Show calculation 2nd floor vs. main floor including garage and covered outdoor elements.
  - **Elevations-** 1/4" = 1' including roof heights, existing and finish grades, exterior door and window locations and sizes. Windows: show divided lights and swings. Label elevations North, East, etc. and exterior materials. Show air handlers, utilities and other mechanical equipment. Plans must be stamped and signed by licensed Architect.
  - **Model, Massing Study:** Simple massing study model at 1/8" scale. Not an expensively detailed, but simply adequate to communicate basic 3-dimensional concepts. Include topography from street to rear property line, with finish contour intervals of 1' to 2' to show how the house "fits into" the terrain and drainage. If practical, include entire site. Revise the Model, if required by the DRC.
  - **Photographs** of adjacent built homes and empty Lots, to proposed project, including two homes on either side. Show front and rear from an angle.
  - **Light Fixtures, Exterior:** Location and type. Provide cut sheets of fixtures with bulb wattage indicated. See Town of Carbondale ordinance.

- **Sample Board** on a minimum of 1' x 2' board, no greater than 2' x 4', including:
  - Roof materials and colors
  - Exterior wall materials and colors
  - Exterior trim material and color
  - Window frame color
  - Exterior door material, design and color
  - Stone/rock materials including color variations, note material & manufacturer.
  - Fence/wall materials
  - Light fixture cut sheets
  - Manufacturer's literature where appropriate.
  
- **Photos of Samples with Specifications** may be submitted in lieu of the above Sample Board, if they accurately portray the materials, colors, textures and manufacturer of such products and materials. (See DRC Administrator for examples)
  
- **Construction Area Plan and Schedule**-including starting and completion dates for both building and landscape construction.
  
- **Staking:** All proposed buildings and other site amenities must be defined with 4' height wood or steel stakes and the outline(s) defined by string connecting the stakes. The main floor elevation(s) must be clearly marked on the stakes.
  
- **Tree Tagging:** All trees proposed for removal shall be clearly marked with bright orange tape tied around their trunks five feet above ground level.
  
- **Damage and Performance Deposit** payable to the RVRMA. (See Appendix K)
  
- **Schedule** Pre-Construction Meeting with the RVRMA Executive Director.

**Questions** regarding the above may be directed to the RVRMA DRC Administrator at the RVR Ranch House (970) 963-6300 or E-mail: ktardif@rvrcommunity.com





## RIVER VALLEY RANCH

### River Valley Ranch Final Design Review Requirements Appendix D

- A digital set of drawings that meets the Final Design Review requirements below and addresses all required revisions identified by the DRC during preliminary reviews must be submitted to the DRC Administrator one-week prior to the scheduled review. Two sets of 24 x 36 drawings must be brought to the Final Review. One set will be retained by the RVRMA DRC and one set will be returned to the applicant. All Final Design Review drawing sheets must be stamped by an Architect licensed in the State of Colorado.
  - **Survey** –Survey 1’=20’ scale, stamped and signed by a licensed Surveyor, State of Colorado. Include adjacent street, bike path, and existing contour lines at 1’ intervals. Extend contour lines 15’ beyond property lines and into adjacent streets.
  - **Final Site/Grading/Landscape Plans** – final plans at 1’ = 20’ min. showing:
    - Property lines, street curbs, bike-walk paths, building envelope, buildings, development setbacks, easements, and other restrictions on property.
    - Existing grading contour lines at one (1) foot intervals. Blend and link proposed contours with existing contours. Beyond property line, show existing contour lines extending 15 feet to show impacts on existing off-site grade.
    - Grading contour lines, drainage improvements, drainage swales, area drains, dry wells and other grading features.
    - Building footprint with finished floor grades related to spot elevations at street, patios, decks, driveway, parking, turn-around, fences, retaining walls, and any other site improvements.
    - Material of all hardscape surfaces, including color, if appropriate.
    - Natural and topographical features identified that affect the use of the Lot area, together with any other pertinent information; existing vegetation with trees to be removed and vegetation to be protected. Include area in ROW and public spaces within 20 feet of the property line.
    - Improvements: Trees, shrubs (at mature sizes), irrigated areas, ornamental planting, xeriscape planting, mulch areas, gravel areas, lawns and native grass areas, terraces, driveway, water features, pools, spas, patios, decks, fences, walls, firepits, and any other significant design elements.
    - Landscape vegetation clearly depicted and labeled on plan
    - Tabulation of lot area vs. required trees and shrubs
    - Plant list of trees and shrubs, sizes, quantities and calculations, and botanical names. Note the minimum size requirements for trees/shrubs.
    - Air handlers, utilities, and other mechanical equipment; utility connections including fire hydrants, sewer, water, telephone, cable, television, electrical

service and landscape irrigation. Identify utility meters, shut-off valves and pedestals within the Lot and in street ROW.

- Landscape lighting plan
  
- **Irrigation Plan** – 1"=20' scale showing location of tap, control clock, mainline, lateral line, and irrigation heads. Label material and sizes of each element. Zone outputs, not to exceed 8 gal/minute. Show temporary irrigation techniques to establish native and xeriscape areas.
  
- **Final Roof Plan** – ¼" = 1' scale, include pitches and slope arrows
  
- **Final Floor Plans** – ¼" =1' including all exterior door and window locations and sizes, and the location of all exterior mechanical systems, finish floor levels versus finish grades. Show calculation of second floor vs. main floor to show compliance with 60% second floor rule.
  
- **Final Elevations** – ¼" =1' including roof heights, existing and finish grades, exterior door and window locations and sizes. For windows, show divided lights and swings. Label elevations North, South, East, West. Show a description of all exterior materials, colors, and finishes. Show air handlers, utilities and other mechanical equipment that would be visible on the exterior of the house.
  
- **Exterior Light Fixtures** – Identify location and type. Provide cut sheets of fixtures with bulb wattage indicated. See Town of Carbondale lighting ordinance.
  
- **Sample Board** – on a minimum of 1'x 2' board, no greater than a 2' x 4', including:
  - Roof material and color
  - Exterior wall and trim materials and colors
  - Window frame color
  - Exterior door material and color
  - Stone/rock materials
  - Fence/wall materials
  - Light fixture cut sheets
  - Chimney finish details

Questions should be directed to Pam Britton, DRC Administrator at (970) 710.9040.

# RIVER VALLEY RANCH MASTER ASSOCIATION

## FINAL DESIGN SUBMITTAL - CHECKLIST OF REQUIRED SUBMITTALS

BLOCK/LOT: \_\_\_\_\_

NAME: \_\_\_\_\_

RVR ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_

EMAIL: \_\_\_\_\_

**NOTICE:** To be placed on a Meeting Agenda for a Design Review, a Complete Submission Package is required. Complete submission packages promote a seamless, efficient and effective Design Review process.

**Required Submittal Materials (2 copies, one to be retained by DRC + digital version of all materials, if possible)**

_____	Final Grading Plan
_____	Final Landscape Plan
_____	Final Irrigation Plan
_____	Final Site Plan
_____	Final Roof Plans
_____	Final Floor Plans
_____	Final Elevations
_____	Sample Board (Note: Exterior finish colors, material type, and manufacturer must be noted on plans or submitted as a separate list. Sample Board must be substantial enough in size to provide a clear understanding of exterior materials.)
_____	Exterior Light Fixtures (cutsheets and specs)
_____	Solar Panel information (location and detail; if solar panels are being installed)
_____	Final stone calculations
_____	Permeable surface calculations
_____	Designated storage area for deer/wildlife fencing
_____	Address Marker
_____	Other items as required by the DRC
_____	Schedule Pre-Construction Meeting with RVRMA Executive Director and DRC Admin



## APPENDIX E Landscape Planting, Maintenance and Seeding

**Recommendations:** The following recommendations have been established for all Owners in RVR. These recommendations are meant to educate the homeowners, so appropriate environmental choices are made regarding the maintenance of individual yards within the community. These criteria in combination with the Landscape Guidelines are meant to create an attractive neighborhood that preserves the inherent aesthetic qualities of RVR. Recommendations are aimed at promoting healthy ground plant growth early on in residential landscaping while reducing the need for chemical control of weeds.

**Landscaping Health:** These Guidelines help ensure healthy landscaping by:

- Use of appropriate regional plants;
- Appropriate planting and maintenance of plants;
- Use of sprinkler and/or trickle and drip irrigation for each residence;
- The educated use of fertilizers;
- The limited use or avoidance of herbicides and insecticides.

**Landscape Plan:** This must be developed for each residence. The plan must be comprehensive in nature and follow the Landscape Guidelines established by RVR and must promote re-vegetation of the home sites as quickly as possible. The establishment of healthy ground plant materials will reduce or eliminate the infestation of undesirable weeds. This will simultaneously reduce the need for herbicides. This ground plane of plant material referred to as bio-mat consists of grasses or wildflowers to prevent pests and weeds from finding a place to take hold. This active bio-mat needs to be developed to maximize beneficial use of nitrogen sources and reduce potential for leaching nutrients out of the root zone. The following are guidelines for developing a healthy bio-mat:

- **Grass Seed Applications:** The following grass seed mixes and application rates have been selected for manicured and native grass areas on residential homesites depending on the desired effect:
  - **Lawn Mix:** This is a mixture of Kentucky Bluegrass varieties and approximately 20% Perennial Ryegrass variety, which will provide a rich green color & fine texture for establishing new lawns. Seeding Rate: 3 lbs. per 1000 sq. ft. Mowing Height: 1 1/2"-2".
  - **Shade Mix:** This is an equal mixture of Hard Fescue, Creeping Red Fescue, Kentucky Bluegrass and Perennial Ryegrass. Keep the turf mowed approximately one inch higher than under sunny conditions and fertilize about half as much as a pure Kentucky Bluegrass lawn. Seeding Rate: 4 to 5 lbs. per 1000 sq. ft. Mowing Height: 2"-2 1/2".
  - **Durable Lawn:** This includes an equal mixture of Bonanza Tall Fescue, Kentucky Bluegrass and Perennial Rye. This mix will provide a deep-rooted grass with excellent wear and drought tolerance. It grows into a durable lawn excellent for children's or pets play areas. This lawn also has good

shade tolerance. Seeding Rate: 5 to 6 lbs. per 1000 sq. ft. Mowing Height: 2"-2 1/2".

- o **Low Grow Mix:** A mixture of Blue Fescue, Sheep Fescue, Crested Wheatgrass, and Canada Bluegrass. This is a mixture of low growing (8-12 inches), drought tolerant grasses suitable for areas where mowing is difficult or not desirable. Dryland Seeding Rate: 20-25 lbs. per acre. Irrigated Seeding Rate: 40 lbs. per acre. Mowing Recommendation: No more than once or twice a summer to allow for reseeding.
- o **Wildflower Seed Application:** Each wildflower mixture should have a recommended minimum and maximum planting rate. Minimum planting rates are based on 60-70 seeds per square foot (5 to 10 pounds per acre), which is usually sufficient to establish a good stand of wildflowers in prepared soil when adequate weed control can be maintained. Maximum planting rates are based on 120-140 seeds per square foot (8 to 22 pounds per acre), and are recommended when adequate soil preparation and weed control are not possible, or when maximum color is required. Avoid using more than the recommended rates since poor perennial establishment may result. Sowing wildflower seeds alone or with non-aggressive clump grasses may be the most successful method for establishing a good wildflower stand. Hard Fescue or Sheep Fescue are recommended grasses for this use. Plant fescues at a rate of 10-15 pounds (per total acre), or for small areas, ¼ pound per 1000 square feet. Use of fescues does not change the seeding rate for wildflowers.
- o **Other** grasses to consider include Blue Grama, Buffalo Grass and Little Bluestem. Aggressive pasture grasses such as Bluegrass, Brome, Crested Wheatgrass, and Annual Rye should be avoided because they will crowd out most wildflowers. Grass blends should be chosen that are insect resistant and should not need insecticide.
- o **Fertilizer:** A slow release nitrogen product of 38-0-0 or 40-0-0 is recommended for grass areas to assure nutrition in an efficient, sustained manner. One third of the nitrogen should be composed of a short-chained water-soluble form. Two thirds of the nitrogen should be water-insoluble, thus making for a slow-release product with release characteristics spread over 12-16 months per application, and providing efficient nitrogen utilization without loss to the environment. Nitrogen products should be a low pH (7.5 or less) with a low salt index (25 or less) to be safe for use on fine turf and sensitive ornamentals. Split applications are recommended, with the heaviest application at the time of the most important growth cycle. Generally, apply 2/3 in the fall and 1/3 in the spring. For low maintenance applications use less than the recommended rate and apply in a single application.

- o **Vegetables, herbs or flower beds:** Use of an organic fertilizer such as Vitalize made up of rich ocean kelp and concentrated fish emulsion is recommended.
- o **Weed Control:** The first line of attack against weeds is to prevent them from getting a foothold in the garden. Before planting, remove existing weeds by pulling, tilling under, possibly applying a general herbicide such as Roundup or Kleenup by spot spraying individual weeds. Allow soil to recover three to four weeks before replanting wildflowers or seeds. Identify dominant weed types in each area of the yard and select the most effective control strategy. Simply pulling or tilling under annual weeds may work well. Pull out weeds before they set seed. Most weeds identified as undesirable plants will not survive at regular turf grass mowing heights. Herbicides will not have to be used regularly to control these weeds in highly Maintained turf areas.
- o **Mulches:** Use mulches and cover crops to prevent weeds from flourishing in the bare spots in your yard. Heavy mulching or use of some spot-spraying with a general herbicide or selectively cutting weeds with a string trimmer may be necessary on certain tough perennials.
- o **Pest and Disease Control:** The non chemical approach to pest control is management, not eradication. Managing pests means using a variety of preventative tactics to outwit insects and other pests before they damage your plants. Keep plants well-fed and watered to help them resist or tolerate insect damage. Encourage predators by planting mint, goldenrod, lamb's-quarters, or Queen Anne's Lace. These plants will provide a food supply for the good bugs and encourage them to stay. Good garden sanitation protects plants against pests and diseases. Clearing crop waste out of the vegetable garden, pruning diseased branches from trees and shrubs, and composting diseased plant matter in a hot compost pile not only helps the appearance of your garden, it also makes for a healthy garden. Carefully inspect any newly purchased plants to ensure that they are not carriers of diseases or insects.
- o **Pesticides:** Non toxic, non chemical, biodegradable alternatives are available to control a wide spectrum of common insect pests. These more natural pesticides are not harmful to beneficial like honey bees, ladybugs, earthworms, or pets. Products recommended for use are SAFER'S BT Caterpillar Killer, SAFER'S Insecticidal Soap, and SAFER'S Bioneem.

## APPENDIX F Landscape Plant Materials: Approved, Sizes, Photos & Descriptions

**Approved Plant Materials & Sizes** The DRC has found the plants in the following lists to be compatible with RVR's high mountain environment and encourages their use. The DRC will review plants not listed below and approve their use, if they are found to be compatible with the climate and RVR's aesthetic objectives.

BOTANICAL NAME	COMMON NAME	MIN. SIZE Smaller	MIN. SIZE Larger
<b>Deciduous Trees</b>			
Acer platanoides "Emerald Queen"	Norway Maple	2" cal.	3" cal.
Celtis occidentalis	Hackberry	1.5" cal.	2.5" cal.
Fraxinus pennsylvanica "Patmore"	Patmore Ash	2" cal.	3" cal.
Fraxinus pennsylvanica "Summit"	Summit Ash	2" cal.	3" cal.
Fraxinus pennsylvanica lanceolata	Green Ash	2" cal.	3" cal.
Gleditsia triacanthos "Shademaster"	American Honeylocust	2" cal.	3" cal.
Gleditsia triacanthos "Skyline"	Honeylocust	2" cal.	3" cal.
Populus angustifolia	Narrowleaf Cottonwood	2" cal.	3" cal.
Populus robusta	Cottonwood	2" cal.	3" cal.
Populus sargentii	Plains Cottonwood	2" cal.	3" cal.
Populus tremuloides	Aspen	1.5" cal.	2.5" cal.
Tilia cordata	Littleleaf Linden	2" cal.	3" cal.
Acer ginnala	AmurMaple	4ft. height	8ft. height
Crataegus succulenta	Hawthorne	1.5" cal.	2.5" cal.
Malus "Radiant"	Radiant Crabapple	1.5" cal.	2.5" cal.
Malus "Spring Snow"	Spring Snow Crabapple	1.5" cal.	2.5" cal.
Prunus cerasifera "Newport"	Newport Plum	1.5" cal.	2.5" cal.
Salix sp. B&B	Willow varieties	1.5" cal.	2.5" cal.
<b>Conifer Trees</b>			
Juniperus osteosperma	Oneseed Juniper	#5 pot	B&B
Juniperus scopulorum	Rocky Mountain Juniper	# 5 pot	B&B
Picea pungens	Colorado Blue Spruce	8ft. height	12 ft. height
Pinus aristata	Bristlecone Pine	4ft. height	8ft. height
Pinus edulis	Pinon Pine	4ft. height	8ft. height
Pseudotsuga canadensis	Douglas Fir	8ft. height	12 ft. height
<b>Shrubs</b>			
Amelanchier alnifolia	Serviceberry	# 5 pot	B&B
Artemisia cana	Silver Sagebrush	# 5 pot	B&B
Artemisia frigida	Pasture Sagebrush	# 5 pot	B&B
Artemisia tridentata	Big Sagebrush	#5 pot	B&B



Atriplex canescens	Fourwing Saltbush	# 5 pot	B&B
Caragana arborescens	Siberian Peashrub	# 5 pot	B&B
Cercocarpus ledifolius	Mountain Mahogany	# 5 pot	B&B
Chrysothamnus nauseosus	Rabbitbrush	# 5 pot	B&B
Comus stolonifera	Red Osier Dogwood	# 5 pot	B&B
Cotoneaster acutifolia	Peking Cotoneaster	# 5 pot	B&B
Holodiscus dumosus	Rock Spirea	# 5 pot	B&B
Juniperus chinensis "Phitzer Blue"	Phitzer Blue Juniper	# 5 pot	B&B
Juniperus chinensis "Phitzer Green"	Phitzer Green Juniper	# 5 pot	B&B
Juniperus scopulorum	Upright Juniper	# 5 pot	B&B
Lonicera involucrata	Shrub Honeysuckle	# 5 pot	B&B
Pentaphyloides floribunda	Shrubby Cinquefoil	# 5 pot	B&B
Prunus americana	Wild Plum	# 5 pot	B&B
Prunus virginiana	Chokecherry	# 5 pot	B&B
Quercus garnbelii	Garnbel Oak	# 5 pot	B&B
Rhus aromatica trilobata	Fragrant Sumac	# 5 pot	B&B
Rhus typhina	Staghorn Sumac	# 5 pot	B&B
Ribes alpinum	Alpine Current	# 5 pot	B&B
Ribes lacustre	Gooseberry	# 5 pot	B&B
Ribes odoratum	Yellow Flowering Current	# 5 pot	B&B
Rosa arkansana	Prairie Rose	# 5 pot	B&B
Rosa woodsii	Wood Rose Willow	# 5 pot	B&B
Salix spp	Bridleweatb Spirea	# 5 pot	B&B
Spirea vanhouttei	Mountain Snowberry	# 5 pot	B&B
Symphoricarpos oreophilus	Lilac	# 5 pot	B&B
Syringa vulgaris	Wayfaring Tree	# 5 pot	B&B
Viburnum lantana		# 5 pot	B&B

### Grasses

Agropyron intermedium	Intermediate Wheatgrass	NA	NA
Agropyron smithii	Western Wheatgrass	NA	NA
Agropyron trachycaulum	Slender Wheatgrass	NA	NA
Agrostis alba	Redtop	NA	NA
Calamagrostis canadensis	Bluejoint	NA	NA
Deschampsia caespitosa	Hairgrass	NA	NA
Elymus canadensis	Canada Wildrye	NA	NA
Elymus junceus	Wildrye	NA	NA
Festuca arundinacea	Tall Fescue	NA	NA
Festuca ovina	Sheep Fescue	NA	NA
Festuca pratensis	Meadow Fescue	NA	NA
Phleum alpinum	Alpine Timothy	NA	NA
Phleum pratense	Timothy	NA	NA

## Trees & Shrubs, Photos & Descriptions

Norway Maple

*Acer platanoides* "Emerald Queen"

Beautiful tree with straight trunk, upright-oval outline and dark green, glossy foliage with dense branching. Yellow fall color.

Lawn, street and park tree. Should be given considerable room to grow.

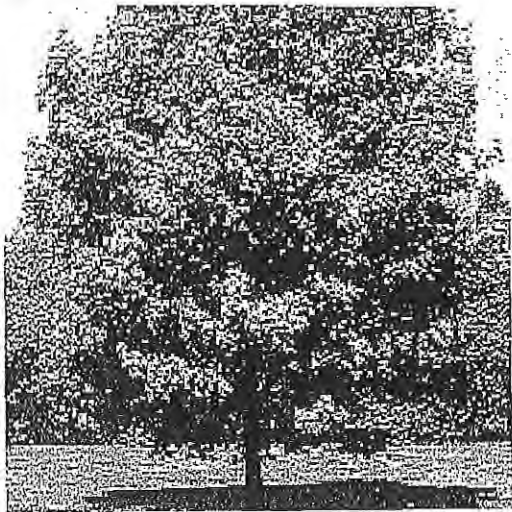
Exposure: Sun

Water requirement: Adaptable

Growth rate: 6-8 in. per year

height: 50-60 ft.

spread: 40 ft.



Hackberry  
*Celtis occidentalis*

Open shape with widely spread branching. Foliage is light green turning yellow-green in fall. Blocky bark is light gray with knobby ridges.

Good tree for adverse conditions. Good for park and large area use. Can grow in dry soils and under windy conditions.

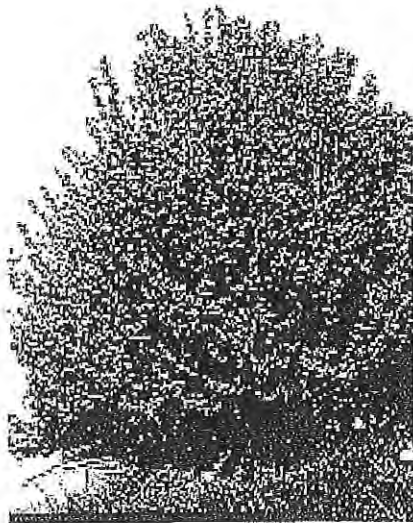
Exposure: Sun

Water requirement: Adaptable

Growth Rate: 6-8 in. per year

height: 50-60 ft.

spread: 40-50 ft.



Autumn Purple Ash

*Fraxinus americana* 'Autumn Purple'

Large, deep green leaves turning purplish-red in fall. Uniform, upright, oval crown. Seedless. Good tree for large area, transplants best in deep, moist, well drained soils, does not withstand soils which are excessively dry and rocky.

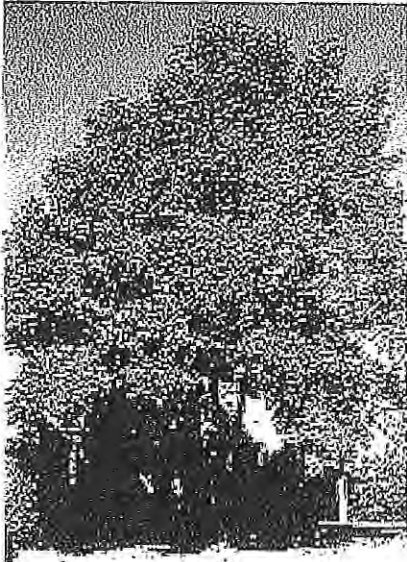
Exposure: Sun

Water requirement: Adaptable

Growth rate: 6 in. per year

height: 40-60 ft.

spread: 40-50 ft.



Marshall's Seedless Ash

*Fraxinus pennsylvanica* 'Marshall's Seedless'

Tall tree with rounded habit and irregular crown. Heavy green foliage turning yellow in fall. Good tree for large area such as lawns, parks and along streets. Very hardy. Once established it tolerates drought and poor soil conditions.

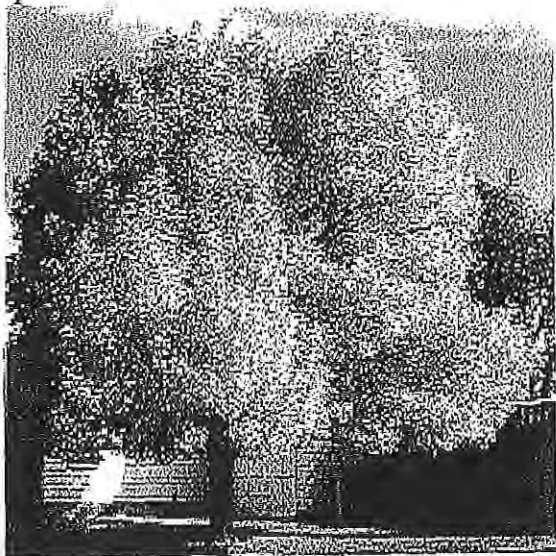
Exposure: Sun

Water Requirements: Adaptable to dry

Growth rate: 6-12 in. per year

height: 50-60 ft.

spread: 40 ft.



Summit Ash

*Fraxinus pennsylvanica* 'Summit'

Upright pyramidal tree with straight trunk. Dark green glossy foliage. Excellent golden yellow fall color.

Good tree for large area such as lawns, parks and along streets. Hardy. Once established it tolerates drought and poor soil conditions.

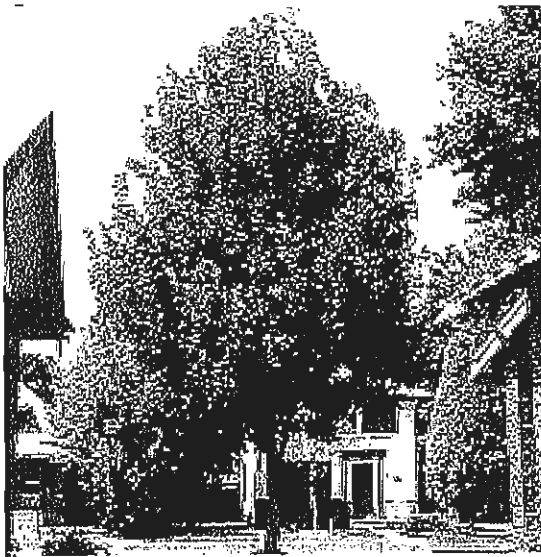
Exposure: Sun

Water Requirements: Adaptable to dry

Growth rate: 6-12 in. per year

height: 50-60 ft.

spread: 20 ft.



American Honeylocust

*Gleditzia triacanthos inermis* 'Shademaster'

Dark green fern-like foliage turns yellow in the fall. Upright spreading branches on a broad headed tall growing tree.

Excellent lawn tree for filtered shade. Withstands poor soil and drought conditions.

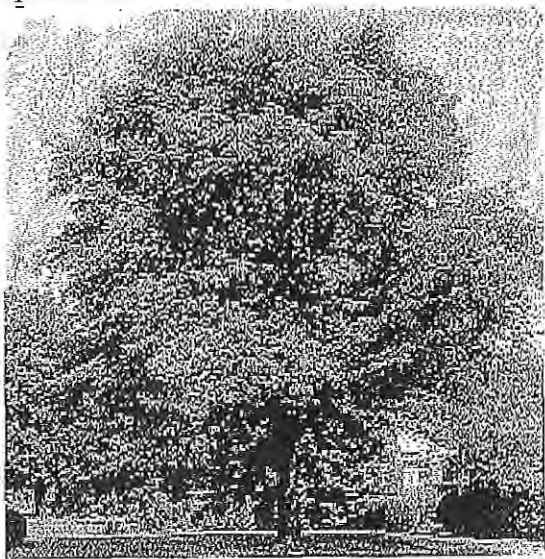
Exposure: Sun

Water Requirements: Adaptable

Growth rate: 6-12 in. per year

height: 30-35 ft.

spread: 40 ft.



Skyline Honeylocust

*Gleditsia triacanthos inermis* 'Skyline'

Pyramidal form with uniform branches and dark green foliage. Thornless and seedless.

Good tree for filtered shade in lawns or parks.

Exposure: Sun

Water Requirements: Adaptable

Growth rate: 6-12 in. per year

height: 45 ft..

spread: 40ft.





Lanceleaf Cottonwood  
*Populus acuminata*

An upright-rounded tree with dense branching and smooth gray bark. Leaves shaped like the head of a spear are shiny green changing to yellow in fall.

This tree is good for large lawn or park areas.

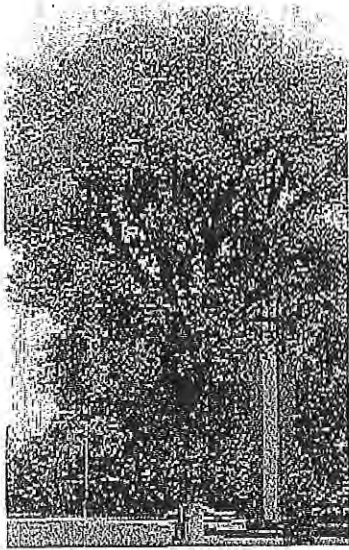
Exposure: Sun

Water Requirements: Adaptable

Growth rate: 2-3 ft. per year after established

height: 60 ft.

spread: 40 ft.



Plains Cottonwood  
Populus Deltoides 'Siouxland'

Fast growing cottonless Cottonwood with large, dark green, rust resistant leaves. Round headed in form.

Good for low lying areas along irrigation and drainage ditches. Prefers moist situations along waterways but tolerates dry soils.

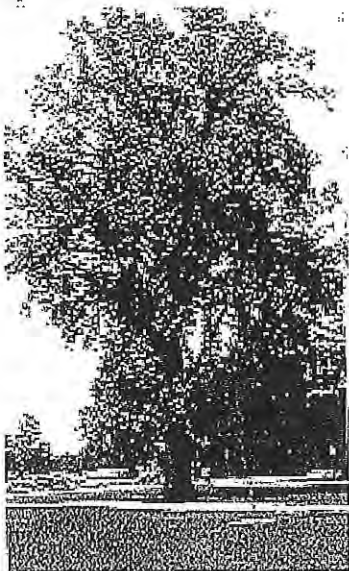
Exposure: Sun

Water Requirements: Adaptable

Growth rate: 2-3 ft. per year after established

height: 70-90 ft.

spread: 40 ft.



Quaking Aspen  
*Populus tremuloides*

Native tree with white bark and good yellow fall color. The leaves flutter in the slightest breeze. A fast growing tree, very adaptable to a range of conditions from moist, loamy sands to shallow rocky soils and clay.

Exposure: Sun

Water Requirements: Moist to adaptable

Growth rate: Nursery grown 2-3 ft. per year

Growth rate: Collected/field dug 6-12 in. per year

height: 60 ft.

spread: 15-20 ft.



American Linden  
*Tilia Americana*

Tall, stately tree with low hung spreading branches. Large, heart-shaped leaves change from green to golden and fragrant yellow flowers appear in the spring, followed by winged seeds. Not a tree for small property.

Prefers deep, moist, fertile soils and will grow on drier, heavier soils.

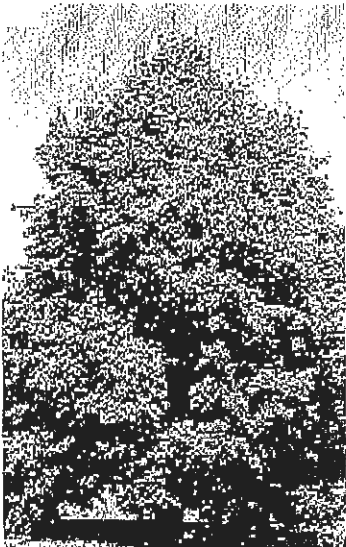
Exposure: Sun to filtered shade

Water Requirements: Adaptable

Growth rate: 6-12 in. per year

height: 40-50 ft.

spread: 30-40 ft.



Littleleaf Linden  
*Tilia cordata* 'Littleleaf'

Upright, oval tree with thick, glossy green foliage. Tiny flowers in hanging clusters appear in summer and are very aromatic.

Prefers moist, well drained, fertile soil. Very slow grower in Colorado. Makes a good small courtyard tree.

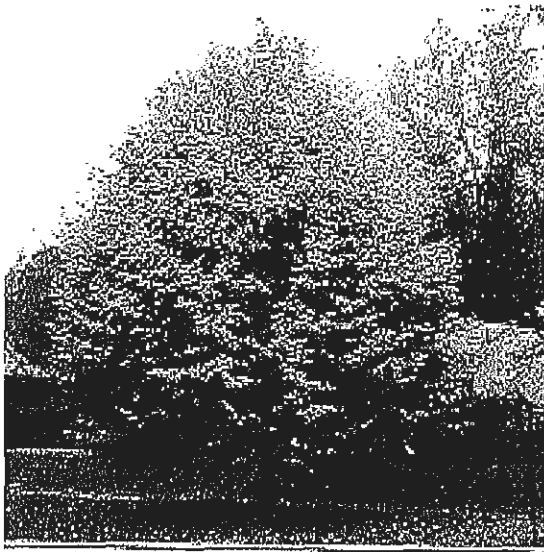
Exposure: Sun

Water Requirements: Adaptable

Growth rate: 2-4 in. per year

height: 30-40 ft.

spread: 30 ft.



AmurMaple  
*Acer ginnala*

Small multi-branched tree with beautiful foliage turning orangy-red in fall. Can be either a small tree or large shrub.

Easy to transplant. Performs best in moist, well-drained soil. Can withstand heavy pruning.

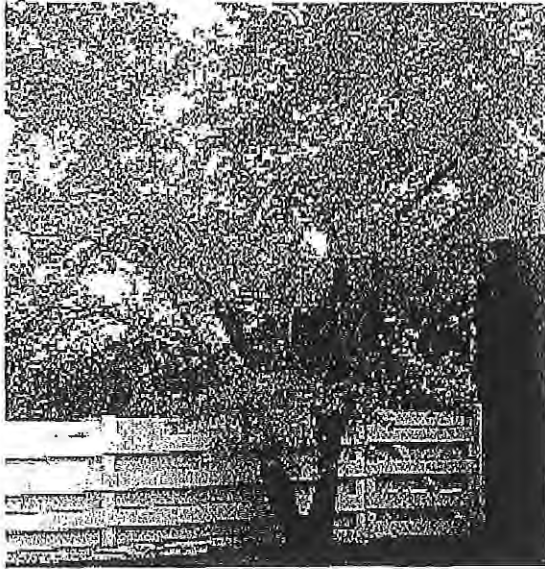
Exposure: Sun to filtered shade

Water Requirements: Adaptable

Growth rate: 6-12 in. per year

height: 20 ft.

spread: 18ft.



Cockspur Hawthorn Thornless  
*Crataegus crusgalli* var. *inennis*

A small tree with glossy, green foliage, white flowers, bright red fruit and horizontal branches.  
Transplant in early spring as small tree in well-drained soil. Exposure:

Sun

Water Requirements: Adaptable to dry

Growth rate: 6-12 in. per year height: 15-  
20 ft.

spread: 15-18 ft.



Radiant Crabapple  
Malus spp.

A very hardy, popular ornamental with compact growth. Deep pink flowers and red fruit. Crabapples are quite adaptable but do best in well-drained soil. Most are hardy and should be planted in full sun for best development of flowers and fruit.

Exposure: Sun

Water Requirements: Adaptable

Growth rate: 8-12 in per year

height: 20 ft.

spread: 15 ft.





## Spring Snow Crabapple

Malus spp.

A dense, upright oval tree with bright green leaves turning yellow in fall. Beautiful white flowers in spring

Crabapples are quite adaptable but do best in well-drained soil. Most are hardy and should be planted in full sun for best development of flowers and fruit.

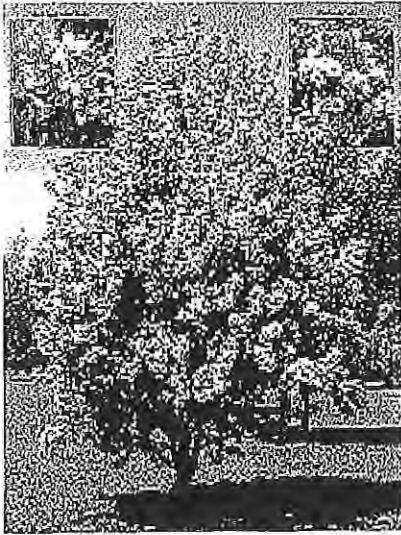
Exposure: Sun

Water Requirements: Adaptable

Growth rate: 8-12 inch per year

height: 20 ft.

spread: 18 ft.



Amur Chokecherry  
Prunus maackii

A small accent tree with shiny dark red bark. White flowers and red fruit.  
This is an interesting tree which requires well drained soil and is well suited for cold climates.  
Exposure: Sun to filtered shade  
Water Requirements: Adaptable  
Growth rate: 6-12 in. per year  
height: 20-30 ft.  
spread: 18-20 ft.



Canada Red Cherry  
*Prunus virginiana* 'Shubert'

A pyramidal tree with dense green foliage changing to reddish purple. Fragrant white flowers in spring, followed by purplish-red cherries.

This tree is best used as a naturalizer in residential homesites and in the streetscape.

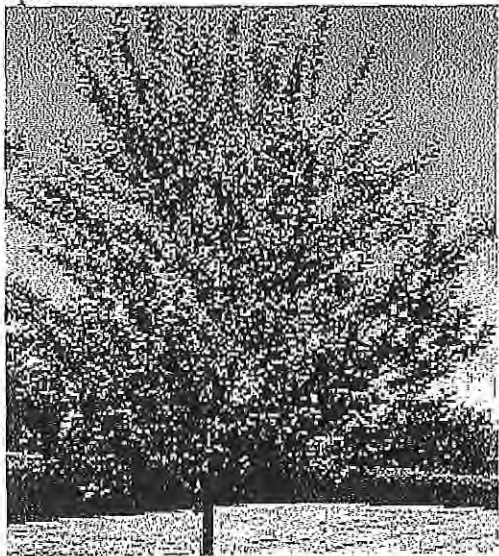
Exposure: Sun

Water Requirements: Adaptable

Growth rate: 6-12 inch per year

height: 20-30 ft.

spread: 15-18 ft.



Colorado Blue Spruce  
*Picea pungens*

A beautiful pyramidal tree with varying color of stiff needles from green to silver-blue.

This tree prefers a rich and moist soil in full sunlight although it is more drought tolerant than other spruce.

Exposure: Sun to filtered shade

Water Requirements: Adaptable

Growth rate: 6-12 in. per year

height: 60 ft.

spread: 35 ft.



Bristlecone Pine  
*Pinus aristata*

A wide, bushy shape, rough textured tree. Dark green needles with white pitch dots on needles. Needs good drainage.

This tree is a very slow grower but provides good screening and can be used as a backdrop to deciduous trees. It will succeed in poor, dry, rocky soils but dislikes shade.

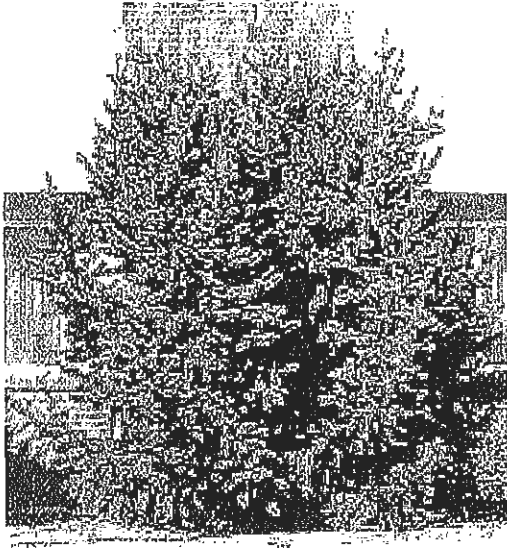
Exposure: Sun

Water Requirements: Adaptable to dry

Growth rate: 2-4 in. per year

height: 20-40 ft.

spread: Varies greatly



Pinon pine  
*Pinus edulis*

Slow growing, round-headed pine with heavy branching from the ground up. Orangish-brown bark. Stiff flattened needles are deep green. Extremely drought tolerant.

This tree is best used as a naturalizer on dry hillsides.

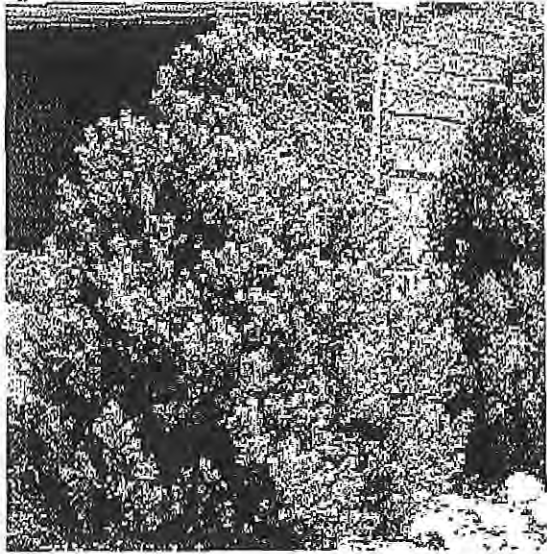
Exposure: Sun to filtered shade

Water Requirements: Adaptable to dry

Growth rate: 2-3 in. per year

height: 15-25 ft.

spread: 12-15 ft.



Austrian Pine  
*Pinus nigra*

Long dark green needles which give a thick, dense appearance. Oval shape. Does well in most locations.

A very hardy tree that will tolerate most soils. Will stand some dryness and exposure. Does not do well in wet, clay soil.

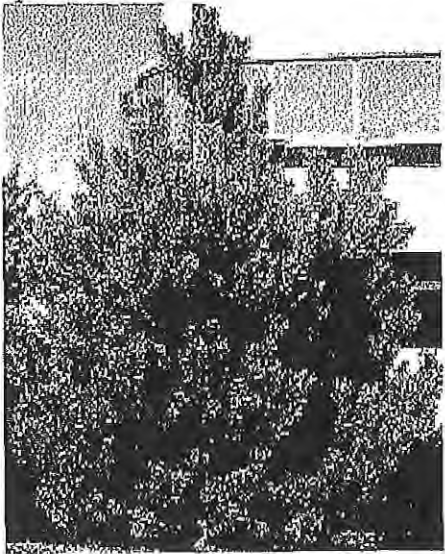
Exposure: Sun

Water Requirements: Adaptable to dry

Growth rate: 6-12 in. per year

height: 40-60 ft.

spread: 20-40 ft.



Ponderosa Pine  
*Pinus ponderosa*

Pyramidal habit with long green needles. As it matures the lower branches drop off. Prefers a well-drained, sunny, open exposure. Intolerant of shade and over watering. Hurt by late frosts. Resistant to drought.

Exposure: Sun

Water Requirements: Dry

Growth rate: 6-12 in. per year

height: 60-80 ft.

spread: 30-40 ft.





Scotch Pine  
*Pinus sylvestris*

Picturesque character. Medium length needles with a bluish tinge. Open, loose form. This tree will grow on a variety of soils as long as they are well-drained. Poor, dry sites will support this tree.

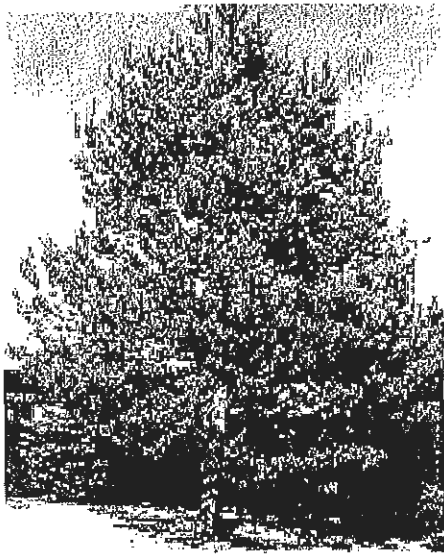
Exposure: Sun to filtered shade

Water Requirements: Adaptable

Growth rate: 6-12 in. per year

height: 30-50 ft.

spread: 20 ft.



Douglas Fir

*Pseudotsuga caudensis*

An open pyramid with straight, stiff branches. Beautiful tree with medium length needles, softer than most other pines and spruce.

This tree prefers well-drained, moist soils. Fails on dry, poor soils. Injured by high winds.

Exposure: Sun to filtered shade

Water Requirements: Adaptable

Growth rate: 4-6 in. per year

height: 40- 80 ft.

spread: 12-20 ft.



Serviceberry  
*Amelanchier alnifolia*

Native mountain shrub with clusters of white flowers in spring followed by small edible fruit.

Good yellow fall color.

A good plant for naturalizing use and in large shrub groupings.

Exposure: Sun to filtered shade

Water Requirements: Adaptable to dry

Growth rate: 12 in. per year

height: 8-10 ft.

Spread: 8-10ft.



Siberian Peashrub  
*Caragana arborescens*

Upright growing shrub with bright green foliage and yellow flowers in spring. Makes a good hedge or background plant.

Extremely cold hardy and able to tolerate poor soils, drought and winds.

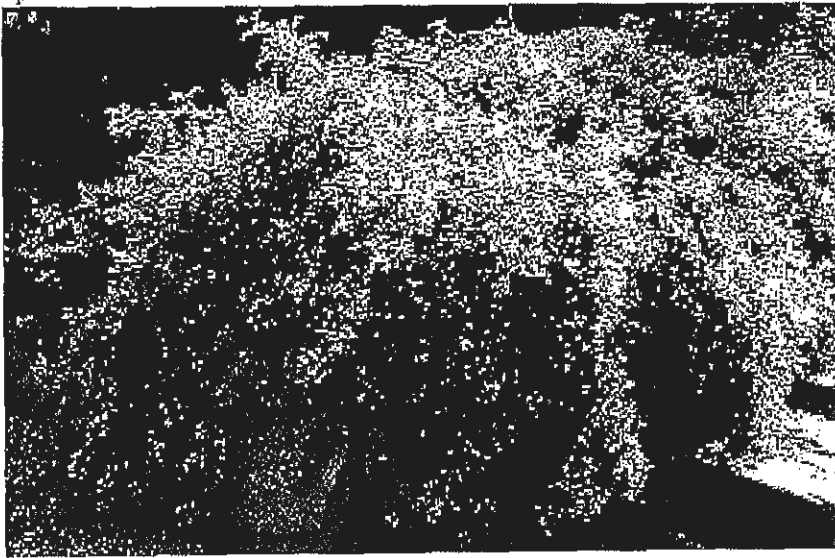
Exposure: Sun

Water Requirements: Dry

Growth rate: 12 in. per year

height: 12-15 ft.

spread: 6-8ft.



Blue Mist Spirea  
*Caryopteris clandonensis*

Hundreds of foot long, lavender-blue flower spikes cover this plant in later summer. Prune back to encourage flowering.

Good plant for shrub or flower beds. Average garden soil, cut back to height of 12"-15" in early spring for heaviest summer blooming.

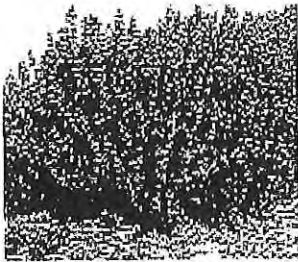
Exposure: Sun

Water Requirements: Adaptable to dry

Growth rate: N/A because it is cut back every year

height: 3-4 ft.

spread: 2-3 ft.



Mountain Mahogany  
*Cercocarpus ledifolius*

Small dark green leathery leaves and twisting irregular branching. Can be pruned to a small tree or hedge.

Good plant for screening or in shrub groupings. Hardy and drought resistant.

Exposure: Sun to filtered shade

Water Requirements: Dry

Growth rate: 4-6 in. per year

height: 6-15 ft.

spread: 6 ft.



Rabbitbrush

*Chrysothamnus nauscosus*

Deep green leaves are arranged loosely on green to whitish stem. Small golden-yellow flowers are borne mid to late summer.

Good plant for hillsides and natural areas.

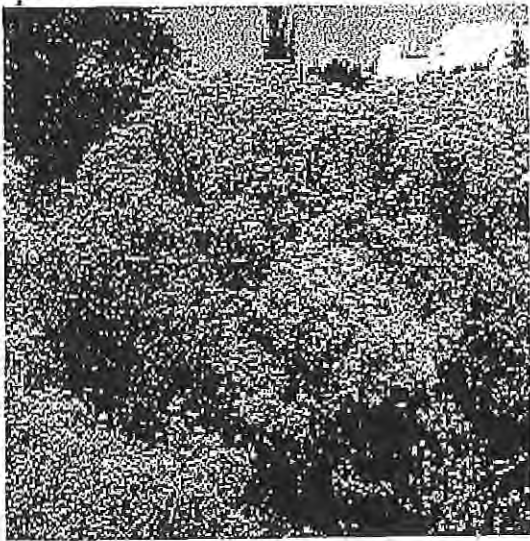
Exposure: Sun

Water Requirements: Dry

Growth rate: 8-12 in. per year

height: 2-6 ft.

Spread: 2-6 ft.



Red twig Dogwood  
*Comus sericea*

Large oval leaves are lush green on bright red stems to form an upright rounded shrub. Tiny white flowers appear during late spring, pearly white fruit in late summer.

Extremely adaptable to wide range of soil and climate conditions. Does best in moist soil and is often observed in the wild in wet, swampy situations.

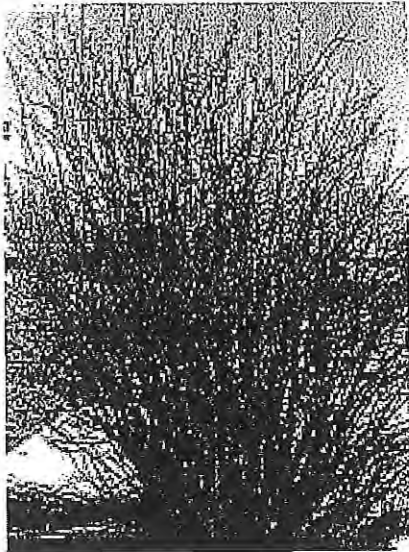
Exposure: Adaptable

Water Requirements: Moist to adaptable

Growth rate: 12 in. per year

height: 6-10 ft.

Spread: 6 ft.





Peking Cotoneaster  
*Cotoneaster lucidus (acutifolia)*

Shiny green foliage with dense growth. Good hedge plant with nice fall color. This plant prefers well drained, loose, fertile soil with adequate moisture but does well in dry, poor soils. Once established is a vigorous, strong plant.

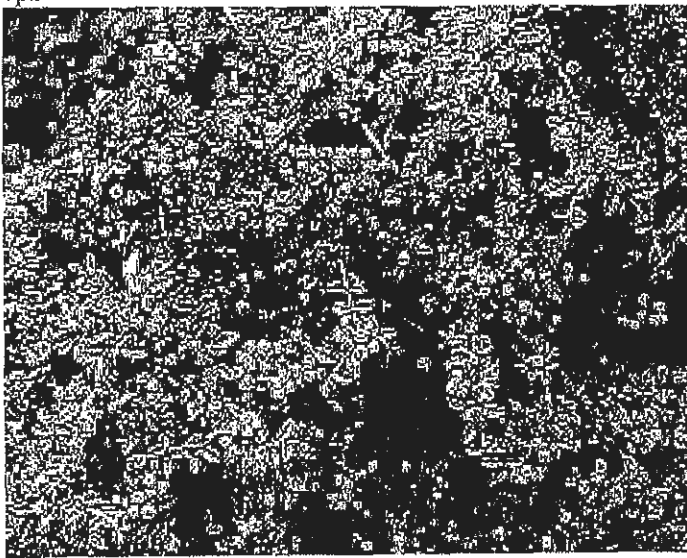
Exposure: Sun to filtered shade

Water Requirements: Adaptable

Growth rate: 4-6 in. per year

height: 6-10 ft.

spread: 5 ft.



Compact Burning Bush  
*Euonymus alatus compacta*

Thick, deep green leaves with a vibrant fiery-red fall color on rigid slightly winged branches create a compact shrub with rounded habit. Best growth is achieved in well-drained soils. Seems to do well in heavy shade. Not tolerant of water logged soils. Withstands pruning, shows stress in droughty soils.

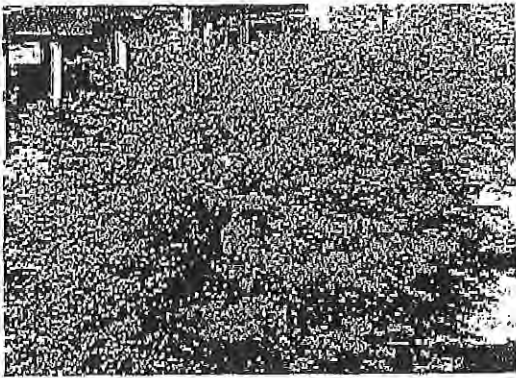
Exposure: Sun

Water Requirements: Adaptable

Growth rate: 2 in. per year

height: 4-6 ft.

spread: 4-6 ft.



Rock Spirea  
*Holodiscus dumosus*

A graceful shrub displaying pyramidal sprays of small, white flowers at the ends of arching branches. Seed heads turn to pink, then rust colored.

Good plant for accent color or texture.

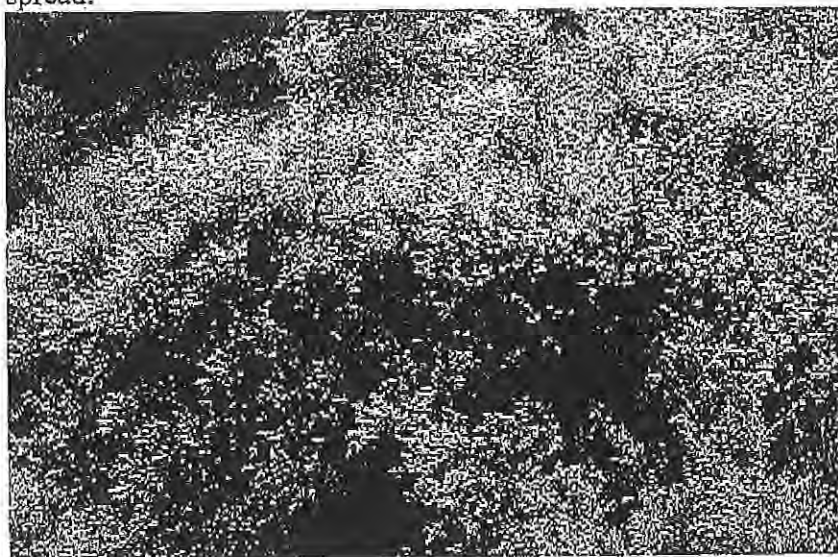
Exposure: Sun to filtered shade

Water Requirements: Adaptable

Growth rate: 2-4 in. per year

height: 3-6 ft.

spread: 3-6 ft.



Cologreen Juniper

*Juniperus scopulorum* 'Cologreen'

A slow growing narrow, pyramidal tree. Use as screens, hedges and background plant. Blue cast to foliage. Tends to look very wild and informal.

This tree withstands drought conditions very well. It should be used only in very native looking areas.

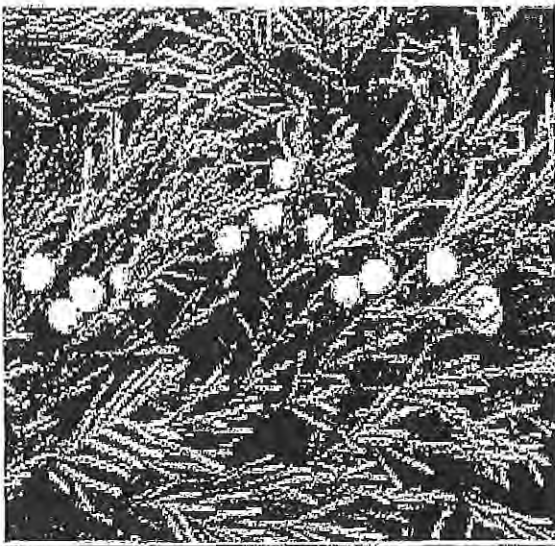
Exposure: Sun

Water Requirements: Adaptable to dry

Growth rate: 6 in. per year

height: 20/30ft.

spread: 3-15 ft.



Chokecherry  
*Prunus virginiana*

Native shrub with white flowers in spring followed by red to black fruit.  
Good plant for shrub groupings in native areas. Hardy.

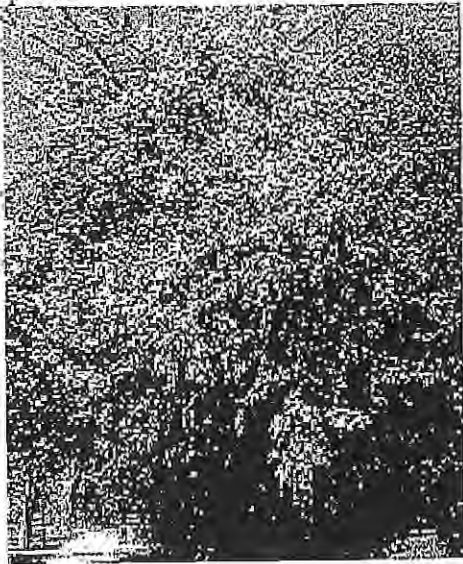
Exposure: Sun

Water Requirements: Adaptable

Growth rate: 6-12 in. per year

height: 15-20 ft.

spread: 10ft.



Gamble Oak  
*Quercus gambelii*

Large shrub or small tree with irregularly spreading branches. Shiny dark green leaves with orange fall color.

Good plant for shrub groupings in native areas. Hardy.

Exposure: Sun to filtered shade

Water Requirement: Dry

Growth rate: 3-6 in. per year

height: 15-20 ft.

spread: 10ft.



Fragrant Sumac

*Rhus aromatica trilobata*

A broad, spreading shrub with sprawling branches covered by glossy dark green leaves. Compact spikes of small, yellow flowers in spring, fuzzy, red fruit in mid summer.

Good plant for stabilizing banks or sloping areas.

Good naturalizing plant.

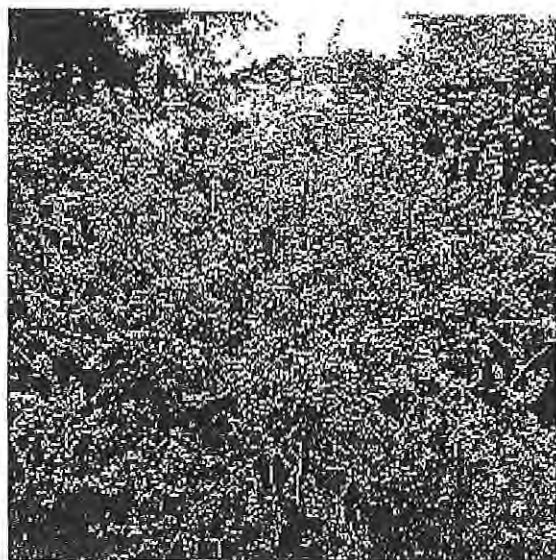
Exposure: Sun

Water Requirements: Adaptable to dry

Growth rate: 4-6 in. per year

height: 6-8 ft.

spread: 5 ft.



Staghorn Sumac  
*Rhus typhina*

Clusters of crimson berries in fall. Very bright fall color.

This plant tolerates very dry, sterile soil. Not a plant for poorly drained areas. Suckers profusely.

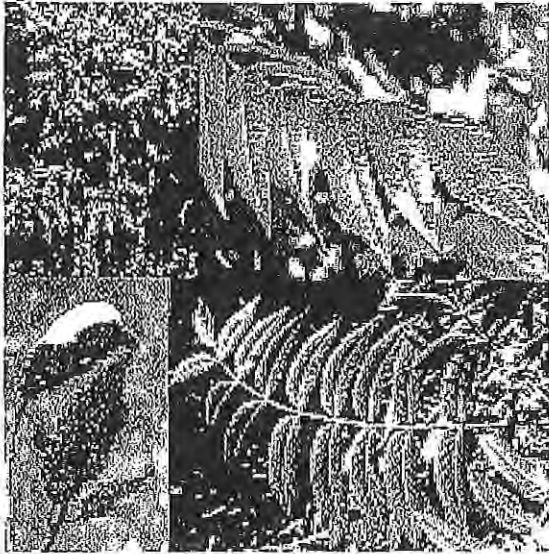
Exposure: Sun

Water Requirements: Adaptable

Growth rate: fast from suckers, slow on old wood.

height: 10-25 ft.

spread: 10-15 ft.





Gooseberry Pixwell  
Ribes sp. 'Pixwell'

A dense, spreading shrub with arching branches. Rounded, dull dark green leaves. Purplish flowers in spring, green to rosy-red.

Good plant for stream banks and in native wooded areas.

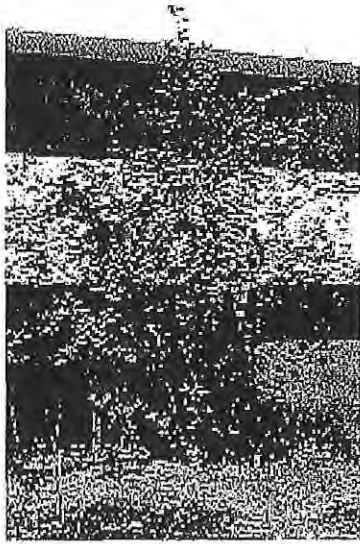
Exposure: Sun to filtered shade

Water Requirements: Adaptable to dry

Growth rate: 6-12 in. per year

height: 5 ft.

spread: 5 ft.



Alpine Current  
*Ribes alpinum*

Excellent shrub for small hedges. Dense green, glossy foliage.  
Tolerant of any good soil. Full sun or shade. Prune anytime.

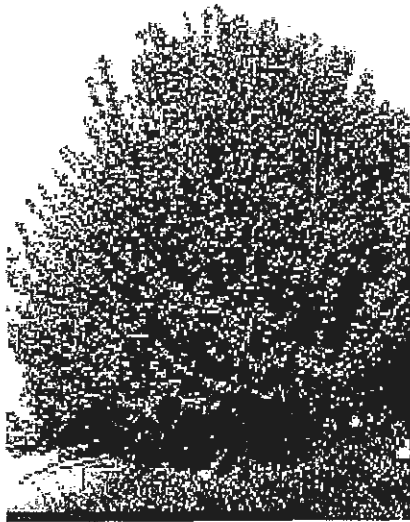
Exposure: Sun to filtered shade

Water Requirements: Adaptable to dry

Growth rate: 8-12 in. per year

height: 3-5 ft.

spread: 4-5 ft.



Yellow Flowering Current  
*Ribes odoratum*

Leaves turn red in fall. Fragrant yellow flowers in spring followed by edible black berries.  
Good plant for screening or in shrub groupings. Hardy.

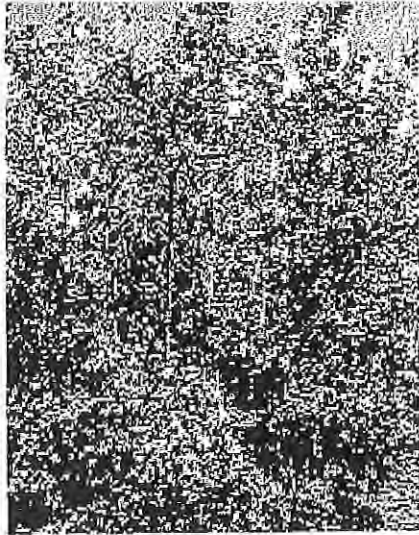
Exposure: Sun to filtered shade

Water Requirements: Adaptable to dry

Growth rate: 6-12 in. per year

height: 6 ft.

Spread – 5 ft.



Shrub Rose  
'Grootendorst Pink'

Hardy, profuse plant with small, double, clear pink blooms. Vigorous growth.  
An excellent dwarf flowering shrub which will bloom throughout the summer.

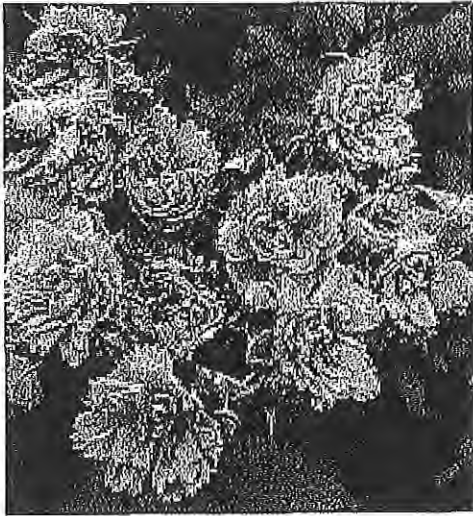
Exposure: Sun

Water Requirements: Adaptable to dry

Growth rate: 12 in. per year

height: 3-4 ft.

spread: 3-4 ft.



Shrub Rose  
'Morden Centennial'

Hardy plant with double clear pink blooms to 4", clusters of blooms up to 15. Blooms 2 to 3 times.

This plant can freeze back to the snowline in winter, then reflush and bloom in the spring on new growth.

Exposure: Sun

Water Requirements: Adaptable to dry

Growth rate: 12 in. per year

height: 3-4 ft.

spread: 3-4 ft.



Wood Rose  
*Rosa woodsii*

Native plant with dark reddish-brown stems and single, soft pink flowers followed by marble-like, red fruit maturing in late summer.

Good plant for naturalizing or in shrub groupings. Hardy.

Exposure: Sun

Water Requirements: Adaptable to dry

Growth rate: 12 in. per year

height: 6-8 ft.

spread: 5 ft.



Willow  
Salix spp.

Many varieties of willow shrubs are available, having narrow leaves and purplish twigs. Spreading, suckering root system. Prefers moist soils and are frequently found along streams, ponds, rivers and other moist areas.

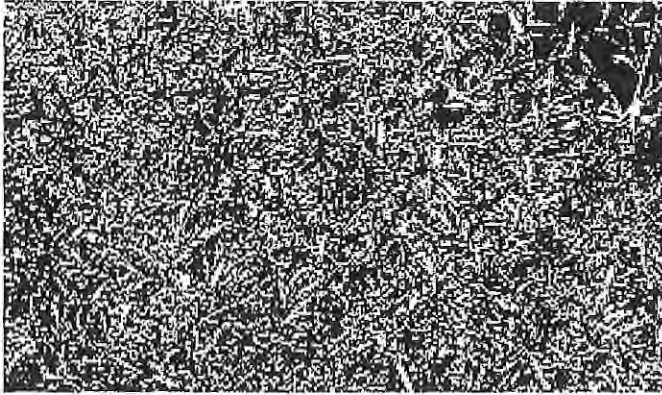
Exposure: Sun

Water Requirement: Moist to adaptable

Growth rate: 6 in. to 3 ft. per year

height: 5-12 ft.

spread: 4-10ft.



Anthony Waterer Spirea  
*Spiraea bumalda* 'Anthony Waterer'

Rose-pink flowers and attractive fall foliage color. New leaves are purplish-red, becoming dark green as they age. Blooms long into July.

Tolerant of many soils except those which are extremely wet.

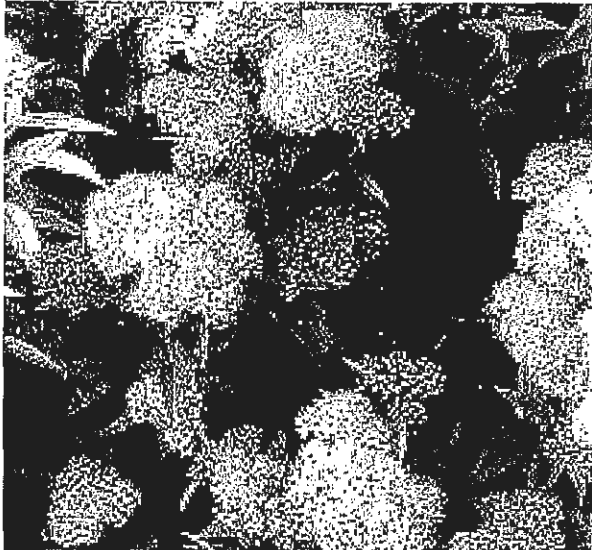
Exposure: Sun to filtered shade

Water Requirements: Adaptable

Growth rate: N/A plant to be cut back to 12-15 in. annually.

height: 3 ft.

spread: 3-4ft.





Bridleweath Spirea  
*Spirea vanhouttei*

Graceful arching branches covered with beautiful white flowers in spring.

Good plant for shrub groupings or hedges.

Exposure: Sun to filtered shade

Water Requirements: Adaptable

Growth rate: 6 in. per year

height: 5-7 ft.

spread: 5 ft.



Lilac

*Syringa vulgaris*

Large shrub with purple, sweet fragrant flowers in spring. Other hybrids available offer color and size variations.

Good plant for shrub groupings, informal hedges or screening.

Exposure: Sun

Water Requirements: Adaptable to dry

Growth rate: 6 in. per year

height: 12-15 ft.

spread: 10 ft.



Mountain Snowberry  
*Symphoricarpos oreophilus*

Hardy shrub with deep green foliage, small pink flowers and small white berries. Shade tolerant.  
Good plant for shrub groupings, hedges and steep banks.

Exposure: Sun to filtered shade

Water Requirement: Adaptable

Growth rate: 12 in. per year

height: 3-4ft.

spread: 3-5 ft.



Wayfaring Tree  
*Viburnum lantana*

Upright growth habit with leathery green foliage. Large white flowers and dark red fruit which turns black in fall.

Adaptable to wide range of conditions. Often suckers profusely.

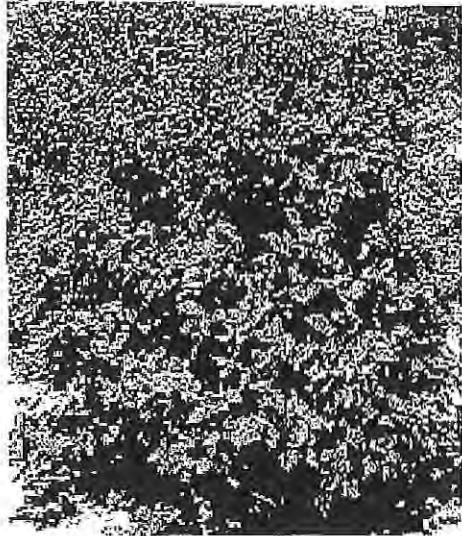
Exposure: Sun to filtered shade

Water Requirements: Adaptable to dry

Growth rate: 4-6 in. per year

height: 10-15 ft.

Spread: 6-8 ft.



# APPENDIX G Sign Standards

Appendix G **AMENDED**  
Date: 4.24.2017  
Refer to: see attached

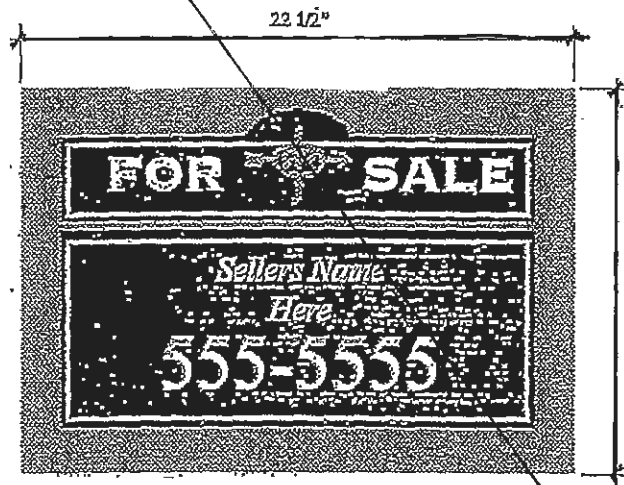
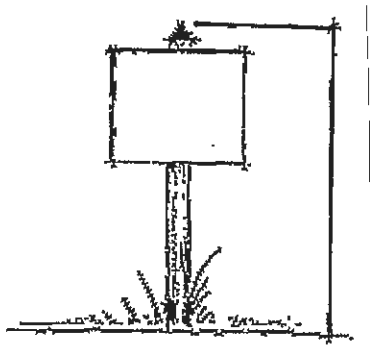
Sign Type: For Sale / For Rent

Materials: Durably painted background; front, sides, and back  
Vinyl Die Cut letters and logo; high grade exterior vinyl

Colors: Background; dark rust  
Information Box; black  
RVR logo; dark rust  
Borders and type; white

Fonts: Sign Header; Copperplate 33BC,  
Sign details; Times Roman and Times Roman Italic

Mounting: Sign mounted to one stained cedar post with detail banding at top.





## RIVER VALLEY RANCH

### Real Estate Signs at River Valley Ranch

#### RVR Sign Regulations and Standards

**Design Guidelines Section 6.69:** One "For Sale" or "For Rent" sign is permitted for each homesite, providing it complies with the standards outlined in the *RVR Design Guidelines Appendix F, Sign Standards* (see attached.) Homesites that back to the golf course are permitted a second sign that faces the golf course.

#### Acquiring an RVR Approved Sign

Approved signs can be purchased from Microplastics in Glenwood Springs- 970.945.8091. They have the RVR sign specifications; simply provide your name/company name and contact phone number.

#### RVR Sign Installation Procedures

1. RVR will provide the **post** to which the sign is attached. You will provide the **sign**.
2. In order to protect underground irrigation and other utility lines, all sign posts must be installed by RVR staff. You will be responsible to affix your sign to the post.
3. RVR will charge a \$50 installation fee for each post to cover the cost of the post and the labor involved to set and remove the post.
4. To schedule a sign installation, contact DRC Administrator, Pam Britton at 970.710.9040. Or You will be asked to provide the address of the lot/home where you want the post placed and a credit card for the installation fee.
5. Posts will be installed within seven days.
6. Once the post is set, you may install your sign.
7. When you remove the sign, please contact Pam Britton at 970.710.9040 so the post can be removed by RVR staff.

**APPENDIX H Design Review Request Form** Block/Lot \_\_\_\_\_

**RVR Lot Owner Name:** \_\_\_\_\_  
Mailing Address \_\_\_\_\_  
Phone numbers (home) \_\_\_\_\_ (business) \_\_\_\_\_ (fax) \_\_\_\_\_

Lot street address \_\_\_\_\_  
Livable Area of proposed Home \_\_\_\_\_ (sq. ft.)

**Owner's Representative (if applicable)**  
Name \_\_\_\_\_  
Mailing Address \_\_\_\_\_  
Phone numbers (home) \_\_\_\_\_ (business) \_\_\_\_\_ (fax) \_\_\_\_\_

**Licensed Architect**  
Name \_\_\_\_\_  
Firm or Company \_\_\_\_\_  
Mailing Address \_\_\_\_\_  
Phone numbers (home) \_\_\_\_\_ (business) \_\_\_\_\_ (fax) \_\_\_\_\_

**Builder**  
Name \_\_\_\_\_  
Firm or Company \_\_\_\_\_  
Mailing Address \_\_\_\_\_  
Phone numbers (home) \_\_\_\_\_ (business) \_\_\_\_\_ (fax) \_\_\_\_\_

**Purpose of review**  
\_\_\_\_ Preliminary Design Review  
\_\_\_\_ Additional Reviews  
\_\_\_\_ Final Design Review & Approval  
\_\_\_\_ Pre-Construction Meeting  
\_\_\_\_ Inspections  
\_\_\_\_ Improvements/Additions/Remodel

**DRC Use: Date of Meetings**  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
Site \_\_\_\_\_ Foundation \_\_\_\_\_ Framing \_\_\_\_\_  
Final \_\_\_\_\_ Landscape \_\_\_\_\_ Irrigation \_\_\_\_\_

**Fees Paid:**  
\_\_\_\_ Design Reviews and Inspection  
\_\_\_\_ Damage & Performance Deposit

**Pre-Construction Meeting:**  
I have read and understand the Master Design Guidelines, DRC correspondence and agree to abide by all requirements and regulations set forth in the Covenants and the Master Design Guidelines.

\_\_\_\_\_  
Signature of Property Owner Date

# RIVER VALLEY RANCH MASTER ASSOCIATION

## DESIGN REVIEW REQUEST AND CONTACT FORM

**BLOCK/LOT:** \_\_\_\_\_

**LOT OWNER NAME:** \_\_\_\_\_

**MAILING ADDRESS:** \_\_\_\_\_

**RVR ADDRESS:** \_\_\_\_\_

**PHONE (HOME):** \_\_\_\_\_ **PHONE (CELL):** \_\_\_\_\_

**FAX** \_\_\_\_\_ **PHONE (OTHER):** \_\_\_\_\_

**EMAIL (PRIMARY):** \_\_\_\_\_ **EMAIL (SECONDARY):** \_\_\_\_\_

Livable (heated and cooled) Area of proposed home: \_\_\_\_\_ sq feet

### **OWNER'S REPRESENTATIVE (IF APPLICABLE)**

**NAME:** \_\_\_\_\_

**MAILING ADDRESS:** \_\_\_\_\_

**PHONE (BUSINESS):** \_\_\_\_\_ **PHONE (CELL):** \_\_\_\_\_

**FAX** \_\_\_\_\_ **PHONE (OTHER):** \_\_\_\_\_

**EMAIL (PRIMARY):** \_\_\_\_\_ **EMAIL (SECONDARY):** \_\_\_\_\_

### **LICENSED ARCHITECT**

**NAME:** \_\_\_\_\_

**MAILING ADDRESS:** \_\_\_\_\_

**PHONE (BUSINESS):** \_\_\_\_\_ **PHONE (CELL):** \_\_\_\_\_

**FAX** \_\_\_\_\_ **PHONE (OTHER):** \_\_\_\_\_

**EMAIL (PRIMARY):** \_\_\_\_\_ **EMAIL (SECONDARY):** \_\_\_\_\_

### **BUILDER**

**NAME:** \_\_\_\_\_

**MAILING ADDRESS:** \_\_\_\_\_

**PHONE (BUSINESS):** \_\_\_\_\_ **PHONE (CELL):** \_\_\_\_\_

**FAX** \_\_\_\_\_ **PHONE (OTHER):** \_\_\_\_\_

**EMAIL (PRIMARY):** \_\_\_\_\_ **EMAIL (SECONDARY):** \_\_\_\_\_

I have read and understand the Master Design Guidelines, DRC correspondence and agree to abide by all requirements and regulations set forth in the Covenants and the Master Design Guidelines.

\_\_\_\_\_  
Signature of Property Owner

\_\_\_\_\_  
Date



Appendix I AMENDED

Date: February 2014  
Refer to: Attached

APPENDIX I Adjacent Lot Use Permission Form

Prior to Trespassing and/or Usage: This form must be completed, signed and delivered to the DRC Administrator or RVRMA Executive Director, prior to any trespassing and/or usage of an adjoining Lot or other Lot, for the purpose of home construction. Its purpose is to offer a clear understanding of who is responsible for daily upkeep and clean up, debris and material removal, subsequent damages and/or fines. Access to an adjacent Lot must be through the Lot under construction, via the fenced driveway cut only.

(Please print)  
Block/Lot # Under Construction \_\_\_\_\_ Adjacent Lot # \_\_\_\_\_  
Lot address \_\_\_\_\_ Lot address \_\_\_\_\_  
Lot Owner \_\_\_\_\_ Lot Owner \_\_\_\_\_  
Builder \_\_\_\_\_ Contact Phone #'s \_\_\_\_\_

I, \_\_\_\_\_, the adjacent Lot Owner, hereby give permission to \_\_\_\_\_ to use my property for the following purposes:

- \_\_\_\_\_ Storage of building materials
- \_\_\_\_\_ Storage of earth/rock
- \_\_\_\_\_ Storage of equipment
- \_\_\_\_\_ Vehicular access
- \_\_\_\_\_ Parking of worker's vehicles
- \_\_\_\_\_ Fenced construction area

Other uses: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Dates of Use: \_\_\_\_\_ to \_\_\_\_\_ with the following special conditions:

Adjacent Lot Owner signature: \_\_\_\_\_ Date: \_\_\_\_\_

I, \_\_\_\_\_, the Owner of the Lot under construction, commit to keep the aforementioned property neat and orderly and to leave it in equal or superior condition, including replacement of damaged grass and other landscape materials.

Construction Lot Owner signature: \_\_\_\_\_ Date: \_\_\_\_\_

See: Covenants regarding Damage Repair and Restoration  
See: Master Design Guidelines, Construction & Builder Regulations and Appendix I re: Fines.

Damage Repair and Restoration During Construction: Damage and scarring to other property including open space, adjacent homesites, roads, driveways, and/or other improvements will not be permitted. If any such damage occurs, it must be repaired or restored promptly at the expense of the Owner of the homesite. See Fines in the Appendix for special requirements for the repair of common irrigation systems. Upon completion of construction, each Owner and Builder will be responsible for cleaning up the construction site and the repair of all property which was damaged, including but not limited to restoring grades, planting shrubs and trees as approved or required by the DRC, and repair of streets, driveways, pathways, drains, culverts, ditches, signs, lighting and fencing, but not including common irrigation systems. Any property repair costs as mentioned above, incurred by the DRC or the RVRMA will be billed to the Owner. Failure to remedy damage as directed by the DRC will result in the cost of the damage repair being deducted from the Damage and Performance Deposit or the imposition of a Reimbursement Assessment. See Fines in Appendix K.



**RIVER VALLEY RANCH**

**ADJACENT LOT USE PERMISSION FORM**

This form must be completed, signed and delivered to the DRC prior to any trespassing and/or usage of an adjoining lot for the purpose of home construction. It's purpose is to offer a clear understanding of who is responsible for daily upkeep and clean up, debris and material removal, and damage.

(Please Print)

Lot # Under Construction \_\_\_\_\_

Adjacent Lot # \_\_\_\_\_

Lot Address \_\_\_\_\_

Lot Address \_\_\_\_\_

Lot Owner \_\_\_\_\_

Lot Owner \_\_\_\_\_

Builder \_\_\_\_\_

Contact Phone \_\_\_\_\_

I, \_\_\_\_\_, the adjacent lot owner, give permission to \_\_\_\_\_ to use my property for the following purposes:

- Storage of building materials
- Storage of earth/rock
- Vehicular Access
- Fenced construction area
- Other: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Dates of Use: \_\_\_\_\_ to \_\_\_\_\_ with the following special conditions:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

I, \_\_\_\_\_, the owner of the lot under construction, commit to keep the aforementioned property neat and orderly and to leave it in equal or superior condition, including replacement of damaged grass and other landscape.

River Valley Ranch Design Guidelines Construction and Builder Section 5.13:

Damage Repair and Restoration state:

“Damage and scarring to other property, including open space, adjacent homesites, roads driveways, and/or other improvements will be not be permitted. If any such damage occurs, it must be repaired and/or restored promptly at the expense of the Person causing the damage or the Owner of the homesite. Upon completion of construction, each Owner and Builder will be responsible for cleaning up the construction site and the repair of all property which was damaged, including but not limited to restoring grades, planting shrubs and trees as approved or required by the DRC, and repair streets, driveway, pathways, drains, culverts, ditches, signs, lighting and fencing. Any property repair costs as mentioned above, incurred by the DRC or the Master Association will be bill to the owner. Failure to remedy damage as directed by the DRC may result in a registered or preferred builder being suspended from the River Valley Ranch program, or deducted from the damage and performance deposit or performance bond posted by the Owner.”

Date: February 2014

Refer to: Attached

## APPENDIX J Pre-Construction Meeting Form

A Meeting shall be held with a representative of the Design Review Committee (DRC) or RVRMA Executive Director and the Owner's representative or Builder/Contractor prior to start of construction. The following will be reviewed and specific requirements met before start of construction:

- \_\_\_\_\_ Damage and Performance Deposit paid to RVRMA (in Appendix K)
- \_\_\_\_\_ Construction Permit from the Town of Carbondale
- \_\_\_\_\_ Adjacent Lot Use Approval Form (if applicable) (in Appendix I)
- \_\_\_\_\_ Irrigation meeting with RVR's representative
- \_\_\_\_\_ Irrigation Fines, review of same (See Appendix K)
- \_\_\_\_\_ Fencing and Drive Cut Gravel Plan
- \_\_\_\_\_ Fine for Damage to Right-of-Way
- \_\_\_\_\_ Construction times (scheduling)
- \_\_\_\_\_ Construction fencing
- \_\_\_\_\_ Copy of Covenants
- \_\_\_\_\_ Acknowledgment of Design Guidelines, especially Construction & Builder Regulations
- \_\_\_\_\_ Acknowledgment of Builder Fine Schedule in Design Guidelines (in Appendix K)
- \_\_\_\_\_ Responsibility for sub-contractors actions
- \_\_\_\_\_ Acknowledgment that any changes to approved Final Plans must be brought to the DRC prior to implementation, for review.

Final Approval has been granted for construction start on RVR Block/Lot \_\_\_\_\_

Owned by \_\_\_\_\_ or being built by \_\_\_\_\_.

Construction must begin within 15 days of pre-construction meeting, and all construction activity must be concluded within 24 months of date of final approval of Improvements by the DRC.

\_\_\_\_\_  
RVRMA Representative

\_\_\_\_\_  
Date

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

\_\_\_\_\_  
Builder

\_\_\_\_\_  
Date

# RIVER VALLEY RANCH MASTER ASSOCIATION

## PRE-CONSTRUCTION MEETING FORM

**BLOCK/LOT:** \_\_\_\_\_

**NAME:** \_\_\_\_\_

**RVR ADDRESS:** \_\_\_\_\_

**PHONE:** \_\_\_\_\_

**EMAIL:** \_\_\_\_\_

A Meeting shall be held with a representative of the Design Review Committee (DRC) or RVRMA Executive Director and the Owner's representative or Builder/Contractor prior to start of construction. The following will be reviewed and specific requirements met before start of construction:

_____	Performance and Damage Deposit paid to RVRMA (See Appendix K)
_____	Building Permit from the Town of Carbondale
_____	Adjacent Lot Use Approval Form (if applicable, see Appendix I)
_____	Review of Irrigation plans
_____	Construction Area Plan: fencing, graveled drive cut, materials staging, parking, restrooms
_____	Construction Times
_____	Construction Inspections
_____	Construction Signage
_____	Responsibility for sub-contractors actions
_____	Call for Utilities Locate
_____	Acknowledgement of 24-month (from date of final design approval) window
_____	Acknowledgement of Design Guidelines, especially Construction/Builder Regs
_____	Acknowledgement of Builder Fine Schedule in Design Guidelines (in Appendix K)
_____	Acknowledgement that any changes to approved Final Plans must be brought to the DRC prior to implementation, for review.

**Final Approval** has been granted for construction start on RVR Block/Lot \_\_\_\_\_

Owned by \_\_\_\_\_ or being built by \_\_\_\_\_

Construction must begin within 15 days of pre-construction meeting, and all construction activity must be concluded within 24 months of date of final approval of Improvements by the DRC.

\_\_\_\_\_  
RVRMA Representative

\_\_\_\_\_  
Date

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

\_\_\_\_\_  
Builder

\_\_\_\_\_  
Date

**QTY 1: 22.5"x15" 3mm Dibond Single Sided \$94.32ea+tax**



# RIVER VALLEY RANCH MASTER ASSOCIATION

## FINAL CONSTRUCTION CHECKLIST

BLOCK/LOT: \_\_\_\_\_

NAME: \_\_\_\_\_

RVR ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_

EMAIL: \_\_\_\_\_

---

**NOTICE:** In order for a Certificate of Completion to be issued and the Performance & Damage Deposit to be released, all items on this checklist must be completed and installed per the DRC approved plans.

---

_____	Certificate of Occupancy from the Town of Carbondale
_____	Improvement Location Certificate (ILC)
_____	Roof Penetrations
_____	Chimney (including spark arrestor and chimney cap)
_____	Solar Panel(s), if applicable
_____	Exterior Finishes
_____	Exterior Light Fixtures
_____	Exterior Amenities (e.g. shade structures, hot tubs, barbeque, play equipment)
_____	Driveway
_____	Grading
_____	Irrigation
_____	Landscaping
_____	Fencing
_____	Deer Fencing Storage
_____	Address monument
_____	Removal of construction items (e.g. fencing, sanitary facilities, dumpsters, materials)
_____	Repair of any on-site or off-site damage
_____	Other

## APPENDIX K Deposits, Fees & Fines

**Future Changes:** The following Deposits, Fees & Fines are subject to change by the RVRMA Executive Board after this Appendix was published. Only the Executive Board has the authority to impose or waive any fines, change deposit and fee amounts.

**Problematic Builders** may be placed in a non-preferred RVR builders list for repeated violations and/or fees may be increased for problematic Builders.

### Performance and Damage Deposits:

For all homesites, except as listed different below	\$15,000
Block B per homesite	\$20,000
Prefabricated homes	\$20,000
Remodels, Additions and other Improvements	case by case

### Design Review Fees, including 6 Inspections and 120 minutes if DRC time:

For all homesites, except as listed different below	\$4,000
Remodels, Additions and other Improvements	\$50 minimum
Additional DRC time (billed in quarter hours)	\$400/hr

**Fines, Builder Violations, Schedule of Fines:** As permitted under Article 13.4 of the Covenants: Compliance: Enforcement, the RVRMA has the right to impose fines, if necessary, for remedying Covenant violations. Below are the fines associated with common violations. Fines may be levied upon observance of a violation and may continue until the violation is corrected. All fines are per each violation.

**Fine Schedule:** Listed below represents the most common RVRMA Covenant and Design Guidelines violations. Any violations not listed below will be addressed by the DRC and the RVRMA Executive Board on a per item basis, and appropriate enforcement action will be determined. The minimum fine levied will be \$1000/day until the violation is corrected. Payment of a fine does not grant a variance for the violation. Repeated violations will be fined at \$2000/day. The property Owner is responsible for fine payment. Payment may be debited from the Damage and Performance Deposit upon proper notification of the Owner, or the Owner will receive a Reimbursement Assessment as defined in Section 10.10 of the Covenants.

Common Construction & Builder Regulation Violations and Fines

<u>Section Number</u>	<u>General Description of Violation</u>	<u>Daily Fine Amount per Violation</u>
7.35	Enforcement of Approved Design, Failure to construct building as approved, (per occurrence)	\$1000.00 to \$2,000 or such higher amount as warranted by the circumstances
9.13	Construction Area – Signage	
	Lot signage must be approved by RVR DRC	\$1000
	Failure to return RVR Construction Site Sign	\$1000
	Green construction perimeter fence installed prior to construction	\$1000
9.7	Access to Construction Areas	
	RVR Development roads usage	\$1000
	Proposed driveway graveled prior to construction start	\$1000
9.8	Vehicles and parking areas	\$1000
9.2/9.9	Storage of Materials and Equipment	\$1000
9.11	Construction Activity Times	
	Time of Construction	\$1000
	Temporary living	\$1000
9.12	Construction trailers/Temporary structures	\$1000
9.12	Sanitary Facilities	\$1000
9.18	Irrigation Damage Fines	
	• \$2000 for each main line break.	
	• \$1000 for each damaged valve.	
	• \$500 for each instance of damage to lateral service lines and irrigation heads.	



## RIVER VALLEY RANCH MASTER ASSOCIATION

### APPENDIX K - DEPOSITS, FEES, AND FINES

**Future Changes:** The following Deposits, Fees & Fines are subject to change by the RVRMA Executive Board after this Appendix was published. Only the Executive Board has the authority to impose or waive any fines, or change deposit and fee amounts.

**Problematic Builders** may be placed in a non-preferred RVR builders list for repeated violations and/or fees may be increased for problematic Builders.

**Performance and Damage Deposits**

For all homesites, except as listed differently below	\$15,000
For all multi-unit sites, (\$20K for the first unit; \$15 K for each unit thereafter)	\$20,000/\$15,000
Block B per homesite	\$20,000
Prefabricated homes	\$20,000
Homes 7,500 sq feet or greater	\$20,000
Remodels, Additions, and Other Improvements	By Case

**Design Review Fees, including 6 Inspections and 120 minutes of DRC time:**

For all homesites, except as listed differently below	\$4,500
Remodels, Additions and other Improvements	Minimum \$50
Additional DRC time (billed in quarter hours)	\$450

**Fines, Builder Violations, Schedule of Fines:** As permitted under *Article 13.4 of the Covenants: Compliance: Enforcement*, the RVRMA has the right to impose fines, if necessary, for remedying Covenant violations. Below are the fines associated with common violations. Fines may be levied upon observance of a violation and may continue until the violation is corrected. All fines are per each violation.

**Fine Schedule:** Listed below represents the most common RVRMA Covenant and Design Guidelines violations. Any violations not listed below will be addressed by the DRC and the RVRMA Executive Board on a per item basis, and appropriate enforcement action will be determined. The minimum fine levied will be \$1,000/day until the violation is corrected. Payment of a fine does not grant a variance for the violation. Repeated violations will be fined at \$2,000/day. The property Owner is responsible for fine payment. Payment may be debited from the Damage and Performance Deposit upon proper notification of the Owner, or the Owner will receive a Reimbursement Assessment as defined in Section 10.10 of the Covenants.

## RIVER VALLEY RANCH MASTER ASSOCIATION

### APPENDIX K - DEPOSITS, FEES, AND FINES

#### Common Construction and Builder Regulation Violations and Fines

Section Number	General Description of Violation	Daily Fine/ Per Violation
7.35	<b>Enforcement of Approved Design:</b> Failure to construct as approved (fine per occurrence)	\$1,000 to \$2,000 or higher as
9.13	<b>Construction Area Signage</b>	
	Lot Signage must be approved by the RVRMA DRC	\$1,000
	Failure to return RVR Construction Site sign	\$1,000
	Green construction perimeter fence installed prior to construction	\$1,000
9.7	<b>Access to Construction Areas</b>	
	RVR Development roads usage	\$1,000
	Proposed driveway graveled prior to construction start	\$1,000
9.8	<b>Vehicles and Parking Areas</b>	\$1,000
9.2/9.9	<b>Storage of Materials and Equipment</b>	\$1,000
9.11	<b>Construction Activity Times</b>	
	Time of construction	\$1,000
	Temporary living	\$1,000
9.12	<b>Construction Trailers/Temporary Structures</b>	\$1,000
9.12	<b>Sanitary Facilities</b>	\$1,000
9.18	<b>Irrigation Damage Fines</b>	
	Main Line break (each occurrence)	\$2,000
	Damaged valve (each occurrence)	\$1,000
	Damage to lateral service lines and irrigation heads (each occurrence)	\$500



# First Amendment To the RVR Master Design Guidelines

Seventh Edition, Revised March 8, 2010

*The following additions, relevant to Section 6.64 of the RVR Master Design Guidelines, were reviewed and unanimously approved by the RVR Design Review Committee on Thursday, May 31, 2012. For related information, refer to Section 6.64 of the RVR Master Design Guidelines.*

## **Section 6.6 - Improvements, Lawn Ornaments, Sculpture, Flag Poles, Structures, Play Structures**

### **6.64 – Landscape Structures, Play Equipment and Outdoor Cooking Facilities**

**6.64 a:** The Community Manager should continue to specifically and actively enforce the Design Guidelines and the Declaration of Conditions, Covenants and Restrictions with respect to playground equipment, a.k.a. "children's' recreational equipment." Playground equipment includes, but is not limited to swing sets, rope swings, slides, jungle gyms, trampolines, pools, soccer or hockey goals, tents, and play houses. Playground equipment does not include portable toys such as balls, bats, Frisbees, hula hoops, small splash pools etc. which may be used and re-stored manually, out of view by adjacent Owners, the Golf Course, Streets or Common areas, each day, after use. If non-compliant or nuisance installations are noticed by the Association or are brought to the attention of the Association, the Manager shall contact and officially notice the non-compliant or nuisance entity. The non-compliant or nuisance entity will be given 15 days to either (a) remove the subject placement, or (b) submit a revised plan of the site showing the proposed installation for approval by the Design Review Committee, per Section 3.1 and 3.9 of the Declaration and Section 3.14 and other relevant provisions of the Design Guidelines. If no action is taken within 15 days of notice, the Association will fine the non-compliant or nuisance entity as per Section 7.30 and Appendix K of the Design Guidelines and Section 10.10 of the Declaration. Fines may be up to \$1000 per offense.

**6.64 b:** Following are specific design criteria for Trampolines at River Valley Ranch:

1. The trampoline design criteria shall be an addition to Section 6.64 of the Development Guidelines, as revised, March 8<sup>th</sup>, 2010.

2. Trampolines will only be considered if the site accommodates such use as determined by the Design Review Committee.
3. Trampoline location shall be considerate of integration into the site plan for the entire property and adjacent properties.
4. Trampoline location shall not be within the front or side yards of any residence, trampolines must be located in the rear yard only and are encouraged to be located within the building envelope.
5. All trampolines must be installed in such a manner by which the surface of the trampoline is no more than 4 feet, not including safety netting, above the approved final grade of the trampoline location. Safety netting may not exceed 6 feet above surface of the trampoline. Trampolines designed for at-grade, pit installation are commercially available. At grade, pit installation may be the only option for installation in order to minimize the impact to adjacent property owners. There may be specific and unique circumstances presented by location, topography, existing conditions, vegetation etc. where an adjustment to this requirement may be considered by the Design Review Committee. Further, there may be specific and unique circumstances presented by location, topography, existing conditions, vegetation, view corridor, etc. that will make the installation of a trampoline impossible. These situations are determined at the sole discretion of the Design Review Committee.
6. All trampolines, support structures, nets, pads and all other related equipment shall be black or muted earth tones.
7. The DRC may require vegetative or structural screening to further hide the trampoline from adjacent property owners, the Common Interest Community and the Golf Course.
8. All trampolines which have been processed and approved by the DRC as of May 30<sup>th</sup>, 2012 shall be considered grandfathered and therefore not subject to this addition.
9. Any trampolines which have not been processed and approved the DRC, regardless of placement or installation date, are considered to be in violation of the Design Guidelines and the Master Declaration and will be dealt with accordingly.
10. Any trampoline approval is specific to a specific property. Trampolines, as an allowable use, are not a transferable right or approval from one property to another.

11. All approved trampolines must be kept in attractive, functional, and good working order.

12. All approved above-ground trampolines must be taken down and appropriately stored not later than November 15<sup>th</sup> of each year. Above-ground trampolines may not be set up earlier than April 1<sup>st</sup> of each year.

*The following addition, relevant to Section 7.0 of the RVR Master Design Guidelines, was reviewed and unanimously approved by the RVR Design Review Committee on Thursday, May 31, 2012. For related information, refer to Section 7.0 "Design Review Process of the RVR Master Design Guidelines.*

## **Section 7.0 – Design Review Process**

### **7.4 – Submittals for Improvement**

**7.4 a:** Upon submittal and determination of a complete Design Review Application, the DRC Administrator or Community Manager shall courtesy notice the immediately adjacent and abutting property owners via email at the email address of record that a DRC application has been submitted, is on file, and is available for review and comment for a period of 14 days from the date of notice, but prior to any Final review by the Design Review Committee. The noticed parties must provide comments, if any, to the DRC Administrator within the 14 day period. These comments will be provided to the Design Review Committee prior to or at the Final Review of the application. The notice, review and comment period and process is as a courtesy to adjacent property Owners only. Any and all comments received are non-binding upon Staff, the Design Review Committee, The DRC Administrator and the Executive Board of Directors.

## **Section 7.0 – Design Review Process**

### **7.51 – Non-Liability**

**7.51 a:** The following notice shall be affixed to all DRC forms. The Owner, the Owner's Representative, Architect and/or builder hereby acknowledge and understand the following: As per the Amended and Restated Master Declaration of Protective Covenants for River Valley Ranch, recorded March 25<sup>th</sup>, 1998, Reception No. 522481, B1059, P623, Section 4.20, (As amended) Non-liability for Approval or Disapproval of Plans and Specifications, Issuance for Certificates of Compliance, or for Registration of Builders, "Neither the Development (Design) Review Committee, any member thereof, the Master Association, the Executive Board nor the Declarant shall be liable to any Lot or Unit Owner, Occupant or other Person for any injury, damage, loss or prejudice suffered or claimed on

account of (a) the approval or disapproval of any plans, drawings or specifications, (b) the construction or performance of any work, whether or not pursuant to approved plans, drawings and specifications, whether or not defective (c) the issuance of a Certificate of Compliance for and Improvements, or (d) the development or manner of development of any property within the Common Interest Community.”

## Second Amendment To the RVR Master Design Guidelines

Seventh Edition, Revised March 8, 2010

*The following amendments, relevant to "Section 3 – Block A – The Settlement" of the RVR Master Design Guidelines, were reviewed and unanimously approved by the RVR Design Review Committee on Thursday, August 2, 2012.*

### Section 3 – Neighborhoods: Special Requirements

Settlement Roofs may be either Type A Cedar shakes or an asphalt/fiberglass composite roof with an allowance for secondary roofs, such as shed roofs to be covered in corrugated or standing seam metal. If the roof is to be a composite roof it is subject to the following criteria:

1. Multi-Tab, Thick-Butt Shingle
2. Architectural/Designer Grade Shingle
3. Lifetime limited warranty, 110 MPH wind warranty
4. Earth-tone, taupe color palette which is generally consistent with weathered cedar shake shingles and exterior finishes of surrounding Settlement homes
5. Acceptable representative product examples would be the GAF Grand Canyon in Stone Wood or Sedona Sunset and GAF Sequoia in Cedar, Mesa Brown or Weathered Wood

*The following addition, relevant to "Section 6.58.1 – Deer/Wildlife Fencing" of the RVR Master Design Guidelines, were reviewed and unanimously approved by the RVR Design Review Committee on Thursday, August 2, 2012.*

### Section 6 – Site Planning and Landscape Design

#### 6.58.1 – Deer/Wildlife Fencing

- **Storage:** Deer/Wildlife fencing must be stored offsite, indoors or in such a manner that it is not visible from adjacent properties, the golf course, or other common areas. If inappropriately stored deer/wildlife fencing is noticed by the Association or is brought to the attention of the Association, the Manager shall contact and officially notice the non-compliant entity. The non-compliant entity will be given 15 days to remove and properly store the deer fencing. If no action is taken within 15

days of notice, the Association may fine the non-compliant entity as per Section 7.30 and Appendix K of the Design Guidelines and Section 10.10 of the Declaration. Fines may be up to \$1000 per offense.



# Third Amendment To the RVR Master Design Guidelines

Seventh Edition, Revised March 8, 2010

*The following amendments, relevant to “Section 6 – Site Planning and Landscape Design, Item 6.67.1 – Political Signs of the RVR Master Design Guidelines, were reviewed and unanimously approved by the RVR Design Review Committee on Thursday, November 1, 2012.*

## Section 6 – Site Planning and Landscape Design: Special Requirements

### 6.58.1 – Political Sign Posting

By Colorado State statute, Homeowner Association residents cannot be denied the right to post political signs. HOA’s do have the right to stipulate aspects of the posting of political signs including but not limited to the size of the sign, height to which it may be posted, the methods and materials that can be used for posting, and time frame in which the signs may be posted.

The standards for posting political signs at River Valley Ranch are as follows:

1. Political Signs (PS) may not be larger than 36 inches wide and 24 inches tall.
2. PS must be plastic and POSTED on a standard issue 36 inches wide by 32 inches tall, 1/8<sup>th</sup> inch diameter galvanized steel frame.
3. No PS shall be posted higher than 36 inches from existing grade to top of sign.
4. No PS may be posted on any type of new or existing structure whatsoever including but not limited to, a residence, fence, sign, landscape feature, post, pole, etc. other than the structure specifically detailed in Item 2.
5. PS may be placed on a vehicle. However, PS must be magnetic or adhesive and attached to the vehicle, but no larger than 24”X36”.
6. No PS may be illuminated by any existing or new light fixtures or placements.
7. PS are subject to the Policies, Rules, Regulations, the CC& R’s and the DG’s (as amended) as well as Town of Carbondale Ordinance and Colorado State Statute.
8. Please reference Figure A below:

Please reference Figure A below:



# Proposed Fourth Amendment To the RVR Master Design Guidelines

Seventh Edition, Revised March 8, 2010

*The following amendment, relevant to “Section 6 – Site Planning and Landscape Design, Item 6.58.1 – Deer/Wildlife Fencing of the March, 2010 edition of the RVR Master Design Guidelines, were reviewed and unanimously approved by the RVR Design Review Committee on Thursday, September 5, 2013.*

## Section 6 – Site Planning and Landscape Design: Fences, Wall & Gates

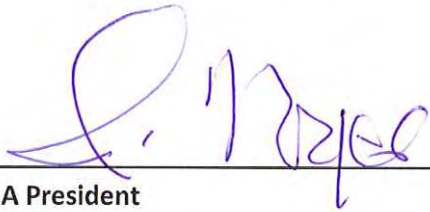
### 6.58.1 – Deer/Wildlife Fencing

- Maximum height: 7 feet
- Maximum continuous length of fence surrounding a group of plants: **300 feet**
- Fencing material: 12 or 14 gauge galvanized steel wire fencing is recommended to keep wildlife from reaching low lying branches. However, in areas that may not require a heavy gauge to prevent wildlife from reaching vegetation, such as in area with planting beds, a light gauge steel fencing (sold locally as “poultry fencing”) and fine plastic mesh fencing may be used.
- Color: Brown, black, grey, or dark green. Galvanized steel fencing may be painted or left bare.
- Mesh: The mesh shall have at least 94% open area. Mesh made of steel wire or of individual strands of plastic mesh meets this requirement. Stamped plastic mesh typically used as temporary construction fencing does not meet these specifications.
- Posts: Posts for fencing should be standard metal farm/ranch T-Post or wood with a maximum width (or diameter) of 4 inches, and should be of a subdued color as specified above. Wood posts may be left in their natural color.
- Properties that have typical rail fencing may erect plastic or wire deer fencing inside of or above the wooden fence. Maximum height is limited to 7 feet. The posts supporting the deer fencing shall not be greater than 2 inches in width. The mesh and posts shall conform to the above requirements in all other respects.
- **Allowable time frame:** This material may be erected from October 15<sup>th</sup> to May 1<sup>st</sup>. These are general dates as conditions may necessitate extending these dates, which will be at the discretion of the Executive Director. Additionally, those homeowners that live in high traffic areas for wildlife (upper Crystal Canyon Drive and Perry Ridge) will be allowed to extend the timeframe as conditions warrant, **subject to approval** of the Executive Director.

This Design Guideline may be amended from time to time by the Board of Directors.

PRESIDENT'S CERTIFICATION:

The undersigned, being the President of the RVRMA certifies that the foregoing resolution was adopted by the Board of Directors of the RVRMA at a duly called and noticed meeting of the Board of Directors held on this date 30 day of September, in the year 2013 and in witness thereof, the undersigned has subscribed his/her name.

  
\_\_\_\_\_  
RVRMA President

9/30/13  
\_\_\_\_\_  
Date adopted

# Fifth Amendment To the RVR Master Design Guidelines

Seventh Edition, Revised March 8, 2010

*The following amendment, relevant to Section 7 – Design Review Process, Subsection 7.7 – Meetings, Fees and Inspections of the March, 2010 edition of the RVR Master Design Guidelines, was reviewed and unanimously approved by the RVR Design Review Committee on February 26, 2013 and ratified by the RVRMA Board on February 26, 2013.*

## Section 7.0 – Design Review Process

### 7.7 – Meetings, Fees and Inspections

The following sentence will be added to the end of sub-section 7.7: "Once Preliminary design plans have been submitted to the DRC Administrator, there will be no refund for any portion of the Design Review Fee."

---

*The following amendments, relevant to Section: Appendix, Appendices C, D, H, I, J, and K of the March, 2010 edition of the RVR Master Design Guidelines, was reviewed and unanimously approved by the RVR Design Review Committee on February 26, 2013 and ratified by the RVRMA Board on February 26, 2013.*

## Section Appendix

### Appendices C, D, H, I, J and K

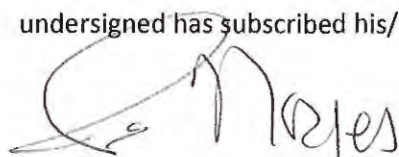
The existing Appendices C, D, H, I, J, and K will be replaced with the attached, updated Appendices C, D, H, I, J, and K.

---

The RVR Design Guidelines may be amended from time to time by the Board of Directors.

#### PRESIDENT'S CERTIFICATION:

The undersigned, being the President of the RVRMA certifies that the foregoing amendment was adopted by the Board of Directors of the RVRMA at a duly called and noticed meeting of the Board of Directors held on this date 26<sup>th</sup> day of February, in the year 2014 and in witness thereof, the undersigned has subscribed his/her name.



RVRMA President – Jim Noyes

2. 26. 14

February 26, 2014

## Sixth Amendment To the RVR Master Design Guidelines

Seventh Edition, Revised March 8, 2010

*The following amendment, relevant to **Section 3 – Neighborhoods: Special Requirements; Block B – Common Assessment** of the March, 2010 edition of the RVR Master Design Guidelines, was reviewed and unanimously approved by the RVR Design Review Committee on February 28, 2014.*

### **Section 3 – Neighborhoods: Special Requirements, Common Assessment**

The entire subsection entitled, Common Assessment which reads as follows, will be deleted:

“**Common Assessment:** Block B Neighborhood has a Limited Common Assessment organization that maintains all of the landscaping within the neighborhood. Landscaping and fencing are therefore required to be similarly consistent in pattern and designed to facilitate access by maintenance providers to front, side and back yards. Irrigation systems are required to be consistent in design and equipment type as the existing homes.”

---

*The following amendment, relevant to **Section 4 – Custom Homes, Subsection 4.6 – Single story buildings** of the March, 2010 edition of the RVR Master Design Guidelines, was reviewed and unanimously approved by the RVR Design Review Committee on February 28, 2014.*

### **Section 4.0 – Custom Homes: General Architectural Requirements**

#### **4.6 – Single story buildings**

Subsection 4.6 will be amended to include the following sentence: “Custom single story homes must comply with all custom home massing requirements and roof form requirements.”

---

*The following amendment, relevant to Section 6 – Site Planning and Landscape Design: Front, Side, & Back Yards, Subsection 6.23 – Front Yards of the March, 2010 edition of the RVR Master Design Guidelines, was reviewed and unanimously approved by the RVR Design Review Committee on February 28, 2014.*

## **Section 6.0 – Site Planning and Landscape Design: Driveways, Vehicle Access**

### **6.23 – Front Yards**

The fourth sentence which reads, “Bluegrass sod shall be placed in the front yard along the entire front property line to create continuity between the ROW sod or bike path and the private residence.” will be modified to read:

“Bluegrass sod or other material approved by the DRC shall be placed in the front yard along the entire front property line to create continuity between the ROW sod or bike path and the private residence.”

---

*The following amendment, relevant to Section 6 – Site Planning and Landscape Design: Driveways, Vehicle Access, Subsection 6.50 – Widths of the March, 2010 edition of the RVR Master Design Guidelines, was reviewed and unanimously approved by the RVR Design Review Committee on February 28, 2014.*

## **Section 6.0 – Site Planning and Landscape Design: Driveways, Vehicle Access**

### **6.50 – Widths**

**Widths:** Maximum driveway widths are limited to 12 feet, except as approved for parking and turn around areas and except as required for onsite parking, turning and flared entries. Flared entries (curb cuts) are limited to 3 feet on each side (18 foot curb cut). Exceptions may be approved where conditions with narrow restricted street access exist.

*The following amendment, relevant to Section 9 – Construction & Builder Regulations, Inspections and Changes, Subsection 9.4 – Construction Area of the March, 2010 edition of the RVR Master Design Guidelines, was reviewed and unanimously approved by the RVR Design Review Committee on February 28, 2014.*

**Section 9.0 – Construction & Builder Regulations, Inspections and Changes**

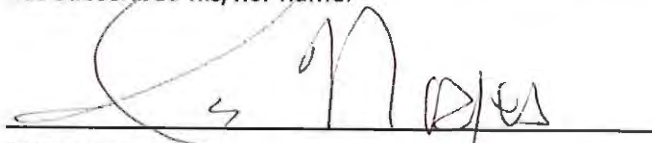
**9.4 – Construction Area**

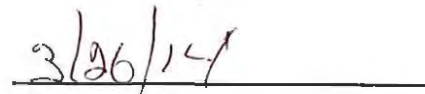
The sentence which reads, "Orange fencing is prohibited." will be deleted.

The RVR Design Guidelines may be amended from time to time by the Board of Directors.

**PRESIDENT’S CERTIFICATION:**

The undersigned, being the President of the RVRMA certifies that the foregoing amendment was adopted by the Board of Directors of the RVRMA at a duly called and noticed meeting of the Board of Directors held on this date 20<sup>th</sup> day of March, in the year 2014 and in witness thereof, the undersigned has subscribed his/her name.

  
\_\_\_\_\_  
RVRMA President

  
\_\_\_\_\_  
Date adopted



## Seventh Amendment To the RVR Master Design Guidelines

Seventh Edition, Revised March 8, 2010

*The following amendment, relevant to **Section 5.71 – Custom Homes: Specific Architectural Design Requirements – Exterior Equipment, Utilities, Meters, A/C Units, etc. - Irrigation Controls** of the March, 2010 edition of the RVR Master Design Guidelines, was reviewed and unanimously approved by the RVR Design Review Committee on August 25, 2014.*

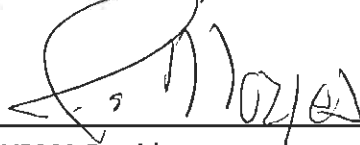
### **Section 5.71 – Custom Homes: Specific Architectural Design Requirements – Exterior Equipment, Utilities, Meters, A/C Units, etc. - Irrigation Controls**

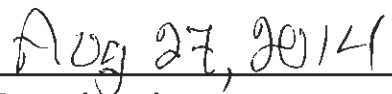
Subsection 5.71 will be amended to include the following sentences: “All Irrigation controllers must be installed on the exterior of the building and must be accessible at all times. All Irrigation systems installed after the date of this Amendment must be equipped with a wireless Hunter RainClick weather sensor or other weather sensors as reviewed and approved by the Design Review Committee or their designee. In-ground, soil moisture content sensing devices may also be considered.

The RVR Design Guidelines may be amended from time to time by the Board of Directors.

#### PRESIDENT’S CERTIFICATION:

The undersigned, being the President of the RVRMA certifies that the foregoing amendment was adopted by the Board of Directors of the RVRMA at a duly called and noticed meeting of the Board of Directors held on this date 27<sup>th</sup> day of August, in the year 2014 and in witness thereof, the undersigned has subscribed his/her name.

  
\_\_\_\_\_  
RVRMA President

  
\_\_\_\_\_  
Date adopted

# Eighth Amendment To the RVR Master Design Guidelines

Seventh Edition, Revised March 8, 2010

*The following amendment, relevant to Section 9 – Construction & Builder Regulations, Inspections and Changes, Subsection 9.4 – Construction Area of the March, 2010 edition of the RVR Master Design Guidelines, was reviewed and unanimously approved by the RVR Design Review Committee on April 15, 2015.*

## **Section 9.0 – Construction & Builder Regulations, Inspections and Changes**

### **9.4 – Construction Area**

The sentence which reads, "The construction area is required to be fenced with green mesh construction fencing or other materials approved by the DRC that must be maintained in good upright condition throughout the construction period." will be amended to read:

"The limits of disturbance or area otherwise affected by construction activity lot is required to be fenced with chain link construction fencing at least 6 feet in height and covered with green, wind-resistant, non-transparent fabric or other materials approved by the DRC that must be maintained in good upright condition throughout the construction period."

*The following amendment, relevant to Section 2 – Common Submittal Problems: "Hot Buttons", Omissions and Violations of the March, 2010 edition of the RVR Master Design Guidelines, was reviewed and unanimously approved by the RVR Design Review Committee on April 15, 2015.*

## **Section 2.0 – Common Submittal Problems: "Hot Buttons", Omissions and Violations**

### **2.0 – Common Submittal Problems: "Hot Buttons", Omissions and Violations**

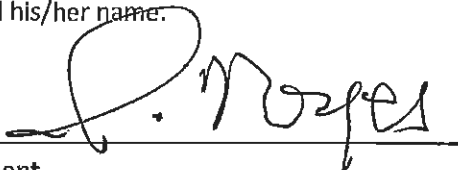
The following bullet shall be added to the "Hot Buttons", Omissions and Violations" list to read:

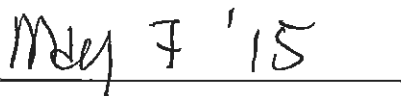
- Applicants are responsible for being familiar and compliant with the Town of Carbondale Code of Ordinances, including but not limited to: the 'Dark Sky' ordinance, Green Building code, Solar Access ordinance, and permeable surface requirements.

The RVR Design Guidelines may be amended from time to time by the Board of Directors.

PRESIDENT'S CERTIFICATION:

The undersigned, being the President of the RVRMA certifies that the foregoing amendment was adopted by the Board of Directors of the RVRMA at a duly called and noticed meeting of the Board of Directors held on this date 22<sup>nd</sup> day of April, in the year 2015 and in witness thereof, the undersigned has subscribed his/her name.

  
\_\_\_\_\_  
RVRMA President

  
\_\_\_\_\_  
Date adopted

# Ninth Amendment To the RVR Master Design Guidelines

Seventh Edition, Revised March 8, 2010

*The following amendment, relevant to Section 6.57 and 6.58 – Fences, Privacy Screens, and Site Retaining Walls of the March, 2010 edition of the RVR Master Design Guidelines, was reviewed and unanimously approved by the RVR Design Review Committee on February 23, 2017.*

## Section 6.57-6.58 – Fences, Privacy Screens, and Site Retaining Walls

### 6.57 - General: All Fences, Privacy Screens and Site Retaining Walls

- a. All fences, privacy screens and site retaining walls shall comply with all requirements of the Town of Carbondale, and have required permits prior to construction.
- b. All fences, privacy screens and site retaining walls shall be accurately drawn and located using an up-to-date survey. Drawings must show all construction materials, construction details, elevations and sections, as well as exact locations on the site plan.
- c. All fences, privacy screens and site retaining walls shall permit access for maintenance including adequate access widths and, where necessary, provide gates of adequate width for such access. Gates permitting maintenance access to a fenced in area shall have a minimum clear access width of 60 inches.

### 6.57.1 - Fences – Intent

- a. Per the RVRMA Design Guidelines (pg.1), it is the intent that all improvements (including fences) maintain a sense of open space linkages to the river and the surrounding hillsides.
- b. Fences shall maintain a visual continuity with adjacent open space uses such as the golf course, park areas or undisturbed native areas.
- c. The DRC will have broad latitude in the interpretation of fence compliance in order to support the overall aesthetic and functionality of RVR. Unique circumstances may result in a more restrictive interpretation of these Guidelines.

### 6.57.2 - Fences - Requirements

- a. Fences shall be wood structures and located as close to the residence property line as practically possible. Fences may connect from the property line back to the residential building(s) at two points.
- b. Fences are not permitted between the front faces of the residence (closest to each side property line) and the street. Although typically not permitted along a side property line abutting a street, on corner home sites the DRC will consider exceptions on a case-by-case basis where the area facing the street is useable recreational space typically reserved for a rear or side yard. However, the DRC's primary objective will be to preserve a consistent streetscape with the rest of the community, particularly with the neighboring home sites.
- c. Where practical, any new fences should respect and "tie into" the design of existing adjacent fencing.
- d. Where an existing fence runs along a neighboring property line, a new fence may not be installed adjacent to, and running parallel with, that existing fence.
- e. In order to meet the intent of the Design Guidelines outlined in paragraph 6.57.1 above, fences shall be limited to a two or three rail unpainted "corral fence" as illustrated on page 45 of the Design Guidelines.
  1. Exception 1: Any lot with under 10,000 square feet, whose rear property line abuts another residential property, may install a Type "A" or Type "B" unpainted vertical plank wood fence as illustrated on page 45 of the Design Guidelines, with a maximum height of 6 feet above adjacent ground, along the rear and/or side property lines where a rear or side property line abuts another residential property. When a Type "A" or Type "B" unpainted vertical plank fence is installed along a side property line, it shall not extend toward the front property line beyond the mid-point of the depth of the house. Unpainted vertical plank wood fences may be protected with an untinted stain.
  2. Exception 2: Block F fences may be replaced to match the existing fencing in Block F.
- f. Corral fences shall have a maximum height of 4 feet 6 inches at the top of rail. The DRC may approve the addition of a 12 or 14 gauge galvanized wire fencing attached to the corral fence to provide animal control; however additional landscape screening may be required.

### 6.57.3 Privacy Screens

- a. A privacy screen is an above grade structure within the building envelope built specifically for one of the following:
  - Visual screening of a patio, deck, hot tub or other outdoor living area.
  - Visual screening of parking or service areas otherwise visible from other home sites or public areas
- b. Privacy screens are not permitted between the front face of the house and the street.
- c. Privacy screens must be a visual extension of the design of the residence, and not totally enclose an outdoor area. They should appear to be part of the architecture of the house. The DRC will evaluate privacy screens using the same criteria used in the review of the design of the residence itself.
- d. Materials and colors of privacy screens must be compatible with the residential exterior walls, and conform to the same exterior color requirements.
- e. No privacy screen may continue in a disproportionately long unbroken plane. Privacy screens shall extend no more in length than that necessary to accomplish the required privacy.
- f. Privacy screens may not exceed 6 feet in height unless the DRC determines that the aesthetic of the residence might require a slightly higher privacy screen.
- g. Privacy screens must be located inside the building envelope.

### 6.57.4 Site Retaining Walls

- a. A site retaining wall is a site wall that retains earth on one side.
- b. Exposed construction materials shall be complementary to the exterior walls of the residence and the overall character of the neighborhood.
- c. The finish materials of the retaining wall shall continue down to finish grade so as to eliminate exposed or unfinished foundation walls. When stone veneer is used, the base course of stone must be 1/3 below grade to give the appearance of a true structural wall.
- d. Maximum height: The objective to minimize site disturbance suggests balanced cut and fill grading solutions, and in turn, reduces the need for tall retaining walls. However, if

retaining walls are required and they are separated from the structure of the residence, they may not exceed a height of 4 feet measured from the lowest natural grade adjacent to the wall to the top of wall.

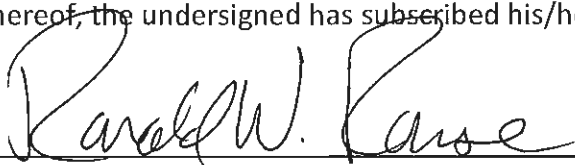
- e. Terraced retaining walls must be offset horizontally by a minimum distance of 3 feet to support viable plant materials in each terrace.

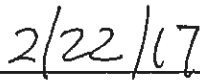
---

The RVR Design Guidelines may be amended from time to time by the Board of Directors.

**PRESIDENT'S CERTIFICATION:**

The undersigned, being the President of the RVRMA certifies that the foregoing amendment was adopted by the Board of Directors of the RVRMA at a duly called and noticed meeting of the Board of Directors held on this date 29<sup>th</sup> day of February, in the year 2017 and in witness thereof, the undersigned has subscribed his/her name.

  
 \_\_\_\_\_  
**RVRMA President**

  
 \_\_\_\_\_  
**Date adopted**

# Tenth Amendment To the RVR Master Design Guidelines

Seventh Edition, Revised March 8, 2010

*The following amendment, relevant to **Section 5.51 – Exterior Stairs** of the March, 2010 edition of the RVR Master Design Guidelines, was reviewed and unanimously approved by the RVR Design Review Committee on August 17, 2017.*

## Section 5.51 – Exterior Stairs

### 5.51 – Exterior Stairs

- a. **(The following sentence will remain, unchanged)** “Exterior stairs of more than half a story are prohibited. The DRC will make special review of such designs before approving them to ensure that the design is in keeping with the standards of quality and aesthetics required by these Guidelines.”
- b. **(The following sentence will be added, as follows:)** “Metal stair treads for exterior stairs (except for front entries) will be considered by the DRC on a case-by-case basis. The stair handrails and stringer must be of materials that are consistent with the standards of quality and aesthetics required by these Guidelines.”

The RVR Design Guidelines may be amended from time to time by the Board of Directors.

#### PRESIDENT’S CERTIFICATION:

The undersigned, being the President of the RVRMA certifies that the foregoing amendment was adopted by the Board of Directors of the RVRMA at a duly called and noticed meeting of the Board of Directors held on this date 30<sup>th</sup> day of August, in the year 2017 and in witness thereof, the undersigned has subscribed his/her name.

\_\_\_\_\_  
RVRMA President

\_\_\_\_\_  
Date adopted



# Eleventh Amendment To the RVR Master Design Guidelines

Seventh Edition, Revised March 8, 2010

*The following amendment, relevant to **Section 7.10 – Professionals** of the March 2010 edition of the RVR Master Design Guidelines, was reviewed and unanimously approved by the RVR Design Review Committee on February 21, 2018.*

---

## **(CURRENT)**

### **Section 7.10 – Professionals**

#### **7.10 – Professionals**

- a. “It is required that the Owner retain competent assistance from an architect, surveyor licensed in Colorado, and a landscape professional. All plans submitted for DRC Final Approval shall be stamped and signed by the Architect. A Lot topographical survey shall be signed and stamped by the surveyor. Additional assistance from other licensed design professionals such as a civil engineer is also recommended. The Owners and their consultant(s) should also carefully review the Covenants as well as these Guidelines, prior to commencing the design review process.”
- 

## **(PROPOSED)**

### **Section 7.10 – Professionals**

#### **7.10 – Professionals**

- a. “**New Residential Projects:** For all new residential project submittals, it is required that the Owner retain competent assistance from an architect licensed in the state of Colorado, surveyor licensed in Colorado, and a professional landscape architect. All plans for new residential projects submitted for DRC Final Approval shall be stamped and signed by the Architect. A current Lot topographical survey shall be signed and

stamped by the surveyor. Additional assistance from other licensed design professionals such as a civil engineer is also recommended.

All architectural, site, grading, and landscape drawings must comply with the submittal standards outlined in Appendix C – Preliminary Design Submittal Requirements, and Appendix D – Final Design Review Requirements of the RVRMA Design Guidelines.

The Owners and their consultant(s) should also carefully review the Covenants as well as these Guidelines, prior to commencing the design review process.”

- b. **“Revisions to Existing Properties** - All existing properties proposing to revise previously approved designs (including revisions to buildings, site improvements, grading, and/or landscaping) are subject to the same requirements identified in 7.10(a) above.

Drawings must be prepared/stamped by the relevant professional(s): architect, professional landscape architect, and/or civil engineer. Drawings must show both existing and proposed contours and improvements using an up-to-date survey.

On a case-by-case basis, the DRC may waive some requirements for minor landscaping and site improvement projects that do not involve the addition or modification of hardscape, retaining walls, structural elements, or changes to approved grading.

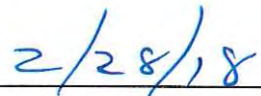
---

The RVR Design Guidelines may be amended from time to time by the Board of Directors.

PRESIDENT’S CERTIFICATION:

The undersigned, being the President of the RVRMA certifies that the foregoing amendment was adopted by the Board of Directors of the RVRMA at a duly called and noticed meeting of the Board of Directors held on this date 30<sup>th</sup> day of August, in the year 2017 and in witness thereof, the undersigned has subscribed his/her name.

  
\_\_\_\_\_  
RVRMA President

  
\_\_\_\_\_  
Date adopted



# Twelfth Amendment To the RVR Master Design Guidelines

Eighth Edition, Revised November 2017

*The following amendment, relevant to Section 7.10 – Meeting Agenda of the November 2017 edition of the RVR Master Design Guidelines, was reviewed and unanimously approved by the RVR Design Review Committee on November 1, 2018.*

## Section 7.- Design Review Process

### 7.14 – Meeting Agenda

**(Current):** To be placed on DRC agenda, Complete Submittal Packages are required a minimum of two (2) working days in advance of the regularly scheduled meeting. If there is no regularly scheduled meeting, the DRC will notify the Owner of the date of the meeting, which is to be held within 3 weeks of the submission. The DRC is required by the Covenants to respond within 45 days of receipt of the submittal materials, but it will make every attempt to provide a response within 15 days of each review meeting. Owners and architects are welcome, but not required to participate in the meeting. The DRC normally meets privately immediately prior to inviting the Owner or their representative to join the discussion. DRC response and Owner participation remain consistent at all other stages of the review process. The design review fee allows for 120 minutes of DRC review whether the applicant or a representative of the applicant is present or not. Meeting agendas allow pre-determined time allotments determined by the DRC Administrator. Multiple Preliminary Design Reviews may be necessary depending upon the design and at the discretion of the DRC.

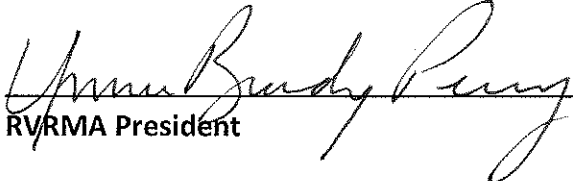
**(Proposed:)** To be placed on DRC agenda, Complete Submittal Packages are required a minimum of **five (5) working days** in advance of the regularly scheduled meeting. If there is no regularly scheduled meeting, the DRC will notify the Owner of the date of the meeting, which is to be held within 3 weeks of the submission. The DRC is required by the Covenants to respond within 45 days of receipt of the submittal materials, but it will make every attempt to provide a response within 15 days of each review meeting. Owners and architects are welcome, but not required to participate in the meeting. The DRC normally meets privately immediately prior to inviting the Owner or their representative to join the discussion. DRC response and Owner participation remain consistent at all other stages of the review process. The design review fee allows for 120 minutes of DRC review whether the applicant or a representative of the applicant is present or not. Meeting agendas allow pre-determined time allotments determined by the DRC Administrator. Multiple Preliminary Design Reviews may be necessary depending upon the design and at the discretion of the DRC.

---

The RVR Design Guidelines may be amended from time to time by the Board of Directors.

**PRESIDENT'S CERTIFICATION:**

The undersigned, being the President of the RVRMA certifies that the foregoing amendment was adopted by the Board of Directors of the RVRMA at a duly called and noticed meeting of the Board of Directors held on this date 14th day of November, in the year 2018 and in witness thereof, the undersigned has subscribed his/her name.

  
\_\_\_\_\_  
RVRMA President

11/20/18  
\_\_\_\_\_  
Date adopted