

ABBREVIATIONS INDEX	
ABBREVIATION	COMPONENT
A	
ACT	ACOUSTICAL CEILING TILE
ADA	AMERICANS WITH DISABILITIES ACT
ADJ	ADJACENT
AFF	ABOVE FINISH FLOOR
AHJ	AUTHORITY HAVING JURISDICTION
ALT	ALTERNATE
ALUM	ALUMINUM
APPROX	APPROXIMATELY
ARCH	ARCHITECT / ARCHITECTURAL
AVG	AVERAGE
B	
BD	BOARD
BLDG	BUILDING
BLKG	BLOCKING
BRG	BEARING
C	
C/C	CENTER TO CENTER
CAB	CABINET
CFMF	COLD FORMED METAL FRAMING
CG	CORNER GUARD
CIP	CAST IN PLACE
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACTOR
CORR	CORRIDOR
CPT	CARPET
CT	CERAMIC TILE
CTR	CENTER
CUH	CABINET UNIT HEATER

ABBREVIATIONS INDEX	
ABBREVIATION	COMPONENT
D	
DBL	DOUBLE
DEPT	DEPARTMENT
DET	DETAIL
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIAG	DIAGONAL
DN	DOWN
DR	DOOR
DS	DOWNSPOUT
DWG	DRAWING
E	
EIFS	EXTERIOR INSULATION & FINISH SYSTEM
EJ	EXPANSION JOINT
ELEC	ELECTRICAL
ELEV	ELEVATION
EQ	EQUAL
EQUIP	EQUIPMENT
EXIST	EXISTING
EXT	EXTERIOR
F	
FT	FIRE TREATED
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FIN	FINISH
FIX	FIXTURE
FLR	FLOOR
FT	FEET
G	
GALV	GALVANIZED
GYP	GYP SUM

ABBREVIATIONS INDEX	
ABBREVIATION	COMPONENT
H	
HB	HOSE BIBB
HD	HAND DRYER
HDW	HARDWARE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HVAC	HEATING, VENTILATING AND AIR CONDITIONING
I	
INSUL	INSULATION
INT	INTERIOR
J	
JAN	JANITOR
L	
LAV	LAVATORY
LF	LINEAR FEET
LVL	LEVEL
M	
M.O.	MASONRY OPENING
MAINT	MAINTENANCE
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MTL	METAL
N	
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE

ABBREVIATIONS INDEX	
ABBREVIATION	COMPONENT
O	
OC	ON CENTER
OPNG	OPENING
P	
PART	PARTITION
PERP	PERPENDICULAR
PLAM	PLASTIC LAMINATE
PLBG	PLUMBING
PLYWD	PLYWOOD
PREFIN	PREFINISHED
PROJ	PROJECTION / PROJECTOR
Q	
QT	QUARRY TILE
R	
RB	RESILIENT BASE
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REC	RECOMMENDATION / RECORD
REF	REFERENCE
REINF	REINFORCED
RM	ROOM
RO	ROUGH OPENING
ROW	RIGHT OF WAY
S	
SCH	SCHEDULE
SIM	SIMILAR

ABBREVIATIONS INDEX	
ABBREVIATION	COMPONENT
SPEC	SPECIFICATIONS
ST STL	STAINLESS STEEL
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
T	
TOPO	TOPOGRAPHY
TOS	TOP OF STEEL
TOW	TOP OF WALL
TWF	THRU WALL FLASHING
TYP	TYPICAL
U	
UG	UNDERGROUND
UH	UNIT HEATER
V	
VB	VINYL BASE
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VEST	VESTIBULE
VFY	VERIFY
VIF	VERIFY IN FIELD
VWC	VINYL WALL COVERING
W	
W/	WITH
W/O	WITHOUT
WC	WATER CLOSET
WDW	WINDOW
Y	
YD	YARD

GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS ETC. AND REPORT ANY DISCREPANCIES TO THE ARCHITECT
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR CONSTRUCTION AND PAY ALL INSPECTION FEES FOR ALL PORTIONS OF THE WORK
- CONTRACTOR SHALL VISIT THE SITE (INCLUDING MECHANICAL & ELECTRICAL SUB-CONTRACTORS) TO VERIFY ALL EXISTING CONDITIONS AND TO DETERMINE THE FULL EXTENT OF THE WORK REQUIRED TO COMPLETE THE DESIGN SHOWN ON THE PLANS.
- ALL CONTRACTORS SHALL MEET OR EXCEED ALL STATE OF MINNESOTA AND CITY OF MINNEAPOLIS CODES AND STANDARDS. EXISTING CODE REQUIREMENTS SHALL TAKE PRECEDENCE OVER WHAT IS SHOWN ON PLANS.
- CONTRACTOR SHALL PROVIDE ADEQUATE VENTILATION FOR WORKERS & ALL EMPLOYEES WHEN PAINTING OR USING ADHESIVES OR TOXIC CHEMICALS. PAINTING MAY HAVE TO BE DONE ON WEEKENDS IN OCCUPIED AREAS.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL SURFACES DAMAGED DUE TO CONSTRUCTION.

CONTRACTOR REQUIREMENTS

THIS WORK FOR THIS PROJECT INCLUDES ALL WORK NECESSARY TO COMPLETE THE GENERAL CONSTRUCTION.

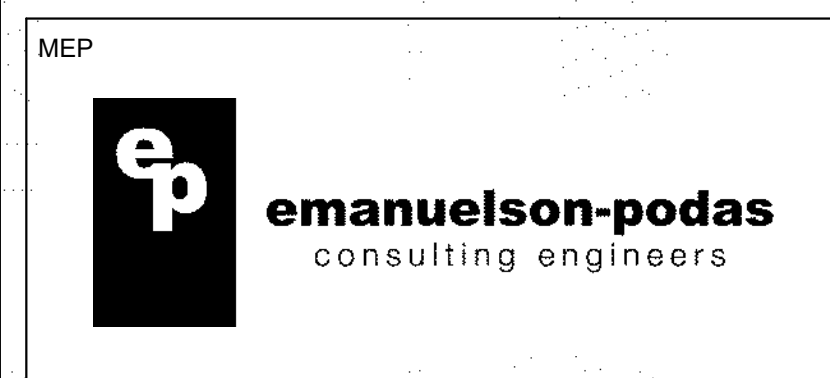
UNDER THIS CONTRACT THE CONTRACTOR SHALL:

- COORDINATE USE OF PREMISES WITH THE OWNER.
- CONTRACTOR'S WORK SHALL CONFORM TO THE OWNER'S WORK RULES AND SPECIFICATIONS.
- REPAIR OR REPLACE SITE DAMAGE TO CONDITIONS WHICH EXISTED PREVIOUS TO STARTING WORK.
- PLAN WORK SEQUENCE WITH OWNER AND ARCHITECT AND OBTAIN THEIR APPROVAL BEFORE STARTING WORK.
- NOTIFY OWNER AND ARCHITECT OF EXISTING SITE CONDITIONS THAT ARE IN CONFLICT WITH THE INTENT OF THESE DOCUMENTS.
- COORDINATE ALL WORK ON THE PROJECT. GENERAL CONTRACTOR SHALL PROVIDE A PROJECT SUPERINTENDENT TO MANAGE AND SUPERVISE THE WORK.
- EACH CONTRACTOR AND SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THEIR WORK.
- CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR PROTECTION AND SAFEKEEPING OF PRODUCTS UNDER THIS CONTRACT.
- IT IS THE RESPONSIBILITY OF SUPPLIERS TO PROVIDE MANUFACTURER'S SPECS AND SHOP DRAWINGS FOR FIXTURES AND EQUIPMENT TO THE ARCHITECT FOR APPROVAL. IT IS THE RESPONSIBILITY OF THE RELATED SUB-CONTRACTORS FOR FIELD VERIFICATION AND REVIEW OF SHOP DRAWINGS PRIOR TO FABRICATION APPROVAL OR FIELD CONSTRUCTION OF ANY RELATED WORK.
- PROVIDE A WASTE CONTAINER AND PAY FOR REMOVAL SERVICE OF ALL REFUSE AND WASTE MATERIALS GENERATED BY ALL PRIME CONTRACTORS AND SUB-CONTRACTORS. EACH SUB-CONTRACTOR WILL BE RESPONSIBLE FOR CLEAN-UP AND REMOVAL OF THEIR OWN WASTE MATERIALS FROM THE SITE. LEAVE THE SPACE VACUUM AND BROOM CLEAN. CLEAN ALL GLASS AND MIRRORS.
- RECEIVE AND VERIFY ALL OWNER SUPPLIED MATERIALS AND EQUIPMENT. ALL SHORTAGES AND DAMAGES SHALL BE DOCUMENTED ON RECEIVING TICKETS AND REPORTED TO OWNER AND ARCHITECT IMMEDIATELY UPON RECEIPT.
- FINAL CLEANING SHALL BE DONE BY A PROFESSIONAL CLEANING SERVICE OR EQUAL. PROVIDE OWNER WITH LABOR AND MATERIAL WARRANTIES AND SERVICE CONTRACTS FROM ALL SUB-CONTRACTORS AND EQUIPMENT AND MATERIAL MANUFACTURERS. THESE WARRANTIES SHALL BE IN EFFECT FOR A PERIOD OF ONE (1) YEAR FROM INSTALLATION DATE.

ALTERNATES:

- OMIT PERGOLA FROM SCOPE OF WORK
A. SHOWN AS KEYNOTE 8 ON ARCHITECTURAL SITE PLAN
- OMIT ADDITIONAL CAST-IN-PLACE PATH & STAIR FROM SCOPE OF WORK
A. SHOWN AS KEYNOTE 10 ON ARCHITECTURAL SITE PLAN
- PROVIDE ALTERNATE PRICING TO REPLACE CEMENTITIOUS SIDING PRODUCT WITH ACRE DIMENSION LUMBER SIDING FROM MODERN MILL
A. ASSUME 4" TONGUE & GROOVE HORIZONTAL LAP SIDING APPLICATION

SITE LOCATION MAP

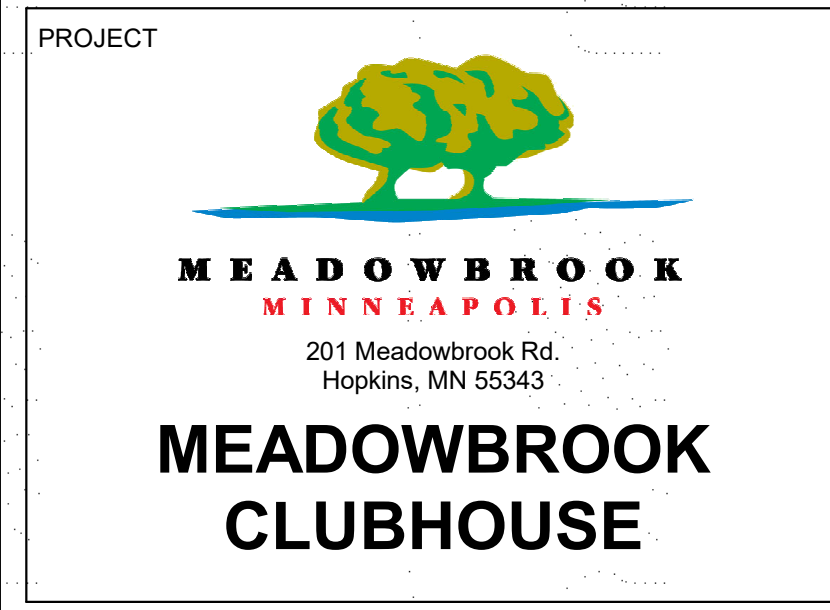


I hereby certify that this drawing was prepared by me or under my direct supervision and that I am a duly registered architect under the laws of the State of Minnesota.
 Title: XXXX
 By: _____ Date: XXXX
 Registration Number: XXXX

NOT FOR CONSTRUCTION



REVISION	DATE	DESCRIPTION	BY



DRAWING TITLE
COVER SHEET

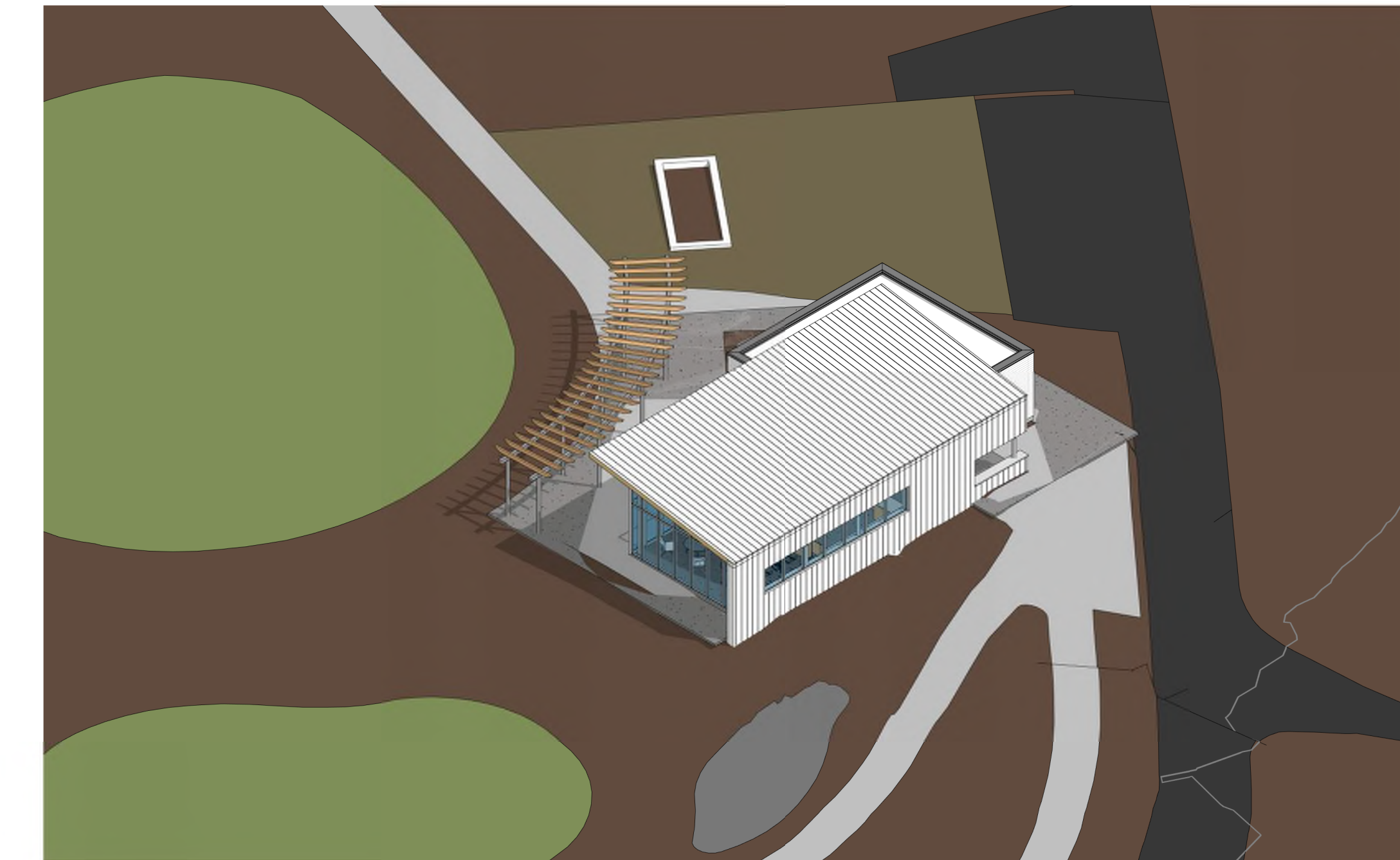
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MATERIALS LEGEND

	EARTH		MASONRY
	GRAVEL/COMPACTED FILL		TILE
	CONCRETE		MARBLE / SOLID SURFACE
	STEEL		GLASS
	ALUMINUM		FINISH MILLWORK
	CMU		WOOD BLOCKING
	BATT/LOOSE INSULATION		GYP SUM WALL BOARD
	RIGID INSULATION		PLYWOOD
	SPRAY FOAM INSULATION		PARTICLE BOARD
	MORTAR/GROUT		STONE

ANNOTATION LEGEND

	EXTERIOR WALL TAG		ELEVATION MARKER
	INTERIOR PARTITION TAG		REVISION TAG
	DOOR TAG		INTERIOR ELEVATION KEYNOTE
	EXTERIOR ELEVATION KEYNOTE		FLOOR PLAN KEYNOTE
	CEILING PLAN KEYNOTE		DEMO KEYNOTE
	EXTERIOR ELEVATION MARKER		INTERIOR ELEVATION MARKER
	BUILDING SECTION		WALL SECTION
	DETAIL SECTION		CALLOUT
	Room name 101		Room name 150 SF
	NORTH		NORTH



② OVERALL AXON


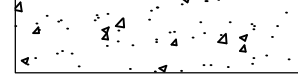




SHEET INDEX - ARCHITECTURAL		
SHEET NUMBER	COVER SHEET	SHEET NAME
a0.0		COVER SHEET
a1.0		SURVEY W/ NOTES
a2.1		OVERALL FLOOR PLAN
a3.1		EXTERIOR ELEVATIONS
a3.2		MATERIALS SAMPLES & EXAMPLES
a10.1		EXTERIOR RENDERINGS
a10.2		EXTERIOR RENDERINGS

NOTE:
EXISTING CONDITIONS INFORMATION SHOWN
FROM EGAN, FIELD AND NOWAK, INC.



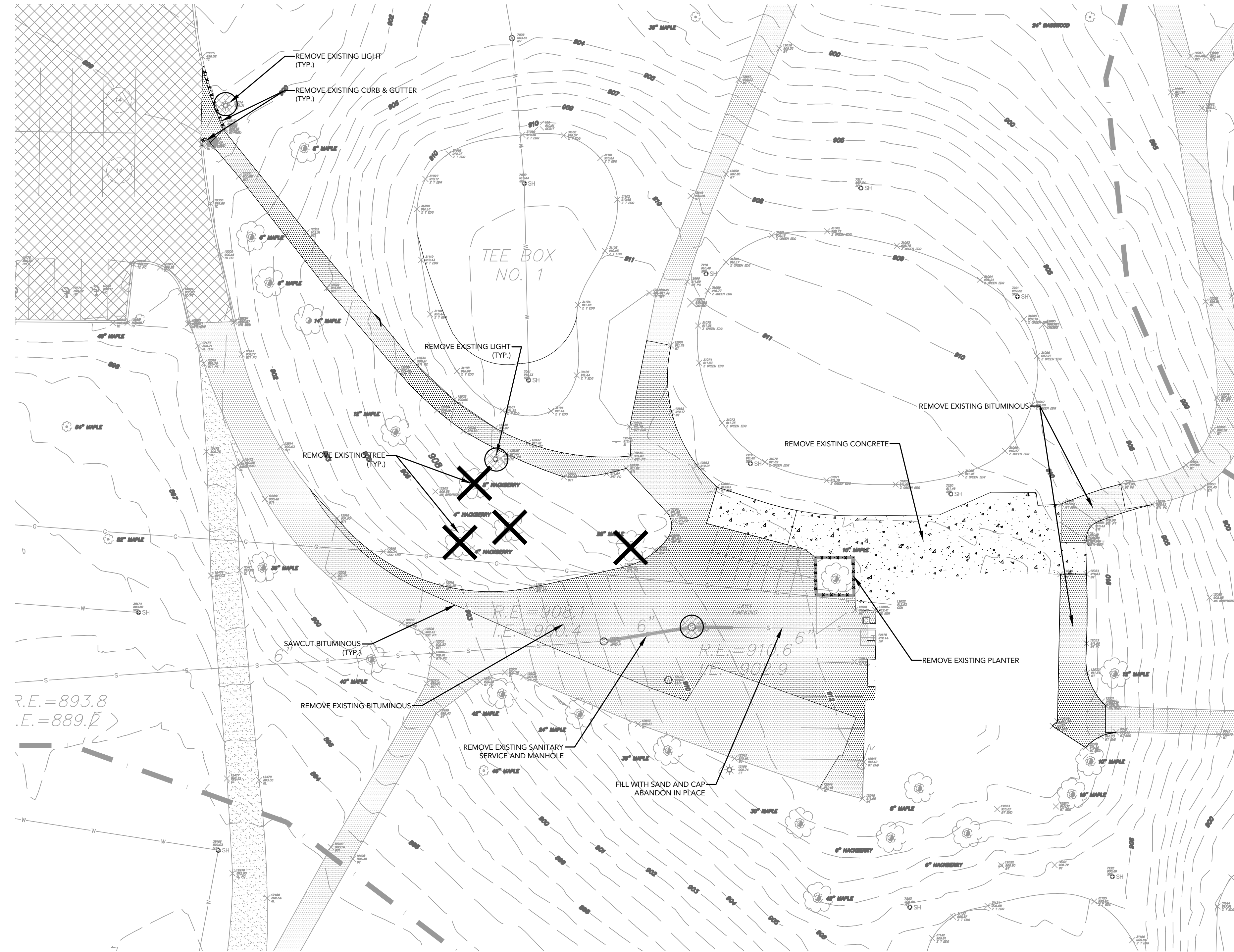
0 20 40
SCALE IN FEET

DEMOLITION LEGEND:

-  REMOVE EXISTING BITUMINOUS PAVING
-  REMOVE EXISTING CONCRETE PAVING
-  REMOVE EXISTING CURB & GUTTER, RETAINING WALLS, FENCE, ETC.
-  REMOVE EXISTING UTILITIES
-  REMOVE EXISTING MANHOLES, POWER POLES, LIGHT POLES, BOLLARDS, PARKING METERS, SIGNS, ETC.
-  REMOVE EXISTING TREES

DEMOLITION NOTES

1. CONTRACTOR SHALL REMOVE AND/OR RELOCATE EXISTING PRIVATE UTILITIES AS NECESSARY. CONTRACTOR TO COORDINATE ACTIVITIES WITH UTILITY COMPANIES.
2. CONTRACTOR SHALL PROTECT SURFACE AND SUBSURFACE FEATURES NOT NOTED FOR REMOVAL.
3. CLEAR AND GRUB AND REMOVE ALL TREES, VEGETATION AND SITE DEBRIS PRIOR TO GRADING. TOPSOIL SHALL BE STOCKPILED ON-SITE AND ALL OTHER REMOVED MATERIAL SHALL BE HAULED FROM THE SITE DAILY. ALL CLEARING AND GRUBBING AND REMOVALS SHALL BE PERFORMED PER THE CONTRACT SPECIFICATIONS. EROSION CONTROL MEASURES SHALL BE IMMEDIATELY ESTABLISHED UPON REMOVAL. SEE THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
4. CONTRACTOR SHALL REMOVE ALL SITE SURFACE FEATURES WITHIN REMOVAL LIMITS UNLESS OTHERWISE NOTED.
5. REFER TO TREE INVENTORY AND TREE REPLACEMENT PLAN FOR REMOVAL AND REPLACEMENT OF ON SITE TREES.



CALL BEFORE YOU DIG!
Gopher State One Call
TWIN CITY AREA: 651-454-0002
TOLL FREE: 1-800-252-1166

WARNING:

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HAGEN, CHRISTENSEN & MCILWAIN
ARCHITECTS
221 DEAN AVENUE SE • MINNEAPOLIS, MN 55407
TEL: (612) 554-1322 • FAX: (612) 554-7356

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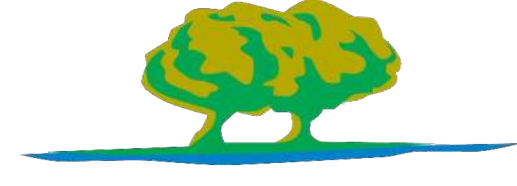
MEP
ep emanuelson-podas
consulting engineers

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
J. Van Dell - PE
License No. 41352 Date 10/06/2020
Loucks Project No. 20561.00

CLIENT / LANDSCAPE

Minneapolis
Park & Recreation Board

REVISION	DATE	DESCRIPTION	BY
	03/25/21	CITY SUBMITTAL	

PROJECT

MEADOWBROOK
MINNEAPOLIS
201 Meadowbrook Rd.
Hopkins, MN 55343
MEADOWBROOK
CLUBHOUSE

DRAWING TITLE
EXISTING CONDITIONS & DEMO

DRAWING NUMBER
C1-1

NOTE:
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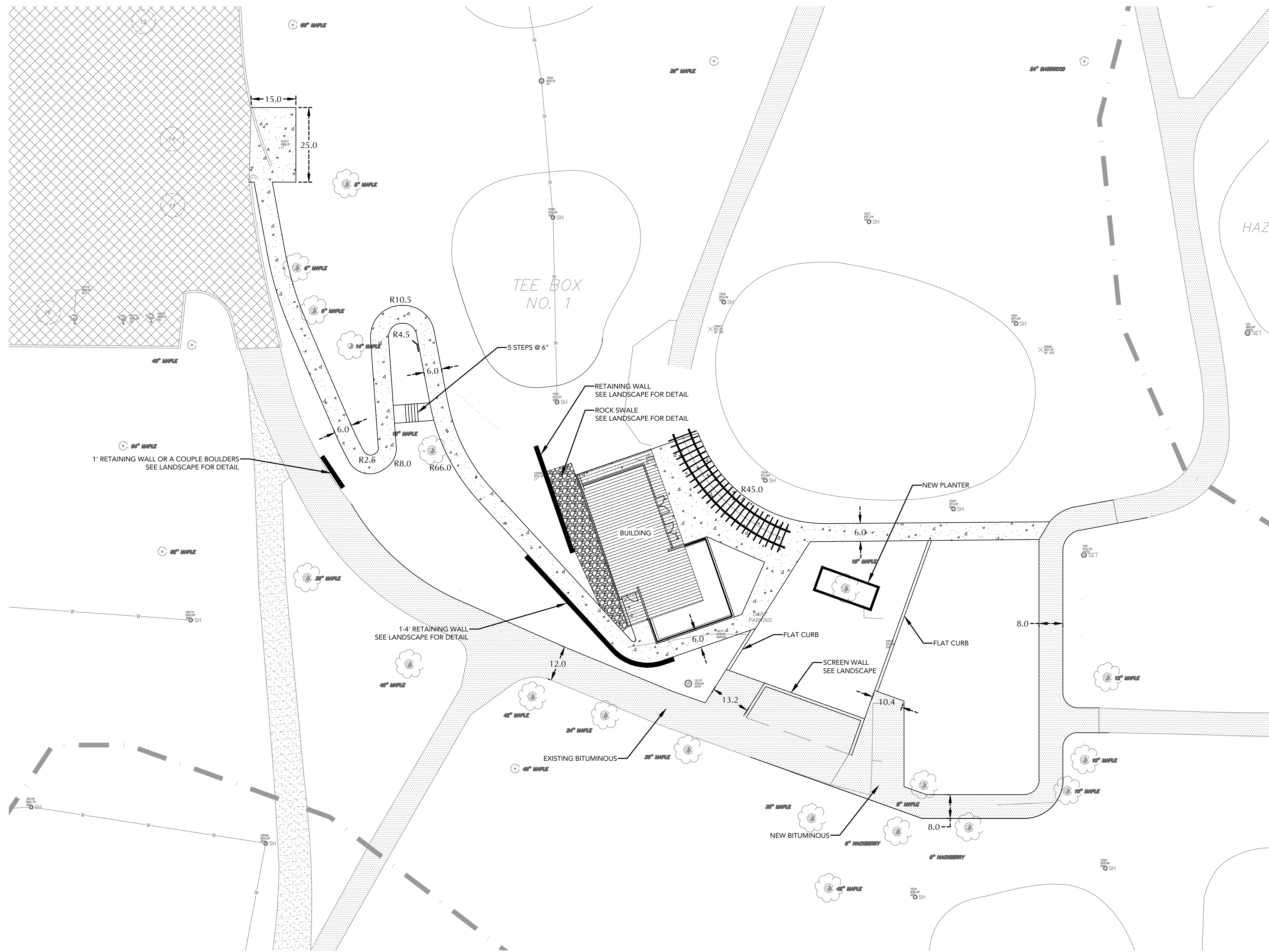
0 20 40
SCALE IN FEET

SITE NOTES

1. ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEET(S) AND STATE/LOCAL JURISDICTION REQUIREMENTS.
2. ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.
3. ALL CURB DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
4. ALL BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF WALL UNLESS OTHERWISE NOTED.
5. TYPICAL FULL SIZED PARKING STALL IS 9' X 18' UNLESS OTHERWISE NOTED.
6. BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS.

CIVIL LEGEND

	PROPOSED
CATCH BASIN	●
STORM MANHOLE	⊙
FLARED END SECTION	⊙
SANITARY MANHOLE	⊙
HYDRANT	⊙
GATE VALVE	⊙
POST INDICATOR VALVE	⊙
WATER MANHOLE / WELL	⊙
LIGHT POLE	⊙
POWER POLE	⊙
ELECTRIC METER	⊙
GAS METER	⊙
TELEPHONE PEDESTAL	⊙
SIGN	⊙
BENCHMARK	⊙
SOIL BORING	⊙
PARKING STALL COUNT	⊙
ACCESSIBLE PARKING STALL	⊙
STORM SEWER	—
DRAIN TILE	—
SANITARY SEWER	—
FORCE MAIN	—
WATER MAIN	—
SANITARY SEWER SERVICE	—
WATER SERVICE	—
UNDERGROUND ELECTRIC	—
UNDERGROUND FIBER OPTIC	—
UNDERGROUND GAS	—
UNDERGROUND TELEPHONE	—
OVERHEAD UTILITY	—
FENCE	—
CHAIN LINK FENCE	—
CONCRETE CURB	—
RETAINING WALL	—
CONCRETE	—
NO PARKING	—
BUILDING	—
CONTOUR	—
SPOT ELEVATION	—
DIRECTION OF FLOW	—
TREE LINE	—
PARKING SETBACK LINE	—
BUILDING SETBACK LINE	—



HAGEN, CHRISTENSEN & MCILWAIN
ARCHITECTS

CIVIL
LOUCKS

STRUCTURAL
BKBM ENGINEERS

MEP
emanuelson-podas consulting engineers

I hereby certify that this plan, specification or report prepared by me or under my direct supervision and seal as a duly Licensed Professional Engineer under the laws of the State of Minnesota.
J. Van Dell - PE
License No. 41352 Date 10/06/2020
Loucks Project No. 20561.00

CLIENT / LANDSCAPE
Minneapolis Park & Recreation Board

REVISION	DATE	DESCRIPTION	BY
	03/25/21	CITY SUBMITTAL	

PROJECT
MEADOWBROOK MINNEAPOLIS
201 Meadowbrook Rd.
Hopkins, MN 55343
MEADOWBROOK CLUBHOUSE

DRAWING TITLE
SITE PLAN

DRAWING NUMBER
C2-1

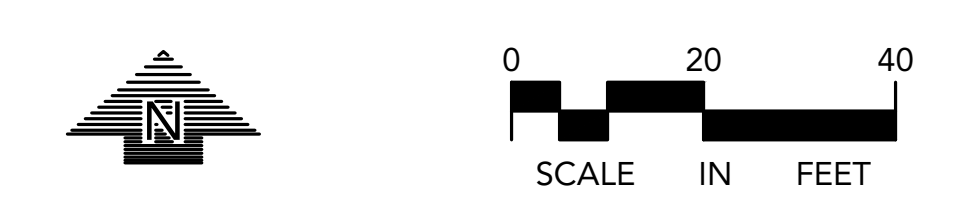
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3/19/2021 11:16:12 AM
C:\Users\left\Documents\2072 MPRB Meadowbrook Clubhouse_HCMarch\vt

NOTE:
EXISTING CONDITIONS INFORMATION SHOWN
FROM EGAN, FIELD AND NOWAK, INC.



CIVIL LEGEND

- | | |
|--------------------------|--|
| CATCH BASIN | |
| STORM MANHOLE | |
| FLARED END SECTION | |
| SANITARY MANHOLE | |
| HYDRANT | |
| GATE VALVE | |
| POST INDICATOR VALVE | |
| WATER MANHOLE / WELL | |
| LIGHT POLE | |
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| SIGN | |
| BENCHMARK | |
| SOIL BORING | |
| PARKING STALL COUNT | |
| ACCESSIBLE PARKING STALL | |
| STORM SEWER | |
| DRAINTILE | |
| SANITARY SEWER | |
| FORCEMAIN | |
| WATERMAIN | |
| SANITARY SEWER SERVICE | |
| WATER SERVICE | |
| UNDERGROUND ELECTRIC | |
| UNDERGROUND FIBER OPTIC | |
| UNDERGROUND GAS | |
| UNDERGROUND TELEPHONE | |
| OVERHEAD UTILITY | |
| FENCE | |
| CHAIN LINK FENCE | |
| CONCRETE CURB | |
| RETAINING WALL | |
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| NO PARKING | |
| BUILDING | |
| CONTOUR | |
| SPOT ELEVATION | |
| DIRECTION OF FLOW | |
| TREE LINE | |
| PARKING SETBACK LINE | |
| BUILDING SETBACK LINE | |

GRADING, DRAINAGE & EROSION CONTROL NOTES

- SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.16 FEET. RIM ELEVATIONS SHOWN ON PLANS DO NOT REFLECT SUMPED ELEVATIONS.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF TOP SOIL AND SEED/MULCH OR SOJ. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED.
- STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
- DUST MUST BE ADEQUATELY CONTROLLED.
- SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
- SEE UTILITY PLAN FOR WATER, SANITARY SEWER, AND STORM SEWER INFORMATION.
- SEE SITE PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.
- ADA ACCESSIBLE ROUTE SHALL HAVE A 5.0% MAXIMUM SLOPE IN THE DIRECTION OF TRAVEL AND A 2.0% MAXIMUM CROSS-SLOPE.
- ACCESSIBLE STALLS, ACCESS AISLES AND 60" TURNING CIRCLES SHALL HAVE A 2.0% MAXIMUM SLOPE IN ANY DIRECTION.



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HAGEN, CHRISTENSEN & MCILWAIN
ARCHITECTS
221 DEAN AVENUE, SUITE 200, MINNEAPOLIS, MN 55401
TEL: (612) 554-1322 FAX: (612) 554-7356

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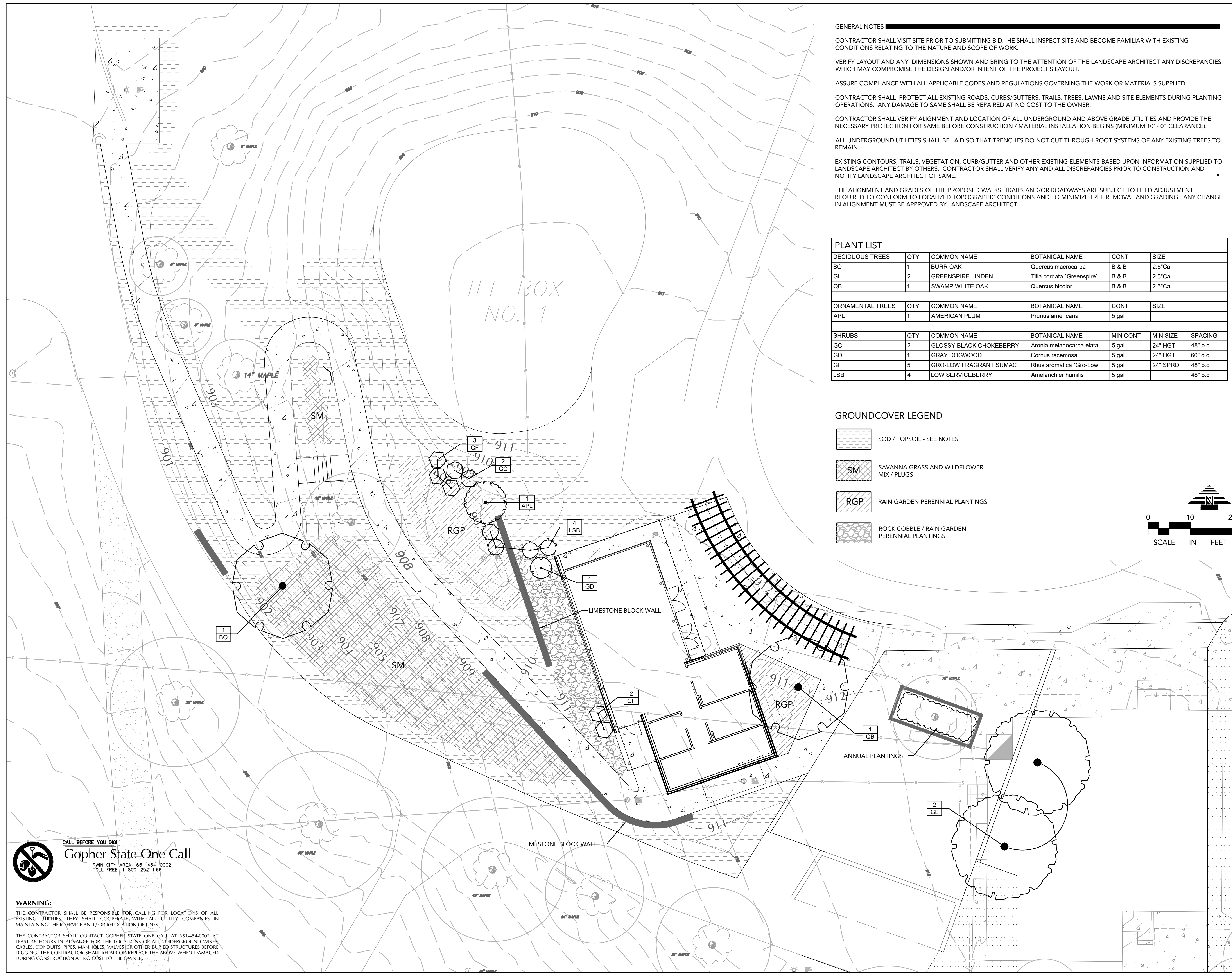
CLIENT / LANDSCAPE
Minneapolis Park & Recreation Board

REVISION	DATE	DESCRIPTION	BY
	03/26/21	CITY SUBMITTAL	

PROJECT
MEADOWBROOK MINNEAPOLIS
201 Meadowbrook Rd.
Hopkins, MN 55443
MEADOWBROOK CLUBHOUSE

DRAWING TITLE
GRADING PLAN

DRAWING NUMBER
C3-1



GENERAL NOTES

CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID. HE SHALL INSPECT SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF WORK.

VERIFY LAYOUT AND ANY DIMENSIONS SHOWN AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT ANY DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN AND/OR INTENT OF THE PROJECT'S LAYOUT.

ASSURE COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK OR MATERIALS SUPPLIED.

CONTRACTOR SHALL PROTECT ALL EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING PLANTING OPERATIONS. ANY DAMAGE TO SAME SHALL BE REPAIRED AT NO COST TO THE OWNER.

CONTRACTOR SHALL VERIFY ALIGNMENT AND LOCATION OF ALL UNDERGROUND AND ABOVE GRADE UTILITIES AND PROVIDE THE NECESSARY PROTECTION FOR SAME BEFORE CONSTRUCTION / MATERIAL INSTALLATION BEGINS (MINIMUM 10' - 0" CLEARANCE).

ALL UNDERGROUND UTILITIES SHALL BE LAID SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF ANY EXISTING TREES TO REMAIN.

EXISTING CONTOURS, TRAILS, VEGETATION, CURB/GUTTER AND OTHER EXISTING ELEMENTS BASED UPON INFORMATION SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. CONTRACTOR SHALL VERIFY ANY AND ALL DISCREPANCIES PRIOR TO CONSTRUCTION AND NOTIFY LANDSCAPE ARCHITECT OF SAME.

THE ALIGNMENT AND GRADES OF THE PROPOSED WALKS, TRAILS AND/OR ROADWAYS ARE SUBJECT TO FIELD ADJUSTMENT REQUIRED TO CONFORM TO LOCALIZED TOPOGRAPHIC CONDITIONS AND TO MINIMIZE TREE REMOVAL AND GRADING. ANY CHANGE IN ALIGNMENT MUST BE APPROVED BY LANDSCAPE ARCHITECT.




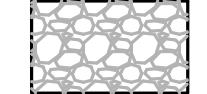
PLANT LIST

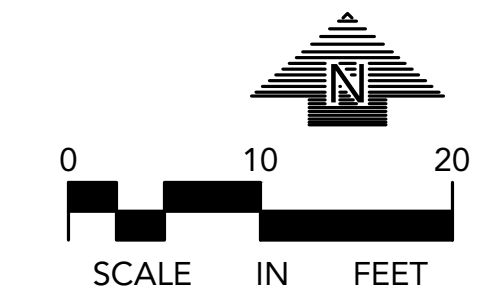
DECIDUOUS TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE
BO	1	BURR OAK	Quercus macrocarpa	B & B	2.5" Cal
GL	2	GREENSPIRE LINDEN	Tilia cordata 'Greenspire'	B & B	2.5" Cal
QB	1	SWAMP WHITE OAK	Quercus bicolor	B & B	2.5" Cal

ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE
APL	1	AMERICAN PLUM	Prunus americana	5 gal	

SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	MIN CONT	MIN SIZE	SPACING
GC	2	GLOSSY BLACK CHOKEBERRY	Aronia melanocarpa elata	5 gal	24" HGT	48" o.c.
GD	1	GRAY DOGWOOD	Cornus racemosa	5 gal	24" HGT	60" o.c.
GF	5	GRO-LOW FRAGRANT SUMAC	Rhus aromatica 'Gro-Low'	5 gal	24" SPRD	48" o.c.
LSB	4	LOW SERVICEBERRY	Amelanchier humilis	5 gal		48" o.c.

GROUNDCOVER LEGEND

-  SOD / TOPSOIL - SEE NOTES
-  SAVANNA GRASS AND WILDFLOWER MIX / PLUGS
-  RAIN GARDEN PERENNIAL PLANTINGS
-  ROCK COBBLE / RAIN GARDEN PERENNIAL PLANTINGS



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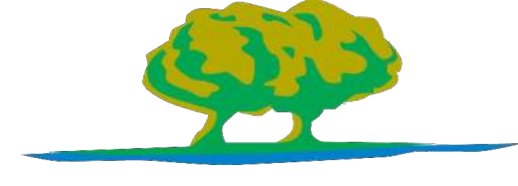

MEP


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Gregory Johnson - PL
 License No. 24410 Date 10/06/2020
 Loucks Project No. 20561.00
 Project Name VJV Review Date 03/23/21
 Drawn By GAJ
 Checked By VJV

CLIENT / LANDSCAPE


REVISION	DATE	DESCRIPTION	BY
	03/26/21	CITY SUBMITTAL	

PROJECT

MEADOWBROOK MINNEAPOLIS
 201 Meadowbrook Rd.
 Hopkins, MN 55343
MEADOWBROOK CLUBHOUSE

DRAWING TITLE
LANDSCAPE PLAN

DRAWING NUMBER
L1.1

3/19/2021 11:16:12 AM C:\Users\left\Documents\2072 MPRB Meadowbrook Clubhouse_HCMarch.rvt

CALL BEFORE YOU DIG

Gopher State One Call
 TWIN CITY AREA: 651-454-0002
 TOLL FREE: 1-800-252-1166

WARNING:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND / OR RELOCATION OF LINES.
 THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL AT 651-454-0002 AT LEAST 48 HOURS IN ADVANCE FOR THE LOCATIONS OF ALL UNDERGROUND WIRES, CABLES, CONDUITS, PIPES, MANHOLES, VALVES OR OTHER BURIED STRUCTURES BEFORE DIGGING. THE CONTRACTOR SHALL REPAIR OR REPLACE THE ABOVE WHEN DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.

REVISION	DATE	DESCRIPTION	BY
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THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL TREES IN A PLUMB POSITION THROUGH THE WARRANTY PERIOD. STAKING IS SUGGESTED, BUT NOT REQUIRED. ANY STAKING MUST CONFORM WITH PRACTICES AS DEFINED IN A.N.A. GUIDELINES FOR STANDARD PRACTICES

PRUNE DAMAGED AND CROSSING BRANCHES AFTER PLANTING IS COMPLETE.

CUT BACK WIRE BASKET

WATER TREE THOROUGHLY DURING PLANTING OPERATIONS. PLACE BACKFILL IN 8-12" LIFTS AND SATURATE SOIL WITH WATER. DO NOT COMPACT MORE THAN NECESSARY TO MAINTAIN PLUMB.

16"x2" POLYPROPYLENE OR POLYETHYLENE STRAP

TREE WRAP TO FIRST BRANCH

SAFETY FLAGGING - ONE PER WIRE

ROOT FLARE EVEN WITH OR JUST ABOVE GRADE.

MULCH - 4" DEEP. NO MULCH IN CONTACT WITH TRUNK - SEE NOTES OR SPECS.

2x ROOT BALL WIDTH

BACKFILL WITH IN SITU TOPSOIL

WOOD STAKE (OPTIONAL)

EDGE VARIES - SEE PLAN

SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING

SET PLANT ON UNDISTURBED NATIVE SOIL

CONTRACTOR IS RESPONSIBLE FOR TESTING PERCOLATION RATES PRIOR TO PLANTING. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY IF POOR DRAINAGE EXISTS.

1 DECIDUOUS TREE PLANTING

SCALE: 1/2" = 1'-0"

LOUCKS
Deciduous Tree Planting.dwg

REFER TO PLAN 18" MIN.

SHRUBS TO BE PLACED SO THAT TOP OF CONTAINER SITS FLUSH WITH PROPOSED GRADE.

PLANTING SOIL - SEE NOTES OR SPEC.

MULCH - 3" DEPTH - SEE NOTES OR SPEC.

LANDSCAPE FABRIC - SEE NOTES OR SPEC.

EDGING MATERIAL - SEE NOTES OR SPEC.

EDGE VARIES - REFER TO PLAN

LOOSEN ROOTS OF ALL CONTAINERIZED PLANTS. SCARIFY BOTTOM AND SIDES OF HOLE PRIOR TO PLANTING

2 SHRUB PLANTING

SCALE: 3/4" = 1'-0"

LOUCKS
Shrub Planting.dwg

VARIES SEE PLAN

MULCH - 3" MIN DEPTH - SEE NOTES

EDGING MATERIAL - SEE NOTES

EDGE VARIES - REFER TO PLAN

12" DEPTH (MIN) LOAM PLANTING SOIL - SEE NOTES

LOOSEN ROOTS OF PLANT MATERIAL PRIOR TO PLANTING

3 PERENNIAL PLANTING

SCALE: 3/4" = 1'-0"

LOUCKS
Perennial Planting.dwg

LANDSCAPE INSTALLATION

COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.

NO PLANTING WILL BE INSTALLED UNTIL COMPLETE GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

WHERE SOD/SEED ABUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.

SEED ALL AREAS DISTURBED DUE TO GRADING OTHER THAN THOSE AREAS NOTED TO RECEIVE SOD. MULCH FOR TURF SEEDED AREAS SHALL BE TYPE 5 WOOD FIBER HYDROMULCH CONFORMING WITH MNDOT 3884. MULCH FOR SEEDED AREAS WITH SLOPES 15% OR GREATER SHALL BE MNDOT CATEGORY 1, STRAW RD 15 BLANKET CONFORMING WITH MNDOT 3885.

SOD ALL DESIGNATED AREAS DISTURBED DUE TO GRADING. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SOD SHALL BE STAKED TO THE GROUND.

ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN. UNLESS NOTED OTHERWISE, ALL SHRUBS SHALL HAVE AT LEAST 3 CANES AT THE SPECIFIED MINIMUM SHRUB HEIGHT OR WIDTH. ORNAMENTAL TREES SHALL HAVE NO V-CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' ABOVE ROOT BALL. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 5' ABOVE FINISHED GRADE.

ANY CONIFEROUS TREE PREVIOUSLY PRUNED FOR CHRISTMAS TREE SALES SHALL NOT BE USED. ALL CONIFEROUS TREES SHALL BE FULL FORM, NATURAL TO THE SPECIES, WITHOUT PRUNING.

PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES.

NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF A BID AND/OR QUOTATION.

ALL PROPOSED PLANTS SHALL BE LOCATED AND STAKED AS SHOWN ON PLAN. ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED.

ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH A 27-3-3 SLOW RELEASE FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS. PLANTS MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 27-3-3 AT 6 OZ PER 2.5" CALIPER PER TREE AND 3 OZ PER SHRUB WITH AN ADDITIONAL APPLICATION OF 27-3-3 THE FOLLOWING SPRING IN THE TREE SAUCER.

ALL PLANTING AREAS RECEIVING GROUND COVER, PERENNIALS, ANNUALS, AND/OR VINES SHALL RECEIVE A MINIMUM OF 12" DEPTH OF PLANTING SOIL CONSISTING OF AT LEAST 45 PARTS TOPSOIL, 45 PARTS PEAT OR MANURE AND 10 PARTS SAND.

ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. REMOVE ALL FLAGGING AND LABELS FROM PLANTS.

WRAPPING MATERIAL SHALL BE CORRUGATED PVC PIPING 1" GREATER IN CALIPER THAN THE TREE BEING PROTECTED OR QUALITY, HEAVY, WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER 5-1.

COMMERCIAL GRADE 5" BLACK POLY EDGER TO BE USED TO CONTAIN SHRUBS, PERENNIALS, AND ANNUALS WHERE BED MEETS SOD/SEED UNLESS NOTED OTHERWISE.

MULCH SHALL BE CLEAN SHREDDED HARDWOOD MULCH WITH UNIFORM PIECE SIZE. ALL ANNUAL AND PERENNIAL BEDS TO RECEIVE 3" OF MULCH WITH NO WEED BARRIER. ALL SHRUB BED MASSINGS TO RECEIVE 3" DEEP MULCH WITH A FIBER MAT WEED BARRIER. ALL TREES NOT IN PLANTING BEDS TO RECEIVE 4" DEEP MULCH WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.

SPREAD GRANULAR PRE EMERGENT HERBICIDE (PREEN OR EQUAL) PER MANUFACTURER'S RECOMMENDATIONS UNDER ALL MULCHED AREAS.

MAINTENANCE STRIPS TO HAVE EDGER AND MULCH AS SPECIFIED/INDICATED ON DRAWING OR IN SPECIFICATION.

ROCK MULCH SHALL BE 1"-1-1/2" GREY TRAP ROCK, 4" DEEP OVER A FIBER MAT WEED BARRIER.

IF THE LANDSCAPE CONTRACTOR IS CONCERNED OR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR GUARANTEE, HE MUST BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT AND/OR INSTALLATION.

CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF ALL LANDSCAPE AND SITE IMPROVEMENTS.

CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL PROVIDE THE OWNER WITH A MAINTENANCE PROGRAM INCLUDING, BUT NOT NECESSARILY LIMITED TO, PRUNING, FERTILIZATION AND DISEASE/PEST CONTROL.

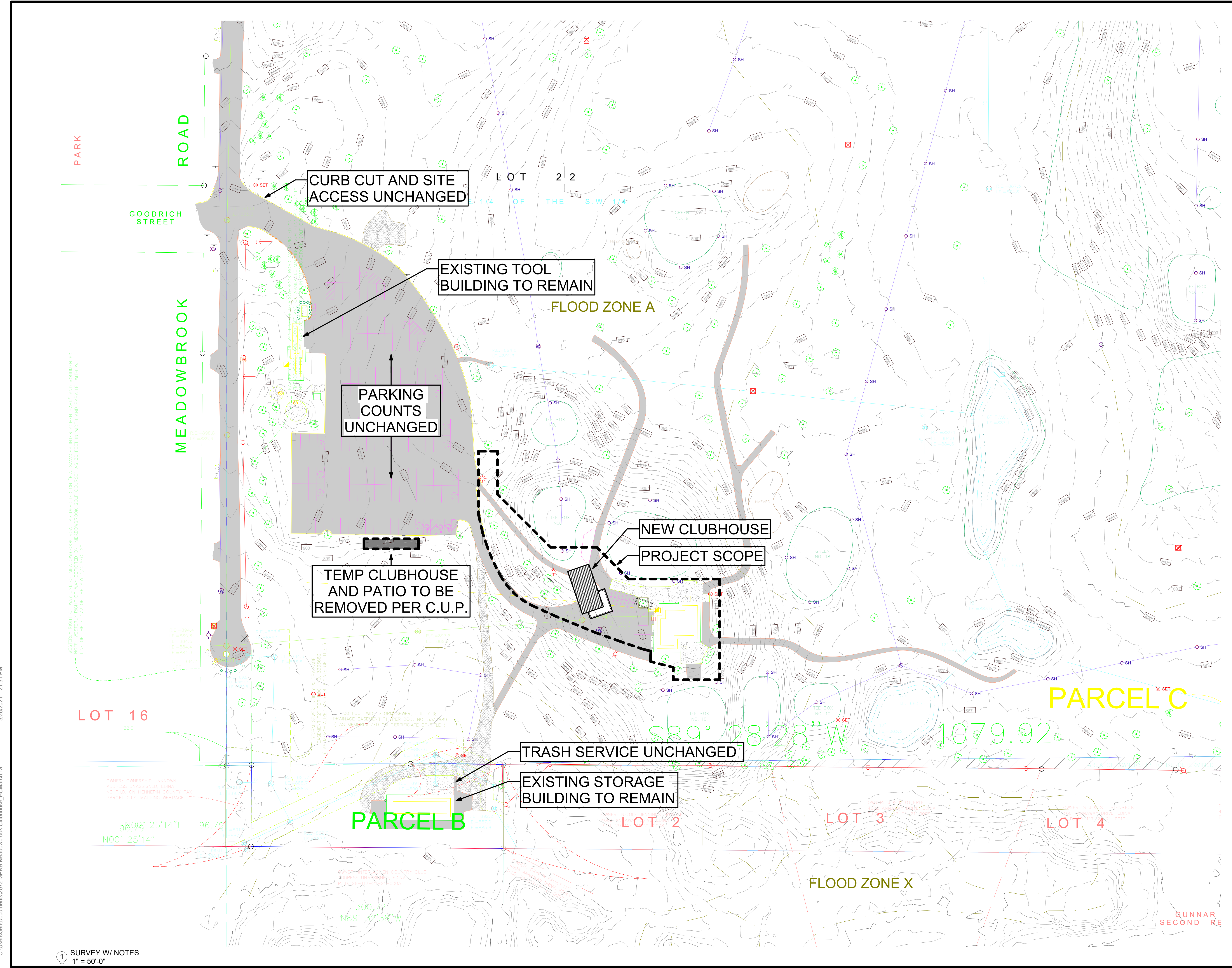
CONTRACTOR SHALL WARRANTY NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR. WARRANTY SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.

UNLESS NOTED OTHERWISE THE APPROPRIATE DATES FOR SPRING PLANT MATERIAL INSTALLATION AND SEED/SOD PLACEMENT IS FROM THE TIME GROUND HAS THAWED TO JUNE 15.

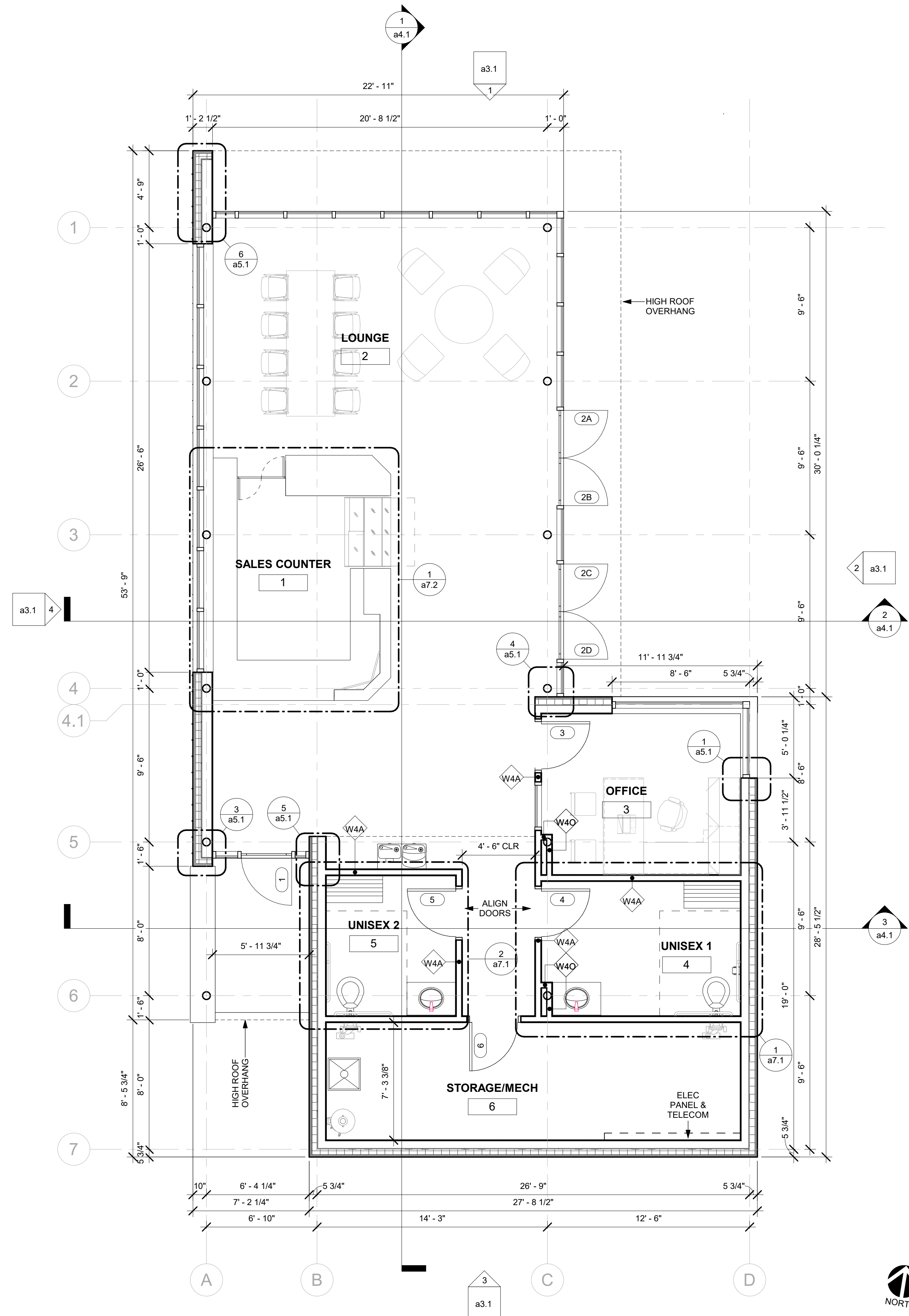
FALL SODDING IS GENERALLY ACCEPTABLE FROM AUGUST 15 - NOVEMBER 1. FALL SEEDING FROM AUGUST 15 - SEPTEMBER 15; DORMANT SEEDING IN THE FALL SHALL NOT OCCUR PRIOR TO NOVEMBER 1. FALL CONIFEROUS PLANTING MAY OCCUR FROM AUGUST 15 - OCTOBER 1 AND DECIDUOUS PLANTING FROM THE FIRST FROST UNTIL NOVEMBER 15. PLANTING OUTSIDE THESE DATES IS NOT RECOMMENDED. ANY ADJUSTMENT MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

LANDSCAPE CONTRACTOR SHALL ESTABLISH TO HIS SATISFACTION THAT SOIL AND COMPACTION CONDITIONS ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AT AND AROUND THE BUILDING SITE.

REVISION	DATE	DESCRIPTION	BY



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1 OVERALL FLOOR PLAN - LEVEL 1
1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL CONDITIONS AND REPORT DISCREPANCIES TO THE ARCHITECT OR OWNER, PRIOR TO BEGINNING CONSTRUCTION.
2. REFER TO SHEET a9.1 FOR CEILING SCOPE OF WORK.
3. REFER TO SHEET 12.1 FOR FINISHES AND FFE SCOPE OF WORK.
4. ALL ROOMS TO RECEIVE ACCESSIBLE ROOM SIGNAGE PER CODE.
5. ALL ELECTRICAL OUTLETS, SWITCHES, THERMOSTATS, PRESSURE MONITORS, ETC. TO BE VERIFIED WITH OWNER ON-SITE BEFORE WALLS ARE CLOSED UP.
6. SEE CIVIL DRAWINGS FOR FIRST FLOOR ELEVATION EQUIVALENT TO 100'-0" FOR LEVEL 1 IN ARCHITECTURAL DRAWINGS.
7. ALL PENETRATIONS THROUGH NON-RATED FLOORS, WALLS AND OTHER ASSEMBLIES SHALL BE SEALED AT BOTH SIDES WITH MATERIALS APPROPRIATE TO THE ASSEMBLY CONSTRUCTION TO REDUCE SOUND TRANSMISSION.
8. ALL PENETRATIONS THROUGH FIRE-RATED FLOORS, WALLS, AND OTHER ASSEMBLIES SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DETAILS THAT CONFORM TO UL OR OTHER APPROVED LISTINGS AND MATCH THE RATING OF THE CONSTRUCTION BEING PENETRATED.
9. PROVIDE BLOCKING AS REQUIRED TO SUPPORT ALL WALL MOUNTED ITEMS (INCLUDING, BUT NOT LIMITED TO, MAP RAILS, MARKER BOARDS, SIGNAGE, CASEWORK, MILLWORK, AND TOILET ACCESSORIES).
10. PROVIDE BLOCKING AT RAILINGS AND GUARDRAILS CAPABLE OF SUPPORTING THE POINT AND UNIFORM LOADS REQUIRED BY CODE.
11. VERIFY CLEARANCES REQUIRED FOR INSTALLATION OF ALL RECESSED OR SEMI-RECESSED EQUIPMENT AND FIXTURES (E.G. CABINETS, DISPENSERS, PANELS, ETC.) NOTIFY ARCHITECT IMMEDIATELY IF SPECIFIED WALL TYPES DO NOT PROVIDE ADEQUATE SPACE FOR PROPER INSTALLATION.
12. FLOOR PLAN DIMENSIONS ARE LOCATED FROM THE FINISHED FACE OF PARTITIONS, UNLESS NOTED OTHERWISE.
13. ALL MASONRY DIMENSIONS ARE NOMINAL UNLESS NOTED OTHERWISE.
14. THE NOTATION "NO WORK" INDICATES THAT SUBSTANTIAL CONSTRUCTION ACTIVITIES ARE NOT ANTICIPATED IN THE DESIGNATED ROOM OR AREA. INCIDENTAL MODIFICATION OR CONSTRUCTION MAY BE REQUIRED TO ACCOMMODATE NEW WORK / SYSTEMS AS INDICATED ON OTHER DRAWINGS.
15. DO NOT SCALE DRAWINGS; DIMENSIONS SHALL GOVERN.

FLOOR PLAN - SYMBOL KEY

- EXISTING PARTITIONS TO REMAIN
- NEW PARTITIONS, SEE PARTITION TYPES
- EXISTING DOOR TO REMAIN
- NEW DOOR
- DOOR NUMBER - SEE SCHEDULE ON SHEET a8.1
- NO WORK IN THIS AREA
- CR CARD READER
- FE FIRE EXTINGUISHER

KEYNOTES - FLOOR PLANS

Number	Description
1	ESPN

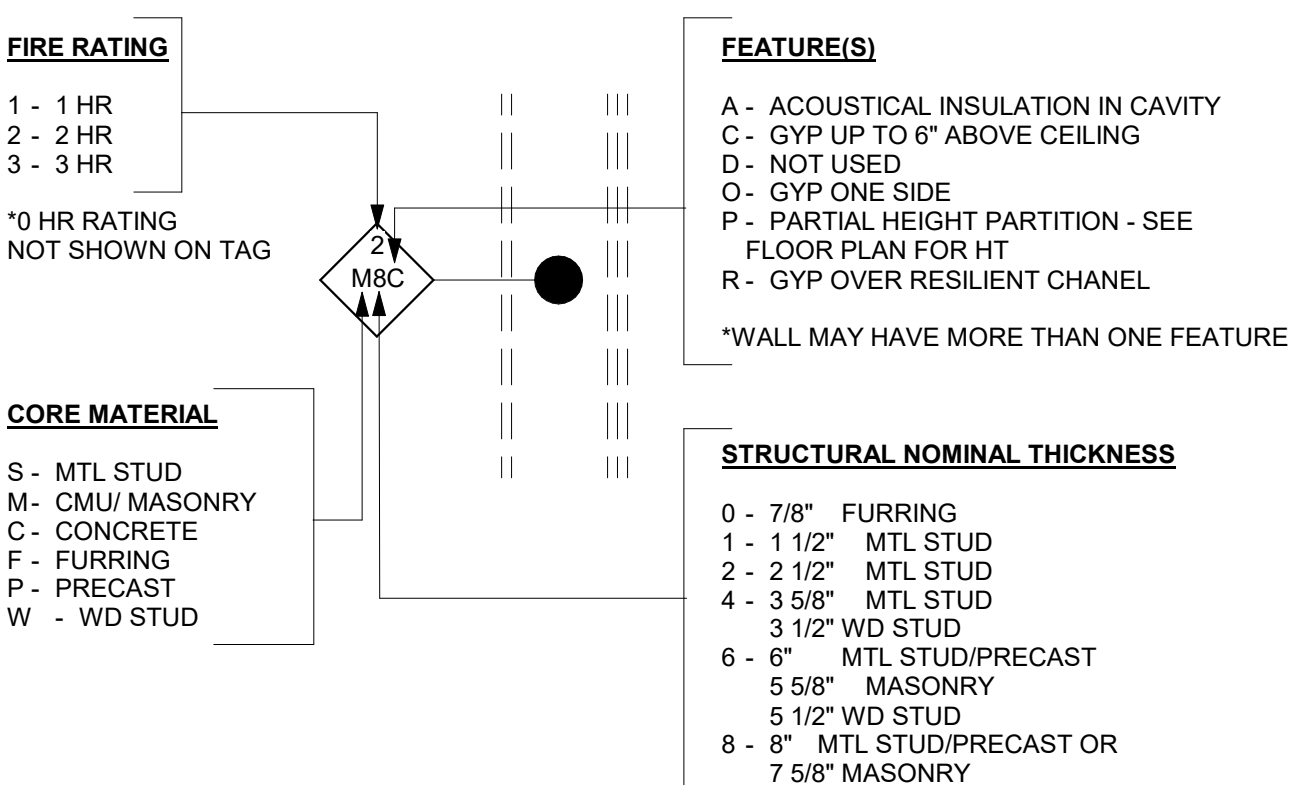
ALTERNATES:

1. OMIT PERGOLA FROM SCOPE OF WORK
2. SHOWN AS KEYNOTE 8 ON ARCHITECTURAL SITE PLAN
3. OMIT ADDITIONAL CAST-IN-PLACE PATH & STAIR FROM SCOPE OF WORK
4. SHOWN AS KEYNOTE 10 ON ARCHITECTURAL SITE PLAN
5. PROVIDE ALTERNATE PRICING TO REPLACE CEMENTITIOUS SIDING PRODUCT WITH ACRE DIMENSION LUMBER FROM MODERN MILL
6. ASSUME 4" TONGUE & GROOVE HORIZONTAL LAP SIDING APPLICATION

INTERIOR PARTITION TYPE SCHEDULE

MARK	WIDTH	FIRE RATING	DESCRIPTION
W4	4 3/4"		5/8" GYP BOARD, 3-1/2" WOOD FRAMING, 5/8" GYP BOARD
W4A	4 3/4"		5/8" GYP BOARD, 3-1/2" WOOD FRAMING WITH MINERAL WOOL INSULATION IN CAVITY, 5/8" GYP BOARD
W4O	4 1/8"		5/8" GYP BOARD, 3-1/2" WOOD FRAMING, 5/8" GYP BOARD ONE SIDE

INTERIOR PARTITION TYPE LEGEND



ADDITIONAL NOTES

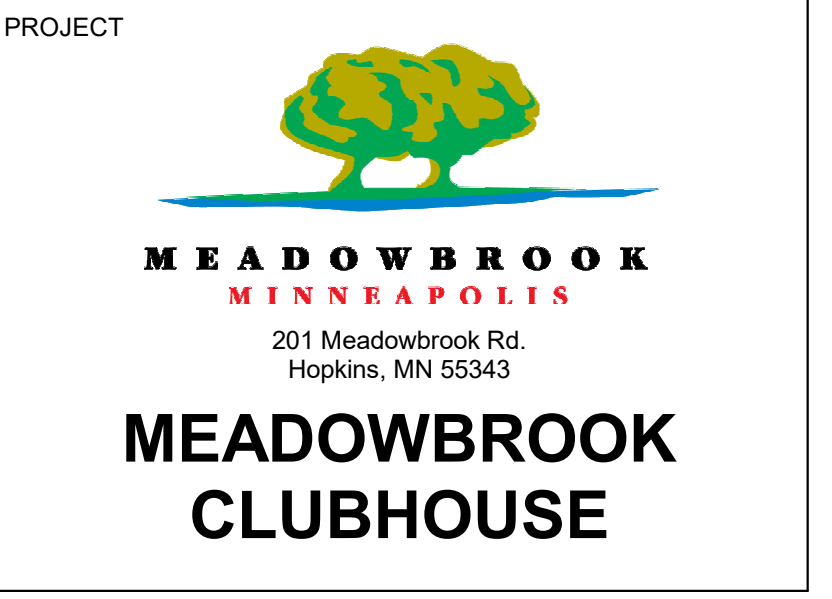
1. ALL WALLS UP TO BOTTOM OF DECK UNLESS NOTED OTHERWISE (U.N.O)
2. PROVIDE ACOUSTICAL SEALANT AT ALL TYPE A AND TYPE R WALLS
3. PROVIDE EQUAL THICKNESS CEMENT BOARD IN LIEU OF GYP AT ALL TILE LOCATIONS, SEE INTERIOR ELEVATIONS
4. COORDINATE BLOCKING LOCATIONS WITH ARCHITECT TO PREVENT ACOUSTICAL INTEGRITY FROM BEING COMPROMISED



I hereby certify that this drawing was prepared by me or under my direct supervision and that I am a duly registered architect under the laws of the State of Minnesota.
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 By: _____ Date: XXXX
 Registration Number: XXXX

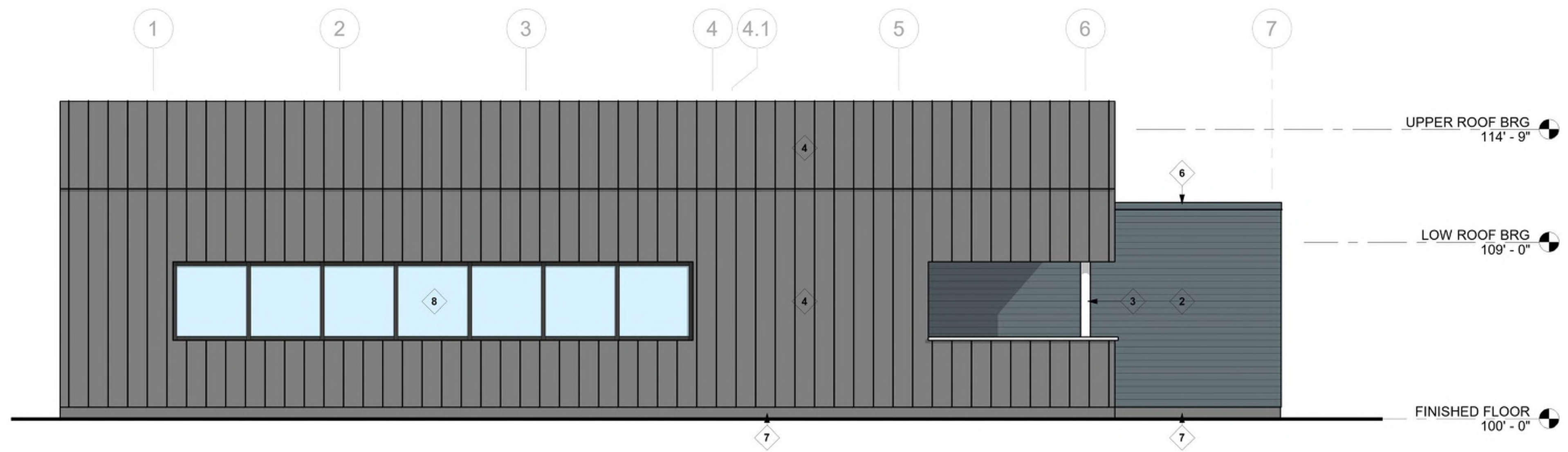


REVISION	DATE	DESCRIPTION	BY



DRAWING TITLE
OVERALL FLOOR PLAN

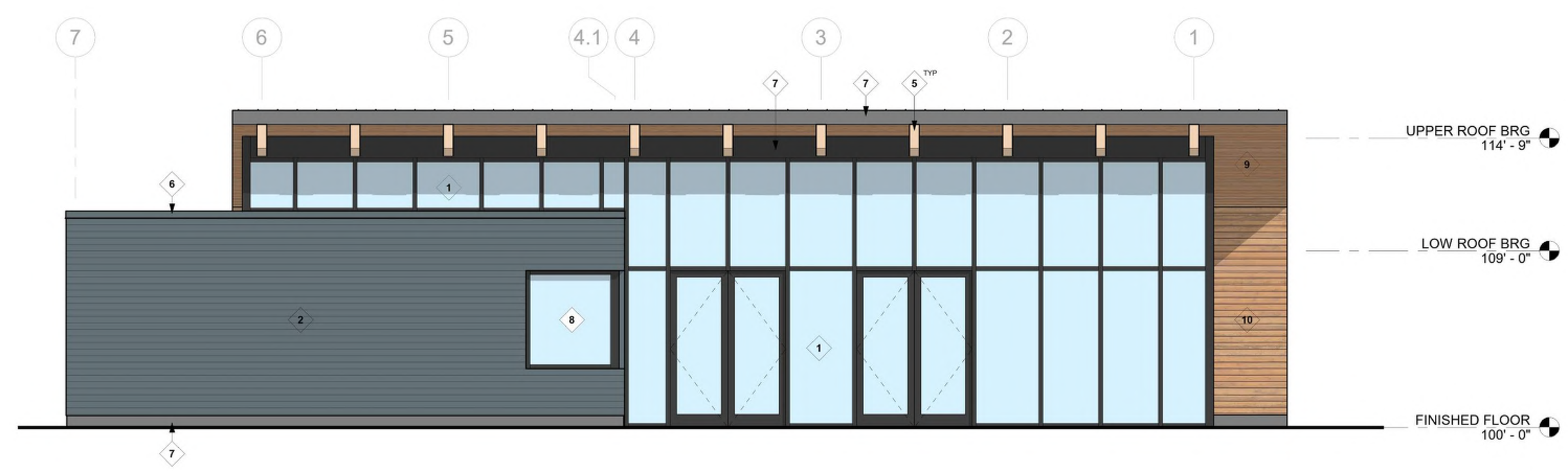
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a2.1



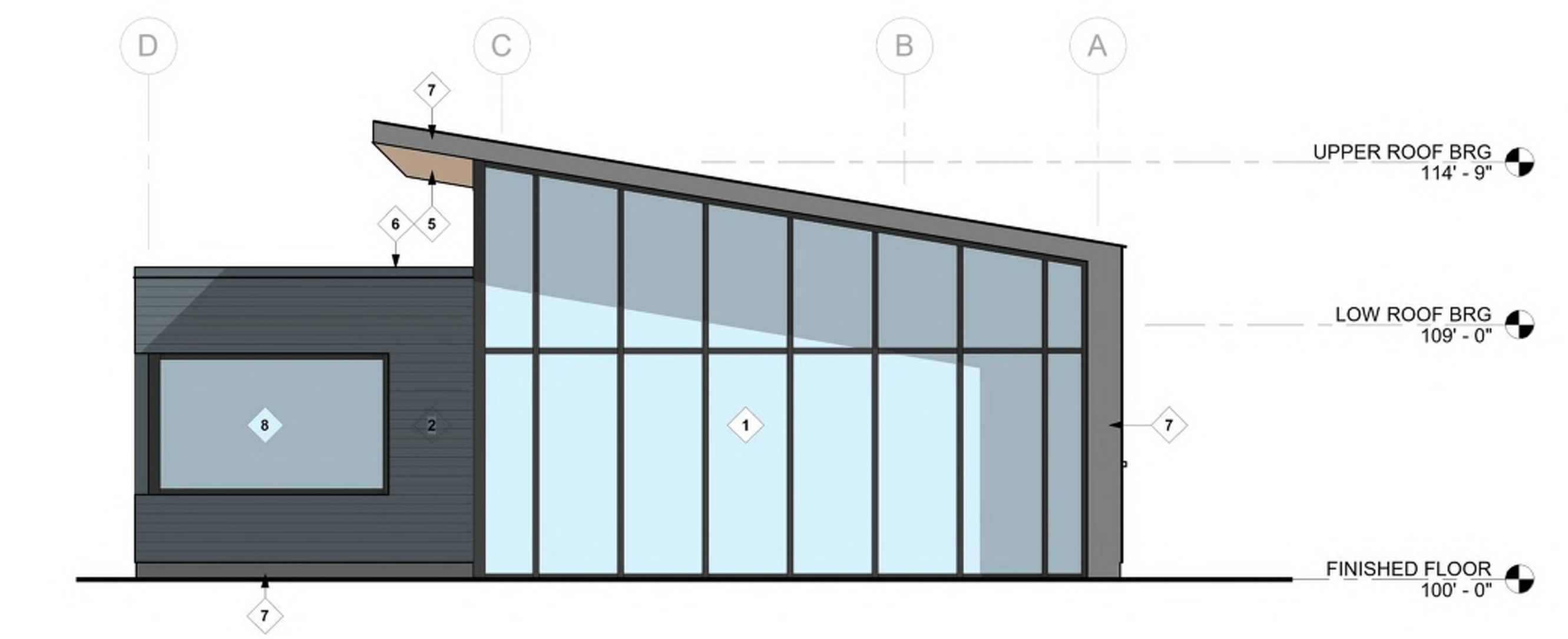
4 WEST ELEVATION
1/4" = 1'-0"

KEYNOTES - EXTERIOR ELEVATIONS

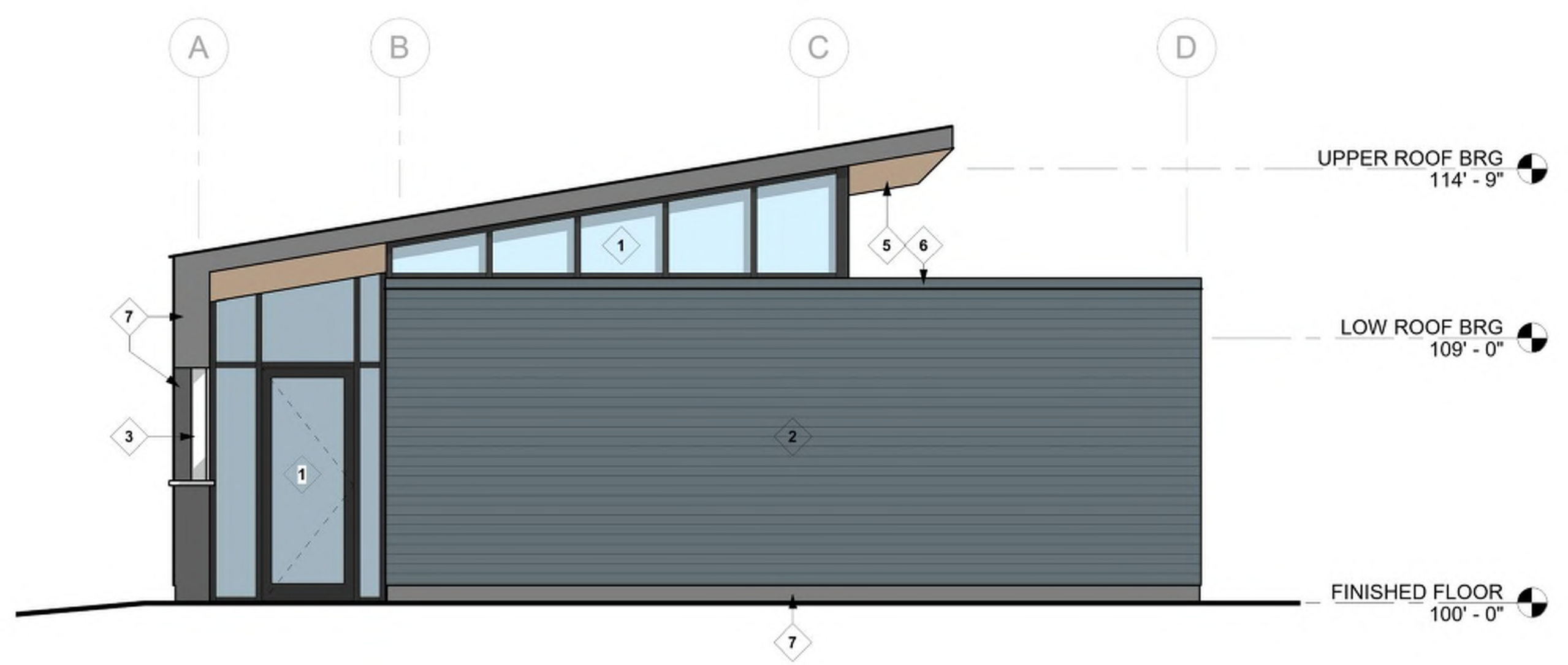
Number	Description
1	6" THERMALLY-BROKEN ANODIZED ALUMINUM CURTAIN WALL
2	CEMENT BOARD SIDING
3	EXPOSED STRUCTURAL COLUMN
4	STANDING SEAM METAL PANEL
5	EXPOSED LVL FRAMING - STAINED AND SEALED
6	PREFINISHED BREAK METAL COPING
7	PREFINISHED BREAK METAL CLOSURE PANEL
8	4" THERMALLY-BROKEN ANODIZED ALUMINUM STOREFRONT
9	T&G STRUCTURAL WOOD DECK
10	T&G WOOD SIDING - PROFILE TO MATCH STRUCTURAL DECK ABOVE



2 EAST ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"



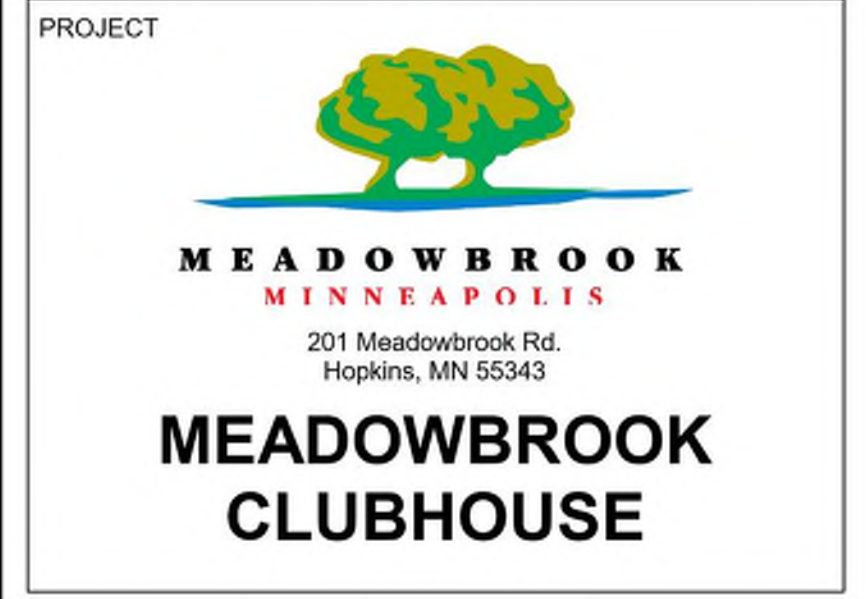
3 SOUTH ELEVATION
1/4" = 1'-0"



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REVISION	DATE	DESCRIPTION	BY



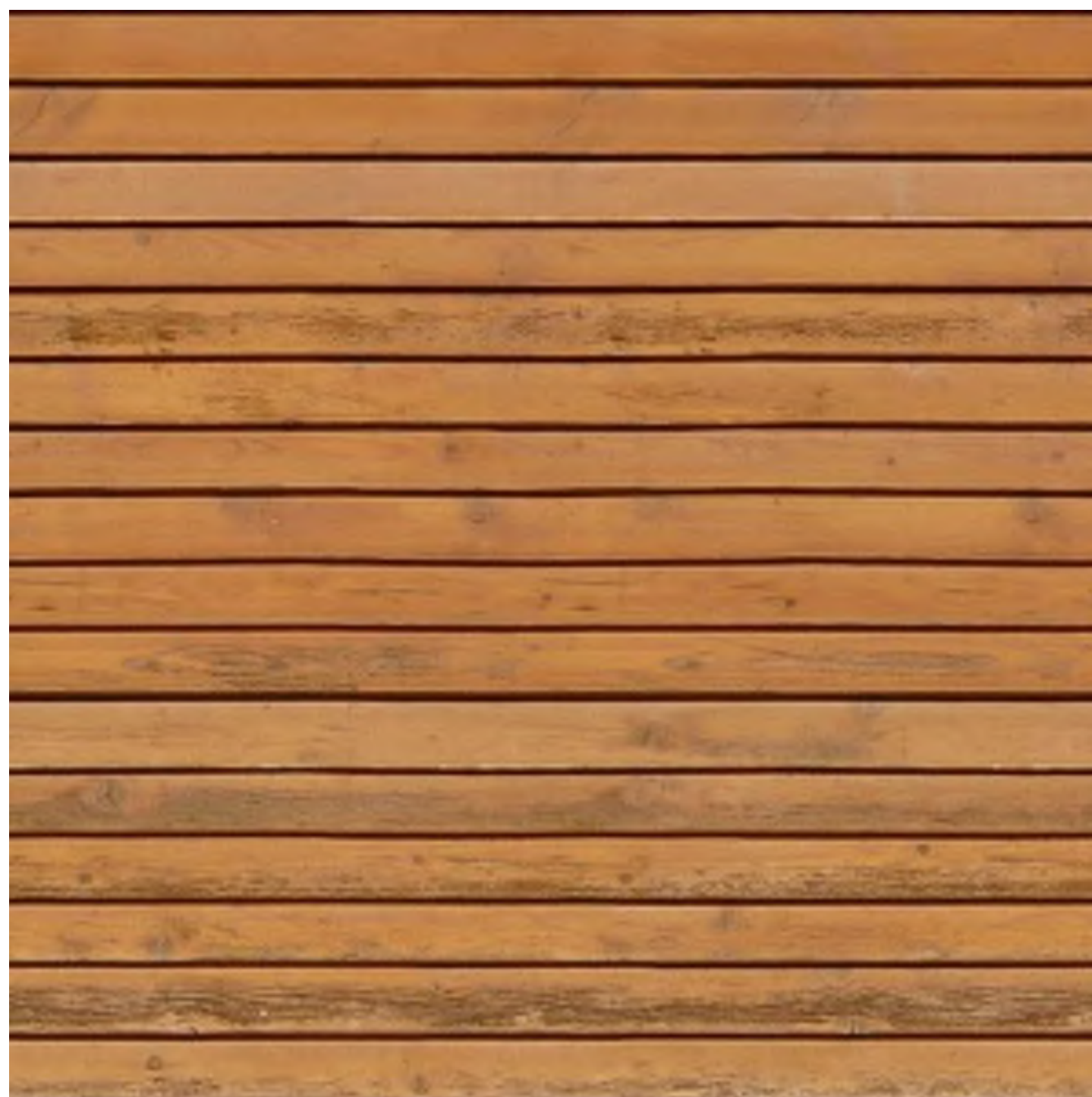
DRAWING TITLE
EXTERIOR ELEVATIONS

DRAWING NUMBER
a3.1

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By: _____
Date: XXXX
Registration Number: XXXX

REVISION	DATE	DESCRIPTION	BY



MATERIAL:

- TONGUE AND GROOVE STRUCTURAL WOOD DECK

LOCATION:

- UNDERSIDE OF SHED ROOF

NOTE:

- BACK WALL OF LOUNGE AREA FINISHED TO MATCH



MATERIAL:

- STANDING SEAM METAL ROOF & SIDING

LOCATION:

- EXTERIOR OF SHED ROOF VOLUME

COLOR:

- DARK GRAY



MATERIAL:

- 4" HARDIE BOARD LAP SIDING

LOCATION:

- EXTERIOR OF LOW VOLUME


COLOR:

- OCEAN BLUE OR SIM

NOTE:

- COLOR OF PARAPET CAP TO MATCH

1 MATERIALS SAMPLES & EXAMPLES
1 1/2" = 1'-0"

HAGEN, CHRISTENSEN & MCILWAIN
ARCHITECTS

4201 CEDAR AVENUE, SUITE 200, WINGFIELD, MN 55407
TEL: (612) 954-1332 FAX: (612) 954-7386

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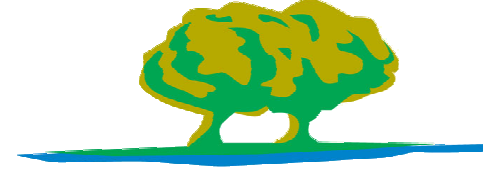
CLIENT / LANDSCAPE



Minneapolis
Park & Recreation Board

REVISION	DATE	DESCRIPTION	BY

PROJECT



MEADOWBROOK
MINNEAPOLIS
201 Meadowbrook Rd.
Hopkins, MN 55343

MEADOWBROOK
CLUBHOUSE

DRAWING TITLE

**EXTERIOR
RENDERINGS**

DRAWING NUMBER

a10.1



HAGEN, CHRISTENSEN & MCILWAIN
ARCHITECTS

4201 CEDAR AVENUE, SUITE 200, MINNEAPOLIS, MN 55407
TEL: (612) 954-1332 FAX: (612) 954-7386

CIVIL

LOUCKS

STRUCTURAL

BKBM
ENGINEERS

MEP

emanuelson-podas
consulting engineers

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By: _____
Date: XXXX
Registration Number: XXXX

CLIENT / LANDSCAPE

Minneapolis
Park & Recreation Board

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PROJECT

MEADOWBROOK
MINNEAPOLIS
201 Meadowbrook Rd.
Hopkins, MN 55343

MEADOWBROOK
CLUBHOUSE

DRAWING TITLE

**EXTERIOR
RENDERINGS**

DRAWING NUMBER

a10.2