

General Property Information

65 Kingsford Drive, Nelson

Created: 24 May 2021

**PLEASE NOTE –
THIS IS NOT A LAND INFORMATION MEMORANDUM (LIM)**

If you require further information on this property you can request the following:

1. A copy of the property file. There is a charge for this if you are not the owner of the property. The file will be either electronic or hard copy depending on the address.
2. Land Information Memorandum (LIM). There is a charge for this. The report contains information that is held by the council regarding the land.



Contents

1. Nelson Resource Management Plan (NRMP)
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7. Property Conditions



General Property Information: 1962034008

Property

Valuation No	1962034008
Location	65 Kingsford Drive, Nelson
Legal Description	LOT 11 DP 16913
Area (Hectares)	0.0502

Rates

Government Valuation

Land	255,000
Improvements	255,000
Capital Value	510,000

Current Rates Year 2020 to 2021

Planning/Resource Management

8/01/93 RESOURCE CONSENT 922098 : SUBDIVISION NCC PLAN NO.2098 : Consent Effective 11/01/93
(Found on related property: 1962031700)

Building

23/05/97 BUILDING CONSENT 970586 : INSTALL FIREPLACE : Code Compliance Certificate issued 30/06/97

20/02/95 BUILDING CONSENT 941430 : ERECT DWELLING : Code Compliance Certificate issued 28/05/96
(Found on related property: 1962033400)

16/12/94 BUILDING CONSENT 941453 : ERECT DWELLING : Code Compliance Certificate issued 21/02/00

Licences

No information located

Sewer and Drainage

No information located

Land and Building Classifications

No information located

Transport

No information located

Special Land Features

No information located

Swimming Pools

No information located

Other

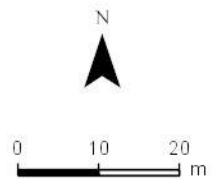
No information located

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NRMP Hazard Overlay

65 Kingsford Drive, Nelson

No information located



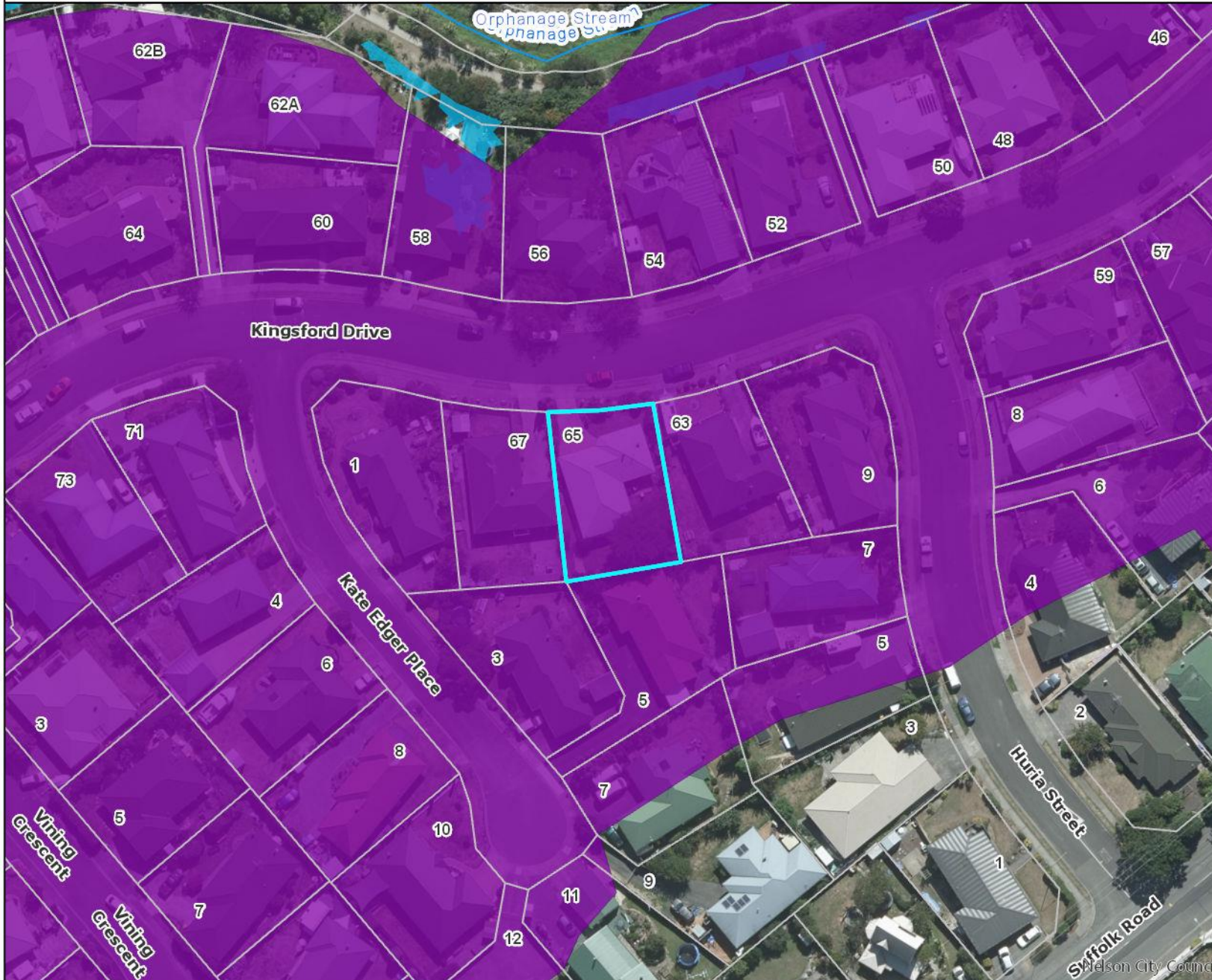
Created 24 May 2021



Nelson City Council

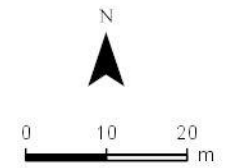
The map is an approximate representation only and must not be used to determine the location or size of items shown, or to identify legal boundaries. To the extent permitted by law, the Nelson City Council, their employees, agents and contractors will not be liable for any costs, damages or loss suffered as a result of the data or plan, and no warranty of any kind is given as to the accuracy or completeness of the information represented. Nelson City Council information is licensed under a Creative Commons Attribution 4.0 International License, and the use of any data or plan must be in accordance with the terms of that licence. For more information please contact us. Cadastral information derived from Land Information New Zealand. CROWN COPYRIGHT RESERVED.

Non NRMP Hazard Information

65 Kingsford Drive, Nelson



-  Hazardous Activities (HAIL)
-  Flood Models Year 2100



Created 24 May 2021

Hazard Study Information

It is part of Council's role to research and collect new information on a variety of local hazards so we can help to appropriately manage the risk to people and property. Council is required by law not only to investigate hazards, but to make the research available to anyone who is affected or interested.

The information below only relates to the areas covered by Council's recent research. It is important to note that there is potential for flooding, liquefaction, landslides and other natural hazards to happen in other areas around Nelson too.

Fault Hazard Overlay and Corridor

The purpose of the Fault Hazard Overlay/Corridor is to avoid putting up buildings and other structures directly over an active fault line, and therefore to help reduce the risk to people and property from ground rupture during an earthquake. Ground rupture along a fault line is different from the general shaking that could occur throughout Nelson during an earthquake, although both can cause damage. The Overlay/Corridor acts as a flag to pay extra attention when developing a site or undertaking new building work in that area.

The width of the Overlay/Corridor includes the known or estimated location of the fault trace, plus a building setback either side of the trace. Where the exact trace location is known the Corridor is narrower, and where it is not clearly identified the Corridor is wider. The Overlay is based on information from the 1990s and can only be changed through a formal plan change process. The Corridor shows the new information we have, and it will be the basis of the new Overlay when the Nelson Resource Management Plan is updated.

Nelson Flood Models

Flooding is one of the region's best understood natural hazards. Local rivers are prone to flooding, especially when heavy rain coincides with a big tide. Flood areas are currently identified in the Nelson Resource Management Plan (NRMP), using information that was current at the time the plan was developed in the 1990s. Recently, Council has updated research and modelling to get a better understanding of the scale, nature and frequency of flooding. This research is useful for planning new subdivisions and buildings, or upgrading Council infrastructure with the aim of reducing the possibility of damage in flood prone areas.

In 2013, Council consulted with owners of land subject to potential flooding of the Matai River. Since then, Council has continued to work on better defining the potential for flood hazard across the region and now has models for all the major catchments, which includes: Orphanage, Orchard, Jenkins/Arapiki/Poorman Valley, Maitai/Brook/York, Oldham, Todd/Hillwood and Wakapuaka/Whangamoā. These models predict where flooding is likely to occur now, and in various scenarios out to the year 2100.

It is important to get an understanding of where flooding is predicted to occur in the future, as the effects of climate change mean that flooding is likely to become more frequent. As a coastal region, Nelson is also subject to the effects of sea level rise, which means that the severity of floods are likely to increase in those parts of the city that are subject to tide flows.

Tahunanui Liquefaction Assessment

Following the damage caused in the Canterbury earthquakes, Council opted to put some resources into assessing the likelihood of ground liquefaction following an earthquake in our area. Council has undertaken assessments that identify that an area of Tahunanui may be at risk of liquefaction if a seismic event of sufficient type and magnitude occurred. The assessments were not done to a property specific level of detail and further site specific investigation may be required should a property in the area of risk is further developed or have a change in use.

Historic land use and potential soil contamination

Large parts of Nelson that are now covered in homes were once used for other activities that come under the Ministry of the Environment's Hazardous Activities and Industries List (HAIL). The land could have been an orchard and chemical sprays were used, or perhaps it was a farm that had a sheep dip tank or a fuel tank.

Based on historical research only and without doing any soil testing, Council has drafted a list of properties that might be affected due to past land use activities. This is a preliminary list and being on the list does not necessarily mean that contamination is present. Many properties have not been investigated for contamination and may never be investigated. Being on the list just acts as a flag in case of future development. We need to do this work so we can meet a National Standard developed by the Ministry for the Environment. For more information go to www.mfe.govt.nz and look under 'Managing Environmental Risks'.

Coastal Inundation

For maps and information on this hazard refer to <https://shape.nelson.govt.nz/coastal-hazards>

Slope Instability Overlay

For maps and information on this hazard refer to <http://www.nelson.govt.nz/environment/nelson-plan/natural-hazards/slope-instability/>

More information

Copies of all the latest reports and information that Council holds on hazards are available to download on our website at <http://nelson.govt.nz/environment/nelson-plan/natural-hazards/>

How can I find out if my soil is contaminated or not?

Inclusion on the HAIL site database does not mean that the soil must be tested. However, if you have reason to believe your soil is definitely contaminated or you want to know for your own information, you could get it tested.

Where the NESCS requires that a preliminary or detailed site investigation is done as part of a proposed change to land use or earthworks at a potentially contaminated site, that must be done by a "Suitably Qualified and Experienced Person" (SQEP).

This means that soil sampling done by anyone other than a SQEP can't be accepted as evidence of the contamination status of the site.

A SQEP has to be well qualified and have lots of experience assessing potentially contaminated land. Nelson City Council and Tasman District Council hold a joint list of SQEP's who can provide a contamination assessment. See a copy of the current list on the website.

A12970 66



H.A.I.L SITES



Hazardous Activities and Industries
List Information

 Nelson City Council
te kaunihera o whakatū

Civic House, 110 Trafalgar Street, Nelson
03 546 0200 • nelson.govt.nz

 Nelson City Council
te kaunihera o whakatū



What are HAIL sites?

HAIL sites are pieces of land where hazardous substances might have been used, stored or disposed of. These are identified by the Hazardous Activities and Industries List (HAIL), which is a group of activities and industries that are considered likely to cause land contamination. The list has been compiled by the Ministry for the Environment. The HAIL aims to identify most situations where hazardous substances could cause, and in many cases have caused, land contamination.

The fact that an activity or industry appears on the list does not mean that hazardous substances were used or stored on all sites occupied by that activity or industry. Nor does it mean that a site used by that industry will always have hazardous substances present in the land. The list just highlights that there is a greater probability of site contamination occurring than for other uses or activities.

You can download a copy of the HAIL on the Council website, nelson.govt.nz and search on HAIL.

Why is Council identifying HAIL sites?

By identifying sites where hazardous substances might have been used, stored or disposed of, we can ensure that the sites do not present a risk to human health when they are used or developed.

It helps Council and the community to comply with the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health (NESCS).

It informs land owners that there is potential for the land to be contaminated and that further investigation would be needed before constructing new buildings or changing the land use. A resource consent may be needed in some cases.

Is a HAIL site the same as a contaminated site?

No. It's important to note that this is a land use assessment and no soil testing has been carried out by Council. Inclusion on the database does not mean that soil contamination is present.

Nelson City Council has made a database of all the areas of Nelson where our information shows that HAIL activities are taking or have taken place. Research has been done using historical photos, trade directories and property information to establish which areas of land in Nelson could be at risk of contamination because they are likely to have been used for HAIL activities in the past. For example, if the land was once an orchard and chemical sprays were used, or perhaps it was a farm that had a sheep dip or a fuel tank, there is a risk of soil contamination.

My property is listed as a HAIL site – what does that mean for me?

Inclusion on the HAIL site database does not necessarily mean that your soil is contaminated. Using a raised garden bed for growing vegetables can be helpful if you are concerned about soil contamination.

Also, if you want to build on your property, you will need to meet the requirements under the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health (NESCS). This could mean you may need a resource consent to carry out certain work.

If you are especially concerned or have reason to believe that your soil is definitely contaminated you can get it tested at your own expense. For more information about soil testing see our website, nelson.govt.nz and search on HAIL.

Can a property be removed from the database?

The only way to remove a property from the database is to show that HAIL activity has never taken place on that site.

However, if you have any soil testing or other relevant information, please let Council know as this can be included in the property file and used to update the status of the property on the database.

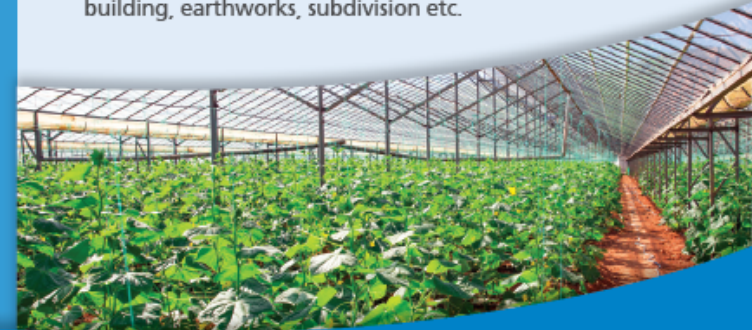
I am considering selling, buying a property or building on a HAIL site. What does that mean?

Information about whether a property is on the HAIL site database will be included on a Land Information Memorandum (LIM) for the property you are considering. A LIM is advisable when purchasing a property to ensure you are aware of the most accurate information we have relating to that property.

Information relating to HAIL status is also included on the Project Information Memorandum (PIM) for the property which you should request before doing any building project.

Be aware that if a property is included on the HAIL site database, and you wish to carry out any Building works, you will have to comply with the NESCS regulations (Sections 7 to 11). A resource consent may be required if the project cannot comply with the "permitted standards" in these regulations. The NESCS regulations are also triggered when a subdivision consent is applied for.

The requirements will vary from case to case, so it's important to talk to the Council early in the process for any activity that you're planning to carry out, including building, earthworks, subdivision etc.



Information about property files

Nelson City Council has made this information available under Sections 10 to 18 (inclusive) of the Local Government Official Information and Meetings Act 1987 only. Nelson City Council does not warrant its accuracy and disclaims all liability whatsoever for any error, inaccuracy or incompleteness of the information without seeking appropriate independent and professional advice. The information provided does not constitute a Land Information Memorandum or any similar document. All Property Records are the property of Nelson City Council.

Property information held on a property file is for completed applications only. Applications being processed are added to the property file once the process is completed or code compliance certificate issued.

Any property file whether electronic or paper will not contain:

- confidential records
- building consents that have no Code Compliance Certificate
- resource consents that are still being monitored
- subdivision resource consents
- Land Information Memorandums (LIMs)

Older plans may include microfiche records and be of poorer quality.

SYSTEM REQUIREMENTS

To be able to view property files provided to you electronically, you will need to have software installed on your computer that is capable of viewing multi-page tiff files.

Some examples of suitable programmes are:

- Microsoft Office Document Imaging[©]
- Informatik[©] Image viewer
- Brava Reader[©]
- NIH Image[©] (Mac)

Conditions Report



View All Conditions (<https://gisreport.nelson.govt.nz/nmapreports/template/temp/76bbe076-ae3f-4f08-b653-00f7cbad3100/ConditionReports.obr>)

LINZ ID	Address	Condition Number	Condition Description	Diagram	View Docs
3602931	65 Kingsford Drive, Nelson	C0719	Fill and Foundation Reqs	Y	A335958 (http://tardis/A335958)
3602931	65 Kingsford Drive, Nelson	C1402	Air Plan	N	A358338 (http://tardis/A358338)

DATE: 21-Aug-12 CONDITION No: C1402

STREET ADDRESS: All properties contained in Airshed B2 (consult Fig A2.2B in Air Plan)

DIAGRAM: No

LEGAL DESCRIPTION Various

PROPERTY OWNER or SUBDIVIDER: Various

SCHEME PLAN No: NA

NCC PLAN No: Air Quality Plan

AUTHORITY: Principal Adviser, City Development (see David Jackson or Richard Frizzell)

REASON FOR CONDITION:

(Abbreviated) This property may contain a domestic spaceheater or open fire that falls under the rules set out in the Council’s Air Quality Plan. Under rule AQR.24.1, within the Urban Area the use of open fires must cease on or before 1 January 2008 (except that any ‘Jetmaster’ type open fire (including Warmington brands) may continue until 1 January 2013). Discharge to air from open fires is prohibited after that date. In addition, within Airshed B2 (as defined in the air plan) the use of existing enclosed burners installed before 1991 was phased out by 1 Jan 2010 and burners installed between 1991-95 by 1 Jan 2012. This is necessary to meet the targets imposed by the National Environmental Standards for air quality.

CONDITION:

The Air Quality Plan states that within this airshed (Airshed B2 – consult Fig A2.2 in Air Plan) no discharge from domestic-type fires may occur after the cessation date below.

Type of heating appliance	Cessation Date May no longer be used from:
Open fires (‘Jetmaster’ type Open Fires)	1/01/2008 (1/01/2013)
Burners installed before 1991	1/01/2010
Burners installed between 1991 and 1995	1/01/2012

Council approved wood burners may only be installed in place of an existing 'lawfully installed' burner (rule AQR.25). (continues next page)

If you live in Airshed B2 (Stoke) and are either building a new home or do not have an existing enclosed wood burner, you can apply for a building consent to install an ultra-low emission wood burner (ULEB) (rule Aqr.26A)

NOTE: In buildings that currently do not have a solid fuel burner, a limit of 999 ULEBs applies in Airshed B2.

For further information on other approved burner options refer to the NCC website:
<http://www.nelson.govt.nz/environment/air-quality/approved-burners/>

Note: rule AQR.25A contains special transitional provisions for houses in former Rural Areas which have become part of the Urban Area since the Air Quality Plan was notified in August 2003.

Amended: 1 October 2018

Date Entered: 21-Aug-12

DATE: 22-Jul-94 CONDITION No: 719
STREET ADDRESS: Kingsford Dr, Huria St, Kate Edgar Pl
& Suffolk Rd.

DIAGRAM: 

LEGAL DESCRIPTION: DP 16913 & DP 16811

PROPERTY OWNER
or SUBDIVIDER: Stoke South Syndicate

SCHEME PLAN No: 92208

NCC PLAN No:

AUTHORITY: Planning & Regulation D Ley

REASON FOR CONDITION:
(Abbreviated) Rural Land Now In Residential
Development

CONDITION:

Compacted fill placed on Lots 9, 16 - 25, 34 - 36, 40 is suitable for the construction of light timber framed buildings complying with NZS 3604, in that the soil in the fill area has a safe bearing capacity of 100kPa Or greater.

It should be noted penetrometer tests carried out in the early stages of filling indicated that the bearing strength of the natural clays underlying the filling is quite variable and safe bearing strengths of as low as 60kPa were measured especially in locations where the soil was saturated. Typically the safe bearing strength of the underlying natural ground is less than that of the compacted filling.

Lots 10 - 15, 26 - 33, 37 - 39, 41, 43 Do not contain filling.

Buildings of other than light timber framed construction complying with NZS 3604:1990 shall have foundations specifically designed by a chartered professional. This includes buildings with masonry or reinforced concrete walls and/or suspended concrete floors.

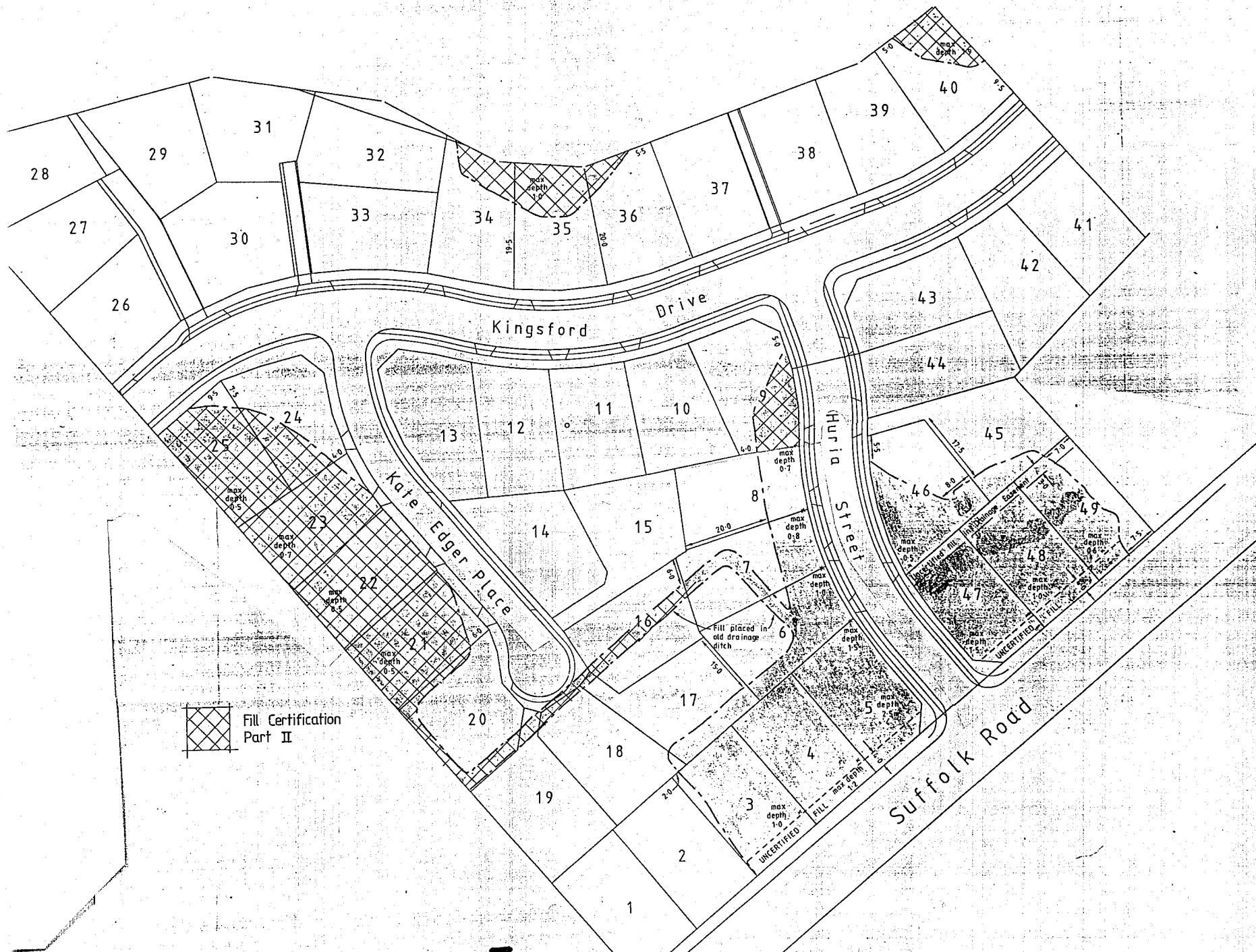
Foundations for any structure shall extend at least 300 mm into the soil layer below any top soil.

All stormwater from paved roof areas shall be discharged into the NCC stormwater system via an approved sealed pipe system.

All topsoil shall be removed under concrete 'slab on ground' construction in accordance with NZS 3604:1990.

It is recommended that the bearing capacity test procedure outlined in appendix C of NZS 3604:1990 be applied to all buildings constructed on Lots 9,16,- 25,34 - 36,40 to ensure that the variable soil strength of the underlying natural ground is taken into account during the design of buildings foundations.

Date Entered: 3-Aug-94



AREAS OF FILLING

65 KINGSFORD DR. 3RD LEFT MARIA

Work: LOT 11

Owner: TASHMAD HOMES (HEATHER BENNETT)

DP 16913

Plumber & Drainlayer: HOOKER

Permit No: 941653

Date: 7 DEC 94

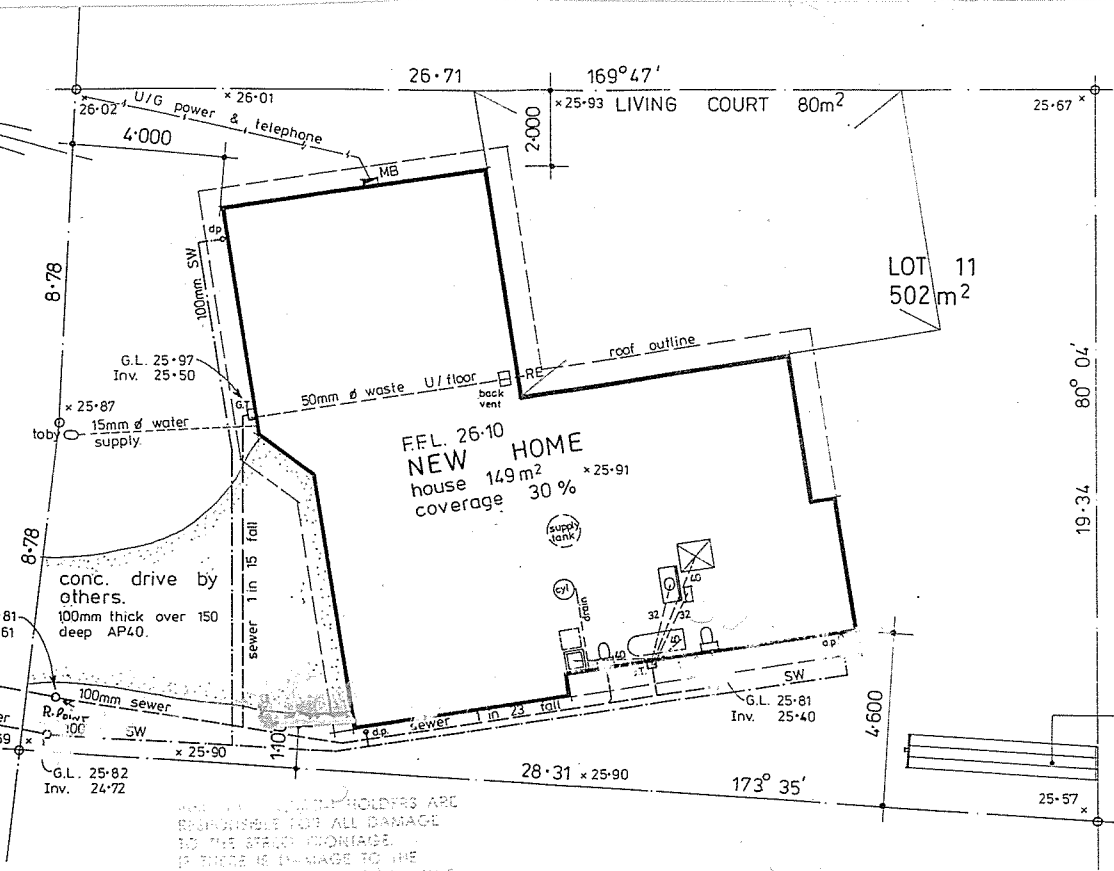
DATE:

REMARKS FOLLOWING INSPECTION:

DATE:	REMARKS FOLLOWING INSPECTION:
ZH04	18/1/95 h.
ZH06	21/2/95 GR
Zm06	
h06	
ZM00	

SWMH 7
LID 25.76
SMH/C
LID 25.73

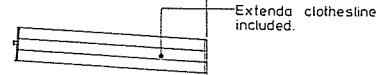
KINGSFORD DRIVE



THE INSTALLERS AND HOLDERS ARE RESPONSIBLE FOR ALL DAMAGE TO THE STAKE MOUNTAGE IF THERE IS DAMAGE TO THE MOUNTAGE IT IS TO BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO WORK COMMENCING.

Tasman Homes
7 Piratical Street, Stoke Nelson
Ph: 03-547 2906 Fax: 03-547 7177

Job no. L11 Client BENNETT
Date OCT 94 View SITE PLAN 1:100



NELSON CITY COUNCIL

APPLICATION FOR BUILDING CONSENT

Section 33, Building Act 1991

Complete Part A in all cases

(Insert a cross in each applicable box. Attach relevant documents in duplicate)

<p style="text-align: center;">APPLICANT* (See note below)</p> <p>Name: <u>Tasman Homes Ltd.</u></p> <p>Mailing Address: <u>65 Wastney Tce</u> <u>Nelson</u></p> <p>Contact Name: <u>Hugh Askin</u></p> <p>Contact Address: <u>"</u></p> <p>Position: <u>Builder</u></p> <p>Phone: <u>5472906</u> Fax: <u>5477172</u></p>	<p style="text-align: center;">PROJECT</p> <p>New or Relocated Building <input checked="" type="checkbox"/></p> <p>Alteration <input type="checkbox"/></p> <p>Description of work (in detail) <u>New private</u> <u>3 bedroom dwelling</u></p> <p>Intended Life; <input type="checkbox"/></p> <p style="padding-left: 20px;">Indefinite, but not less than 50 years</p> <p style="padding-left: 20px;">Specified as _____ years <input type="checkbox"/></p> <p style="padding-left: 20px;">Demolition <input type="checkbox"/></p> <p>Being stage _____ of _____ stages</p> <p><i>Attach additional information if necessary to describe the project.</i></p>						
<p style="text-align: center;">PROJECT LOCATION</p> <p>Street Address: <u>65 Kingsford</u> <u>Dr. Stoke</u></p>	<p style="text-align: center;">LEGAL DESCRIPTION</p> <p>Valuation Roll Number: _____</p> <p>Lot: <u>11</u> DP: <u>16913</u></p> <p>Section: _____ Block: _____</p> <p>Survey District: _____</p>						
<p style="text-align: center;">VALUE OF WORK</p> <p>The Council's checking fee payable on the making of this application are based on the value of (GST inclusive):</p> <table style="width:100%; border-collapse: collapse;"> <tr> <td style="width: 30%;">Building</td> <td style="text-align: right;">\$ <u>91200.00</u></td> </tr> <tr> <td>Plumbing & Drainage</td> <td style="text-align: right;">\$ <u>5200.00</u></td> </tr> <tr> <td>Total:</td> <td style="text-align: right;">\$ <u>96,400.00</u></td> </tr> </table> <p>Any additional fees payable based on the actual cost of processing and inspection will be charged prior to the issue of the Building Consent.</p>	Building	\$ <u>91200.00</u>	Plumbing & Drainage	\$ <u>5200.00</u>	Total:	\$ <u>96,400.00</u>	<p style="text-align: center;">SIZE OF BUILDING</p> <p>Floor Area <u>149</u> m2 Number Dwelling Units <u>1</u></p> <p>Number of Storeys <u>single</u></p>
Building	\$ <u>91200.00</u>						
Plumbing & Drainage	\$ <u>5200.00</u>						
Total:	\$ <u>96,400.00</u>						
<p style="text-align: center;">OFFICE RECEIPT</p> <p style="text-align: center; font-size: 1.2em;"><u>3011-94</u></p>							

* Under Section 33 of the Building Act 1991 the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force. Any person acting for or on behalf of the owner must be authorised in writing. Proof of authorisation to be provided to Council.

This application is for:

- Building consent only, in accordance with project information memorandum no:.....
- Both building consent and a project information memorandum.

PART B: PROJECT DETAILS

(Complete Part B only if you have not applied separately for a project information memorandum)

The project involves the following matters *(cross each applicable box, if any, and attach relevant information in duplicate)*.

- Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings.
- New provisions to be made for vehicular access, including parking.
- Provisions to be made in building over or adjacent to any road or public place.
- New provisions to be made for disposing of stormwater and wastewater.
- Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermains.
- New connections to public utilities.
- Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities, and suppression of noise.
- Any cultural heritage significance of the building or building site, including whether it is on a marae.

PART C: BUILDING DETAILS

(Complete Part C in all cases)

This application is accompanied by *(cross each applicable box, attach relevant documents in duplicate)*:

- The drawings, specifications, and other documents according to which the building is proposed to be constructed to comply with the provisions of the building code, with supporting documents, if any, including:
 - Building certificates.
 - Producer statements.
 - References to accreditation certificates issued by the Building Industry Authority.
 - References to determinations issued by the Building Industry Authority.
- Proposed procedures, if any, for inspection during construction.

FORM 3 – PART D: KEY PERSONNEL

(Complete Part D as far as possible in all cases. Give names, addresses, and telephone numbers. Give relevant registration numbers if possible)

Builder(s): Tasman Homes Ltd

Registered Drainlayer: Richard Hooker

Registered Plumber: // //

Note: Registered Gasfitter and Electrician are required to be nominated only when
(a) The work undertaken is to be covered by a Compliance Schedule
(b) The owner wishes to obtain a Building Consent for the energy work.
(The owner will incur additional cost of checking and certification).

Registered Gasfitter: _____

Registered Electrician: _____

Designer(s): _____

Building Certifier(s): _____

Other: _____

PART E: COMPLIANCE SCHEDULE DETAILS

E1: SYSTEMS NECESSITATING A COMPLIANCE SCHEDULE

(Complete Part E1 for all new buildings and alterations, except single residential dwellings)

The building will contain the following *(cross each applicable box and attach proposed inspection, maintenance, and reporting procedures.)*

- Automatic sprinkler systems or other systems of automatic fire protection.
- Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire.
- Emergency warning systems for fire or other dangers
- Emergency lighting systems.
- Escape route pressurisation systems.
- Riser mains for fire service use.
- Any automatic back-flow preventer connected to a portable water supply.
- Lifts, escalators, or travelators or other similar systems.
- Mechanical ventilation or air conditioning system serving all or a major part of the building.
- Any other mechanical, electrical, hydraulic, or electronic system whose proper operation is necessary for compliance with the building code.
- Building maintenance units for providing access to the exterior and interior walls of buildings.
- Such signs as are required by the building code in respect of the above-mentioned systems.
- None of the above.

E2: OTHER SYSTEMS AND FEATURES TO BE INCLUDED IN THE COMPLIANCE SCHEDULE

(Complete Part E2 only if the building contains one or more of the systems listed in Part E1)

The building will contain the following *(cross each applicable box and attach proposed inspection, maintenance, and reporting procedures.)*

- Means of escape from fire.
- Safety barriers.
- Means of access and facilities for use by persons with disabilities which meet the requirements of Section 25 of the Disabled Persons Community Welfare Act 1975.
- Hand-held hoses for fire fighting.
- Such signs as are required by the Building Code or Section 25 of the Disabled Persons Community Welfare Act 1975.

Signed by or for and on behalf of the applicant:

Name: _____

Position: _____

Date: _____

M. A. O'Sullivan

*For Tasman
Homes Ltd*

29/11/94

Please answer the following questions if they apply.

What materials will be used for the: (tick boxes)

Floor

- 1 Timber
- 2 Concrete
- 3 Wood products
- 4 Other
- 5 Floor Area M2

Roof

- 1 Steel
- 2 Concrete tiles
- 3 Steel tiles
- 4 Shingles
- 5 Aluminium
- 6 Other

Framing

- 1 Timber
- 2 Concrete
- 3 Steel
- 4 Aluminium
- 5 Other

Insulation

- 1 Fibreglass
- 2 Masserated paper
- 3 Wool
- 4 Foil
- 5 Other

Energy

- 1 Electric
- 2 Gas
- 3 Solid fuel
- 4 Floor electrical
- 5 Ceiling electrical
- 6 Storage electrical

Cooking

- 7 Electric
- 8 Gas
- 9 Solid fuel

Outer Walls

- 1 Brick
- 2 Concrete
- 3 Concrete block
- 4 Cement board
- 5 Plaster
- 6 Timber
- 7 Steel
- 8 Aluminium
- 9 Other

Internal Linings

- 1 Plaster board
- 2 Fibrous plaster
- 3 Wood products
- 4 Other

FOR OFFICE USE ONLY

BRANZ

TYPE CODE

IDENTIFIER CODE

OFFICER

- Building Line
- Means of Egress
- Plumbing & Drainage
- Design
- Roading
- Water
- Dangerous Goods
- Health
- Planning

Checked By:	Date:

Report:

.....

.....

.....

.....

.....

Approved for issue of Building Consent

Building Control Officer: Date: / /

NELSON CITY COUNCIL CONSENT CHECK SHEET

P I M No 944253

L I M No _____

Date 30/11/94

Project Erect Dwelling
 Applicant Tasman Homes
 Lot 11 DP 16910
 Project Location 65 Kingsford
 Special Conditions 719

APPROCESSED

ADMINISTRATION

- Z100 Z200 Z300 Z400 Z500
- ZA02 GENERAL REQUIREMENTS
- ZA04 ZA06 ZA08 ZA10 ZA12
- ZB02 SITE INSPECTION
- ZB04 ZB06
- ZC02 FOUNDATION
- ZC04 ZC06 ZC08 ZC10 ZC12
- ZC13 ZC14 ZC15 ZC16 ZC18
- ZC20 ZCE0 ZCE1 ZCE2 ZCE3
- ZCE4 ZCE5 ZCE6 ZCE8
- ZD02 RETAINING WALLS
- ZD04 ZD06 ZD08 ZD10 ZD12
- ZD14 ZD16 ZD18 ZD20 ZDE0
- ZDE1 ZDE2 ZDE3 ZDE4 ZDE5
- ZDE6
- ZE02 BUILDING STRUCTURE
- ZE04 ZE06 ZE08 ZE09 ZE10
- ZE11 ZE12
- ZF02 FIRE WALLS & FLOORS
- ZF04 ZF06 ZF07 ZF08 ZFE0
- ZG02 BUILDING SPECIFIC DESIGN
- ZGE1 ZGE2 ZGE3 ZGE4
- ZH02 PLUMBING & DRAINAGE
- ZH03 ZH04 ZH05 ZH06 ZH07
- ZH08 ZH10
- ZI02 EXTERIOR CLADDING
- ZI04 ZI06 ZI08
- ZJ02 ELECTRICAL
- ZJ05 ZJ07
- ZK02 SOLID FUEL HEATER
- ZK04 ZK06
- ZL02 CONSERVATORY
- ZL04
- ZM02 FINAL INSPECTION
- ZM04 ZM05 ZM06 ZM08 ZM10
- ZM11 ZM12
- ZN02 SMALL BUILDINGS
- ZN04 ZN06 ZN08 ZN10 ZN12
- ZN13 ZN14 ZN15 ZN16 ZN18
- ZN20 ZN22
- ZO02 SAFETY SYSTEMS
- ZO04 ZO06 ZO08 ZO10 ZO12
- ZO14 ZO16

Department	Date	Not Appr	Date	Appr
Building & Planning.			14/12/94	A.c.
Structural.				
Plumbing, Drainage & Water.			7/12/94	N.m.s
Access & Subdivision.				
Dangerous Goods.				
Services & Floor Levels.				
Town Planning.				
Health.				
Fire Officer.				

P I M Not applicable.
 Non-Complying with the scheme.
 Requires a Resource Consent.
 Complies with scheme.

*
 Z004 & Z006
 in 12/12/94

RESIDENTIAL

SITE CHECK:

- Street number Boundaries Cornersplay Area
 Compulsory 643 or Amalg titles Designations Subdivisions
 Zone Conditions N^o B.L.R SWL ROW legal

FILE CHECK:

- Development number
- Dispensations/Controlled Use/Specified Departures applicable: date granted _____
 Conditions complied with No conditions
 Minor dispensations reqd? _____ Approved under Delegated Auth: date _____
 Vehicle entrances/Reversing Fences
 Non-conforming building Sec 91 Signature: _____
 Trivial infringements _____

BUILDING PERMIT CHECK:

- Use: Dwelling Apartment Tourist Accessory Other
 Zone RES B
 Designations _____
 Predominant Controlled Conditional Specified Departure
 Building coverage $\frac{149}{502} \times 100 = 29.68\%$
 Building height 502
 4m front yard _____ side yards _____
 Windows and Decks of habitable rooms - 2m.
 Daylight: North point degrees North _____° South _____° East _____° West _____°
 Number of habitable rooms 4
 Living courts: Location adjoining living/dining Area of living court 80 m²
 Dimension and shape of court Access to court (900mm)
 Obstruction to living court Conservatory area _____ m²
 Separation distance 6m (4m for aged cottages)
 or nominated side boundary - recheck if applicable *
 Joined units: Appearance/method of attachment _____
 N^o of units on rear sites _____ refer Ord.21-70 N^o shown _____ N^o permitted _____
 Accessory buildings in front yard: Area 40m² 1.5m from St. 6.3m width
 1.5m access to residential building neighbours consent?
 Access: from St. network N^o using entrance
 common access N^o Widths
 basecourse surfaces
 grade
 entrance location turning
 non reversing St or S/H reversing more than 30m
 Parking: N^o reqd. N^o shown
 location of parks size of parks
 Fences, Hedges, retaining walls, supporting fill
 Signs
 Landscaping where reqd. (Tourist)
 Access for disabled - see attachment.

AREA: _____ } write on
 ZONE: _____ } B.P. Application.

NELSON CITY COUNCIL
PIM CHECK SHEET

PIM No. 94453 LIM No. _____ Date 30/1/94

Project	<u>Erect Dwelling</u>
Applicant	<u>TASMAN HOMES</u>
Lot	<u>11</u> DP <u>116913</u>
Project Location	<u>65 Kingstord Dr</u>
Special Conditions	<u>719</u>

PROCESSED

Attached sheets are to be identified eg Services S1, S2, S3 etc Planning P1, P2, P3 etc.

Indicate in boxes checked [✓] not applicable [NA]

Services

- | | | | |
|------------------------------|-----|--------------------------------|-----|
| Water Supply (Toby Location) | [] | Storm Water (including levels) | [] |
| Sewer (including levels) | [] | Flood Levels | [] |
| Minimum Floor Heights | [] | Trade Waste A/B | [] |
| Water by Meter | [] | City Datum | [] |

Comments please list under Particulars of Project Information Memorandum.

- | | | | |
|---------------------------|-------------|------------|-------|
| Number of Sheets attached | _____ | Checked by | _____ |
| Section No. | <u>9500</u> | Time | _____ |
| Number of Sheets attached | _____ | Checked by | _____ |
| Section No. | <u>9500</u> | Time | _____ |
| Number of Sheets attached | _____ | Checked by | _____ |
| Section No. | <u>9500</u> | Time | _____ |

Planning

- | | | | |
|---|-------|-----------------------------|-------|
| Controlled Activity | [✓] | Non Complying Activity | [✓] |
| Discretionary Activity | [] | Development (Cont act) | [] |
| Designation | [] | Historic Building | [] |
| Water Permit | [] | Archaeological Sites | [] |
| Coastal Permit | [] | Building Line Restriction | [] |
| Discharge Permit | [] | Soil Erosion Sec 9 RMA (RP) | [] |
| Existing or refused consents
planning or subdivision | [] | Road Widening | [] |
| Waterways Sec 13 RMA (RP) | [] | | |

Comments please list under Particulars of Project Information Memorandum.

- | | | | |
|---------------------------|-------|------------|-------|
| Number of Sheets attached | _____ | Checked by | _____ |
| Section No. | _____ | Time | _____ |

Environmental Health

Health Act	[]	Food Hygiene Reg.	[]
Dangerous Goods	[]	Sale of Liquor Act	[]
Septic Tanks	[]	Noise Standards	[]
Smoke Stacks - Chimneys	[]	Water Supply Protect.Reg	[]
Hazardous Material or Waste			[]

Comments please list under Particulars of Project Information Memorandum

Number of Sheets attached _____ Checked by _____

Section No. _____ Time _____

Subdivisions

Consent Granted	[]	No. _____ "As Built	[]
Engineering Plan Received	[]	Stability Report Received	[]
L.T. Issued No. _____		224(C) Issued R.M.A.	[]

Comments please list under Particulars of Project Information Memorandum.

Number of Sheets attached _____ Checked by _____

Plumbing and Drainage

Water Service	[]	Storm Water	[✓]
Foul Water	[✓]	Drainage Cards	[]
Yard Files	[]		

Comments please list under Particulars of Project Information Memorandum.

Number of Sheets attached As per As Built. Checked by N. Max

Building Planning (check Planning list)

Condition Book	[✓]	Building Permit Cards	[✓]
Building Files	[✓]	Disabled Persons Act	[✓]
Swimming Pools Act	[✓]	Local Government Act Sec.354	[✓]
Building Act Sec.37	[✓]	Building Act Sec.39	[✓]
Building Act Sec.46	[✓]	Building Act Sec.36	[✓]

Comment please list under Particulars of Project Information Memorandum.

Number of Sheets attached _____ Checked by Ac. 14/12/94

This is:

[X] Confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991 and any requirements of the building consent.

Not yet applied for []

No: 941453...attached [X]

Notification that the proposed building work may not be undertaken because a necessary authorisation has been refused.

Information identifying relevant special features of the land concerns.

Information about the land or buildings concerned notified to the Council by any statutory organisation having the power to classify land or buildings.

Details of relevant utility systems.

Details of authorisations which have been granted.

Notification of any other authorisations which must be obtained before the proposed building work may be undertaken.

Details of authorisations which have been refused.

PARTICULARS OF PROJECT INFORMATION MEMORANDUM

THE FOLLOWING COMMENTS & LISTED INFORMATION ON ATTACHED SHEETS
HAS BEEN OBTAINED FROM COUNCIL RECORDS

No. 94453 _ _ _

SERVICES

Aerial photograph of services in the immediate area.
As Built sewer and stormwater drawings.
Attached drawings show information which may or may not be correct at present and is subject verification. Levels are to be confirmed and surveyed from survey standard blocks to Nelson City Council datum.

Floor/Flood Levels

Note no Levels quoted.

Note Levels quoted do not appear to be/are not to Nelson City Council Datum.

Minimum Floor Levels - minimum floor level to be 150mm above lid of sewer manhole immediately upstream of sewer connection. Absolute minimum floor level is RL _____ m above Nelson City Council datum surveyed from survey standard blocks.

Gully Trap

Gully trap surround to be minimum of:

50mm below lowest sanitary fixture served

e.g. below FFL at any shower tray:

25mm above a paved surface:

100mm above any unpaved surface:

100mm above the upstream sewer manhole lid.

Finished ground levels are required to ensure that gully trap requirements are met.

Secondary Flood Route

The building site is in a secondary flood route.

The building site is in the flood plain of _____.

Proposed FFL _____ exceeds Council minimum requirements.

SUBDIVISION

Land Transfer Plan issued.

Deposited Plan issued.

Road to vest involved.

PLANNING

~~A copy of Planning card listing any consents granted/refused.~~

~~This application has insufficient detail to undertake a check for compliance with the District Plan and there may be issues of non-~~

compliance not yet evident. Provide full Planning detail to enable a complete check to be undertaken for:

The following area/s of Non-Compliance with District Plan has/have been identified, however there is insufficient detail to undertake a full check for compliance with the District Plan. Provide full planning detail to enable a complete check to be undertaken for:

Sufficient detail has been provided and a full check for compliance with the District Plan has been undertaken and

THE proposed works comply with the District Plan.

THE following area/s of Non-Compliance has/have been identified.

IF the value of the proposed work exceeds \$100,000 or the proposed value of the work plus previous development for the site/use exceeds \$100,000 within the previous five years the a Resource Consent is required for a development approval.

THE construction or alteration of buildings to provide 3 or more new (or two or more additional) household units will require a Resource Consent for a development approval.

(NB: A staged development constitutes a development in terms of the Act.)

NOTE: If any construction, erection or alteration is staged it constitutes a development.

The following matters will be required to be addressed before a planning approval can be granted:

1. Bulk location including site area, coverage and living courts.
2. Access and parking areas, including gradient, turning curves, formation and drainage.
3. Daylight Control and building height.
4. Permitted activity (describe the proposed use of the building).
5. The garage/carport in the front yard will require a Resource Consent for a Controlled Activity.
6. The garage/carport in the front yard is in a non-complying location.
7. The proposed building is in a non-complying location.
8. The proposed building does not comply with daylight requirements on the North South East West boundary.

9. The proposed building exceeds the maximum height allowance under the District Plan.
10. The proposed access does not comply with the 90 percentile car Tracking Curve.
11. The access formation is to be detailed and is to comply with Appendix 9 of the District Plan.
12. The access is to be sealed from the Carriageway to a point 2m onto the site.
13. The access and parking area is to be provided with stormwater drainage.

Your plans require amendment to comply with the District Plan, if compliance is not practical an application should be made for the required Resource Consents (i.e. Controlled Activity/Non-Complying Activity).

Further information is required to enable a full check for compliance with the District Plan.

~~Other Comments:~~

IN ANY CASE THE NECESSARY RESOURCE CONSENTS MUST BE OBTAINED BEFORE ANY WORK MAY PROCEED FOR WHICH A BUILDING CONSENT HAS BEEN OR WILL BE ISSUED PURSUANT TO THE BUILDING ACT 1991.

Alterations made to plans as a result of a Resource Consent must also be made to the Building Consent plan. If the Building Consent has not been issued an application for an amended Building Consent must be applied for and amended plan provided for rechecking and approval pursuant to the Building Act.

ENVIRONMENTAL HEALTH

PLUMBING & DRAINAGE

A copy of the As Built sewer and stormwater ~~cards~~.

BUILDING

The land is subject to condition 719.

NOTE: Building Consent holders are responsible for all damage to the street frontage. If there is any damage to the frontage, it must be brought to the Councils attention prior to work commencing.

PARTICULARS OF PROJECT INFORMATION MEMORANDUM

THE FOLLOWING COMMENTS & LISTED INFORMATION ON ATTACHED SHEETS
HAS BEEN OBTAINED FROM COUNCIL RECORDS

No. 941453

PLANNING

Sufficient detail has been provided and a full check for compliance with the District Plan has been undertaken and the proposed works comply with the District Plan.

IN ANY CASE THE NECESSARY RESOURCE CONSENTS MUST BE OBTAINED BEFORE ANY WORK MAY PROCEED FOR WHICH A BUILDING CONSENT HAS BEEN OR WILL BE ISSUED PURSUANT TO THE BUILDING ACT 1991.

Alterations made to plans as a result of a Resource Consent must also be made to the Building Consent plan. If the Building Consent has not been issued an application for an amended Building Consent must be applied for and amended plan provided for rechecking and approval pursuant to the Building Act.

PLUMBING & DRAINAGE

A copy of the As Built sewer and stormwater plans.

BUILDING

The land is subject to condition 719.

NOTE: Building Consent holders are responsible for all damage to the street frontage. If there is any damage to the frontage, it must be brought to the Councils attention prior to work commencing.

DATE: 22 JULY 1994 CONDITION N^o 719

STREET ADDRESS KINGSFORD DR, HURIA ST, KATE EDGAR PL & SUFFOLK RD.

LEGAL DESCRIPTION: DP 16913 & DP 16811

PROPERTY OWNER STOKE SOUTH SYNDICATE

OR SUBDIVIDER:

SCHEME PLAN N^o 92208 NCC PLAN N^o

AUTHORITY: PLANNING & REGULATION (D LEY)

REASON FOR CONDITION:

(ABBREVIATED)

RURAL LAND NOW IN RESIDENTIAL DEVELOPMENT

CONDITION

COMPACTED FILL PLACED ON LOTS 9, 16 TO 25, 34 TO 36 AND 40 IS SUITABLE FOR THE CONSTRUCTION OF LIGHT TIMBER FRAMED BUILDINGS COMPLYING WITH NZS 3604, IN THAT THE SOIL IN THE FILL AREA HAS A SAFE BEARING CAPACITY OF 100kPa OR GREATER.

IT SHOULD BE NOTED PENETROMETER TESTS CARRIED OUT IN THE EARLY STAGES OF FILLING INDICATED THAT THE BEARING STRENGTH OF THE NATURAL CLAYS UNDERLYING THE FILLING IS QUITE VARIABLE AND SAFE BEARING STRENGTHS OF AS LOW AS 60kPa WERE MEASURED, ESPECIALLY IN LOCATIONS WHERE THE SOIL WAS SATURATED. TYPICALLY THE SAFE BEARING STRENGTH OF THE UNDERLYING NATURAL GROUND IS LESS THAN THAT OF THE COMPACTED FILLING.

LOTS 10 TO 15, 26 TO 33, 37 TO 39 AND 41 TO 43 DO NOT CONTAIN FILLING.

BUILDINGS OF OTHER THAN LIGHT TIMBER FRAMED CONSTRUCTION COMPLYING WITH NZS 3604:1990 SHALL HAVE FOUNDATIONS SPECIFICALLY DESIGNED BY A REGISTERED ENGINEER. THIS INCLUDES BUILDINGS WITH MASONRY OR REINFORCED CONCRETE WALLS AND/OR SUSPENDED CONCRETE FLOORS

FOUNDATIONS FOR ANY STRUCTURE SHALL EXTEND AT LEAST 300mm INTO THE SOIL LAYER BELOW ANY TOP SOIL.

ALL STORMWATER FROM PAVED ROOF AREAS SHALL BE DISCHARGED INTO THE NCC STORMWATER SYSTEM VIA AN APPROVED SEALED PIPE SYSTEM.

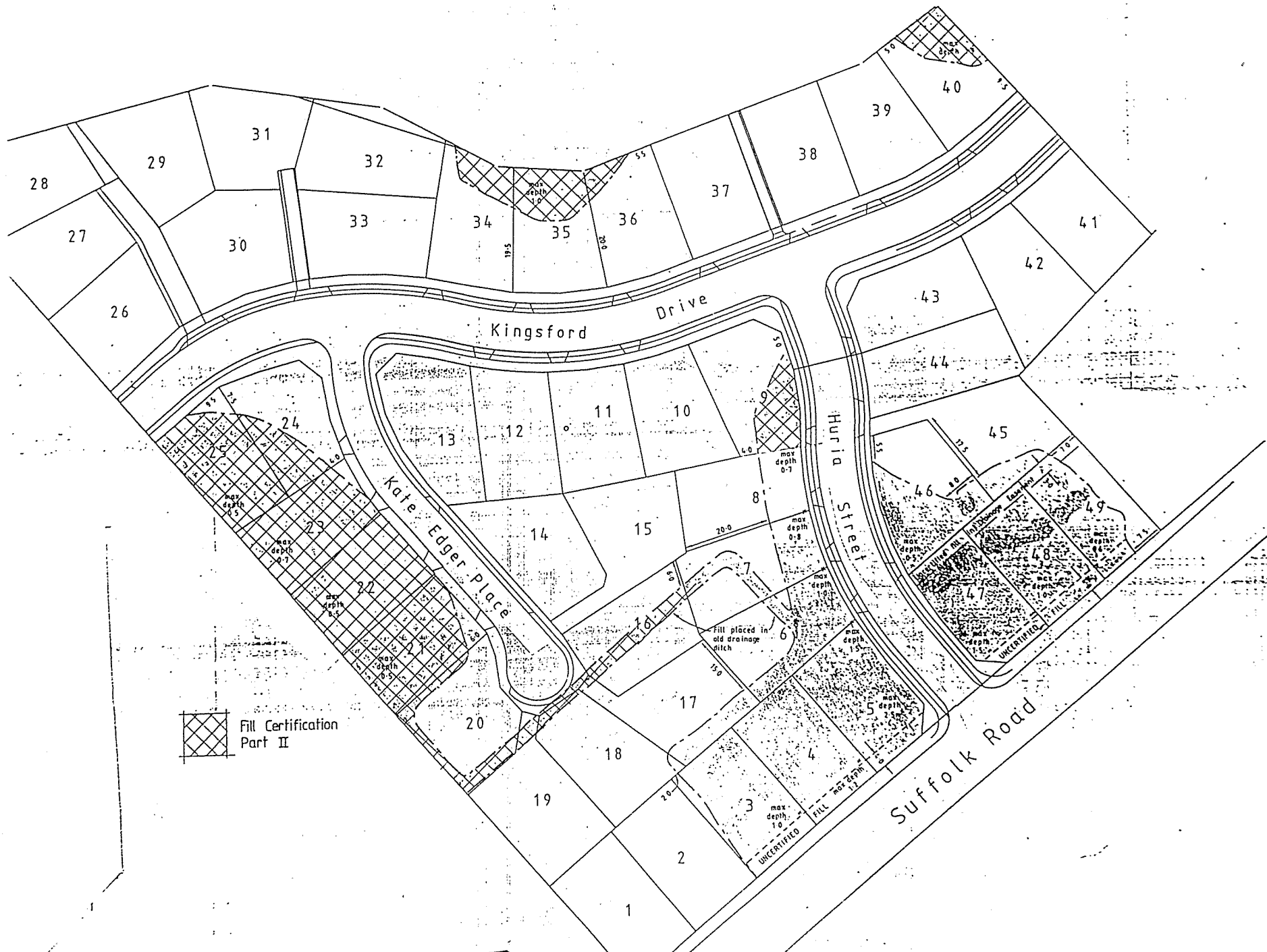
ALL TOP SOIL SHALL BE REMOVED UNDER CONCRETE 'SLAB ON GROUND' CONSTRUCTION IN ACCORDANCE WITH NZS 3604:1990.

IT IS RECOMMENDED THAT THE BEARING CAPACITY TEST PROCEDURE OUTLINED IN APPENDIX C OF NZS 3604:1990 BE APPLIED TO ALL BUILDINGS CONSTRUCTED ON LOTS 9, 16 TO 25, 34 TO 36 AND 40 TO ENSURE THAT THE VARIABLE SOIL STRENGTH OF THE UNDERLYING NATURAL GROUND IS TAKEN INTO ACCOUNT DURING THE DESIGN OF BUILDING FOUNDATIONS.

ENTERED INTO CONDITIONS

BOOK BY: I J TYLER

DATE: 3 AUGUST 1990



AREAS OF FILLING

NELSON CITY COUNCIL

PO BOX 645 NELSON NEW ZEALAND PHONE 03-546 0200 FAX 03-546 0239

Code Compliance Certificate

Section 43(3), Building Act 1991

Application

Mr R Charlesworth	No.	941453
c/- 65 Kingsford Drive	Issue date	21/02/00
Nelson		

Project

Description	NEW CONSTRUCTION BEING STAGE 1 OF AN INTENDED 1 STAGE ERECT DWELLING
Intended Life	INDEFINITE, BUT NOT LESS THAN 50 YEARS
Intended Use	
Estimated Value	\$96,400
Location	65 KINGSFORD DRIVE
Legal Description	LOT 11 DP 16913
Valuation No.	1962034008

This is a final code compliance certificate issued in respect of all the building work under the above building consent.

OK.. for issue C.C.C.

K.L.
21/2/2000

Signed for and on behalf of the Council:

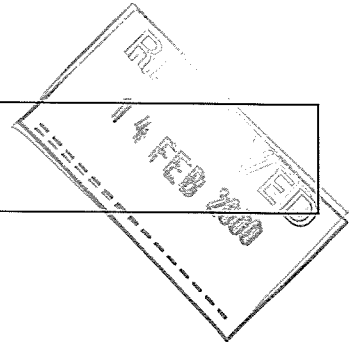
Name:

Date:

ph. Christine Charlesworth, 5474116,
to arrange time

Advice of Completion of Building Work

Section 43(1), Building Act 1991



To: NELSON CITY COUNCIL

Consent Details

Mr R Charlesworth c/- 65 Kingsford Drive Nelson	No. 941453 Issue date 16/12/94 Application date 1/12/94
---	---

Project

Description	NEW CONSTRUCTION BEING STAGE 1 OF AN INTENDED 1 STAGE ERECT DWELLING
Intended Life	INDEFINITE, BUT NOT LESS THAN 50 YEARS
Intended Use	
Estimated Value	\$96,400
Location	65 KINGSFORD DRIVE
Legal Description	LOT 11 DP 16913
Valuation No.	1962034008

You are hereby advised that

- All
 Part only as specified in the attached particulars

of the building work under the above building consent is believed to have been completed to the extent required by that building consent.

You are requested to issue

- A final
 An interim

code compliance certificate accordingly (except where a code compliance certificate has been issued by a building certifier as stated below).

The attached particulars include:

- Building certificates
 A code compliance certificate issued by a building certifier
 Producer statements

Signed by or for and on behalf of the owner:

Name:

Position:

Date:

Business hours contact phone no.:

Notices to rectify

941453 Mr R Charlesworth : ERECT DWELLING : 65 KINGSFORD DRIVE
KL KEITH LANGHAM

~~26/05/99~~ The exposed pipework in the roof area needs to be
protected from frost i.e. lagged.

KL KEITH LANGHAM

~~26/05/99~~ The mechanical ventilation in the ensuite must be
ducted to outside the building envelope.

KL KEITH LANGHAM

~~26/05/99~~ The water temperature at the tap needs to be
adjusted to 55 degrees.

KL KEITH LANGHAM

~~26/05/99~~ A vent cowl is required on the terminal vent.

KL KEITH LANGHAM

~~26/05/99~~ Landscaping to be lowered around the rear of the
dwelling adjacent to the building where the level
is higher than the floor.

* end *

use up and down arrow keys X to return to main enquiry

Munday Mm 8.30.

Final Residential Checklist

BC Number 941453 Site Address 65 KINGFORD DRIVE Project _____

<input checked="" type="checkbox"/> Ceiling access clear of obstruction
<input checked="" type="checkbox"/> Ceiling insulation placement- <i>type as per plan</i>
<input checked="" type="checkbox"/> Supply tank- <i>c/w overflow</i>
<input checked="" type="checkbox"/> Exposed pipe work lagged
<input checked="" type="checkbox"/> Mechanical vents to outside <i>bedroom</i>
<input checked="" type="checkbox"/> Ventilation from rooms
<input checked="" type="checkbox"/> Safety glazing- <i>showers, doors, windows ballustrades,</i>
<input type="checkbox"/> Safety rail- <i>stairs, decks</i>
<input type="checkbox"/> Hand rail on stairs
<input checked="" type="checkbox"/> HWC fixed in place
<input type="checkbox"/> HWC relief valves to outside
<input checked="" type="checkbox"/> HWC exhaust to outside
<input checked="" type="checkbox"/> HWC drain to outside
<input checked="" type="checkbox"/> Tempering valve fitted, all valves accessible
<input checked="" type="checkbox"/> Temperature of water checked <i>59°</i>
<input checked="" type="checkbox"/> All sanitary fixtures installed
<input checked="" type="checkbox"/> Around fixtures sealed
<input checked="" type="checkbox"/> Floor coverings completed
<input type="checkbox"/> Heater fixed, flue completed <i>sep consent.</i>
<input type="checkbox"/> Wetback fitted

<input checked="" type="checkbox"/> Weather proofing, <i>flashings etc</i> completed
<input checked="" type="checkbox"/> Stucco-cracks sealed, <i>vinyl painted</i>
<input checked="" type="checkbox"/> Brick veneer- <i>weep holes clear</i>
<input checked="" type="checkbox"/> Spouting and down pipes completed
<input checked="" type="checkbox"/> Terminal vent and back vents completed <i>grill</i>
<input checked="" type="checkbox"/> Foundation sealed around wastes
<input checked="" type="checkbox"/> Gully trap levels OK <i>unseen as covered with wood.</i>
<input type="checkbox"/> Sumps installed as per plan
<input checked="" type="checkbox"/> Finished Ground Levels OK <i>to high to near garden next to house.</i>
<input type="checkbox"/> Retaining walls completed to plan
<input type="checkbox"/> Landscaping completed
<input checked="" type="checkbox"/> Driveway completed as per plan
<input checked="" type="checkbox"/> Street frontage OK
<input checked="" type="checkbox"/> Drainage asbuilt received
<input type="checkbox"/> Engineer P/S C/R received for all specific design
<input type="checkbox"/> Energy Works Certificate received
<input type="checkbox"/> Ammended plans and details received
<input type="checkbox"/> Resource consent conditions met
Inspector: <u>KENTH</u> Date: _____

to ROY CHARLESWORTH.

TASMAN HOMES LTD

SPECIFICATION

CLIENT : Heather Bennett

SITE : Lot 11 Kingsford Drive, Stoke, Nelson

CONTENTS : SPECIFICATION
 BRACING SCHEDULE
 TRUSS DESIGN CERTIFICATE

SECTION

1. PRELIMINARIES
2. EXCAVATION
3. CONCRETE
4. CARPENTRY
5. ALUMINIUM WINDOWS
6. ROOFING
7. PLUMBING
8. DRAINAGE
9. ELECTRICAL
10. BRICKLAYING
11. SOLID PLASTERING
12. PAINTING

16 DEC 1994

SECTION 1

PRELIMINARIES

SERVICES 1.

- 1.1 Tasman Homes Ltd shall provide electrical, telephone and water services and make available to all sub-contractors.

SCAFFOLDING ETC 2.

- 2.1 Tasman Homes Ltd shall provide scaffolding facilities where necessary.

PROPRIETARY MATERIALS 3.

- 3.1 Where not specified by name, materials shall be of approved manufacture and design.

MAKE GOOD OF SITE 4.

- 4.1 Remove from the site all rubbish accumulated during construction and ensure that the whole site is left in a clean, tidy condition.

KERB & FOOTPATH DAMAGE 5.

- 5.1 Tasman Homes Ltd will take as much care as possible to avoid any damage to existing kerbs and footpaths but will not be held responsible for any damage.

PROMOTION 6.

- 6.1 Tasman Homes Ltd and its agents reserve the right to use the building for promotional and marketing purposes up to settlement date.

SECTION 2

EXCAVATION

CLEARING SITE _____ 1.

Excavate and clear building site of all top soil, vegetation, etc. under the building. Deposit top soil on site where directed.

EXCAVATIONS _____ 2.

Excavate the ground for all foundations, steps, floors, etc. as shown on the drawings.

Remove all water and soil that may come into the excavation from rain or otherwise and effectually complete the drainage of the site before any work is carried out.

Trenches are to be taken down to depths shown on the drawings, or until a solid bottom is reached.

Consolidate the earth about foundations. Any excess in excavations through earth falling in or otherwise is to be made good in concrete. No concrete is to be put in until the trenches have first been examined by the Building Inspector.

BACKFILLING _____ 3.

All filling below slabs shall be approved face rock fill, and shall be placed in horizontal layers, not exceeding 200mm loose depth. After each layer of fill has been spread evenly it shall be compacted. All filling to driveway areas shall be base course aggregate.

BLINDING 4.

Prior to the placing of DPM the filling shall be blinded with 20mm of approved sand.

SURPLUS SPOIL 5.

Any surplus spoil other than top soil shall be removed from the site.

SECTION 3

CONCRETE

CONCRETE 1.

All concrete must be installed in accordance with the NZS 2086:1967 READY MIX CONCRETE and NZS 3109:1980. All concrete shall be to grades and strengths as defined in NZS 3109:1980 shall be as follows:

All concrete shall be 20 mPa minimum compressive strength.

REINFORCING STEEL 2.

Foundations shall be reinforced with mild steel rods, continuous well lapped and wired together, bent round angles and placed in positions shown on the drawings, and also comply with NZS 3109:1980.

Reinforcement shall be cut, bent and placed as dimensioned or as otherwise indicated on the drawings. Bars showing sharp bends or kinks shall be liable to rejection. Hooks and bends shall be as in BS 1478:1964. Stirrups and ties are to be bent to fit closely round the main longitudinal steel. Bars shall be lapped only where details on the drawings, except that the bars in foundation beams may be lapped to suit stock lengths, but laps are to be kept to a minimum and staggered where possible. Laps are to be a minimum of 40 diameters.

FOUNDATIONS 3.

Foundations shall be constructed with concrete masonry blocks. Blocks shall comply with NZS 3102:1983. The blocks shall be best quality VIBRARAC or FIRTH type.

All blocklaying shall be carried out by expert blocklayers and shall comply with the relevant portions of NZS 4210P:1981. Reinforcement shall be placed in foundations in advance of laying of blockwork. Reinforce foundations as shown and grout fill whole wall with 20 mPa concrete to fill all cells of wall solid.

FLOOR SLABS 4.

Slabs shall be 100mm thick reinforced with ECONO-MESH 84/10 (668). All slabs shall be screeded off level and then brought to a fine hard surface with approved power float equipment. Power floating shall be carefully timed to suit the setting rate of the concrete and shall be such as to leave the surface perfectly hard and dense and free from trowelling ridges.

EMBEDDED PIPES 5.

All embedded pipes shall be wrapped in denso tape where in contact with concrete.

SECTION 4

CARPENTRY

GENERAL 1.

The materials must be of best quality, well seasoned and free from knots and to be in the longest possible lengths and sawn square and true. The whole of the work is to be of the best description and the whole of the framing is to be framed, bolted and nailed in a manner approved by the Building Inspector.

Should the sizes of any timbers be neither figured on the drawings nor mentioned in this specification, the instructions of the NZS 3604 will be taken.

TIMBER 2.

All timber not otherwise specified shall be first quality building heart of the kind specified, well seasoned and to hold the full dimensions figured on the drawings. All pinus shall be No 1 framing grade and treated to NXTPA specifications Commodity B. The moisture content of the framing timber shall not exceed 14% EMC when builder is ready for linings. New Zealand Oregon may be substituted by pinus.

All timber work abutting or resting on concrete work to be protected with a bitumen fabric damp proof course.

SCHEDULE OF TIMBERS 3.

Bottom plates	100x50	Douglas fir gauged/where available
Top plates	100x50	" " "
Ceiling plates	150x40	" " "
	200x40	" " "
Studs	100x50	" " "
	100x40	" " "
Opening studs	100x50	" " "
Trimmers	100mm to NZS 3604 Light timber framing.	
Ceiling battens	75x40	Douglas fir
Ceiling joist dwangs	100x50	" "
Soffit fame	75x40	" " R/S
Ridge blades	75x25	" " "
Purlins	75x50	" " R/S
Tile battens	50x40	Rad. treated H3
Garage door jambs	200x40	Rad. DG H3

WORKMANSHIP 4.

All work to be carried out in a tradesmanlike manner in accordance with NZS 3604:1990 and amendments. Attend upon the other trades, cut or bore timbers as required, provide and fix all blocks, supports and the like.

CONSTRUCTION 5.

All wall framing is to be precut, prenailed frames. Constructed in a proper tradesmanlike manner, to make the whole of the works a sound construction in accordance with the local by-laws.

Plates to be long straight lengths. Bottom plates to be secured to slab with 12mm Dynabolts at 1000 crs max. to exterior walls and to the base of each wall brace.

Top plates to be jointed and fastened with 4n nail plates. All studs to be spaced at 600 crs max or 400 crs only for exterior wall studs for stucco cladding. Wall dwangs shall be spaced in rows at 800 crs.

Bracing to be let-in steel angle bracing set flush with face of the wall frames and raked as nearly as practicable to 45 degrees.

Refer to the bracing schedule at the end of this specification for the number and positions of the braces.

The wall frames are to be erected with bottom plates straight and fastened down, the corners are to be plumbed both ways using a plumb bob and line and top plates are to be held straight with temporary bracing until the ceiling and roof framing and bracing has been completed.

ROOF FRAMING 6.

Trusses shall be 'PRYDA' 25 degrees pitch trusses for a lightweight roof with a 600mm overhang. Trusses shall be fabricated by approved PRYDA Truss manufacturers only.

Trusses shall be spaced at max. crs of 900mm and fixed with galv. 'Z' nails to the plates.

Purlins shall be 75x50 R/S spaced at max. 900 crs.

Tile battens shall be 50x40 R/S set out as recommended by the Tile manufacturer.

CEILING FRAMING 7.

Fix 200x40 and 150x40 ceiling plates to top plates. Run 200x40 ceiling plates parallel to ridge only. Ceiling battens to be 75x40 at 400 crs.

SOFFIT LININGS 8.

Line soffits with 4.5mm Hardiflex fitted into groove in fascia system and nailed with galvanised clouts. Join sheets with Hardies PVC jointers.

FASCIA 9.

Shall be stratco clickfast fascia and gutter system installed by specialist installers.

INSULATION 10.

Provide and fix to all exterior walls including internal garage walls 75mm thick AHI Fibreglass batts to form a complete envelope. Insulate total ceiling area of house with 'Cozy Cover' Insul-fluf.

INTERIOR FINISH 11.

11.1 Wall linings : Interior walls and ceilings linings shall be 9.5mm gibralter board. Wall sheets to be fixed vertically, glued and nailed with flat head galvanised clouts.

Ceiling sheets to be glued and screwed with 30x6mm Gypsum screws.

Walls only in garage to be lined with gib-board ceiling to garage lined only if specified as an extra.

11.2 Interior doors : Shall be hollowcore flush, paint grade prehung on 1.5 pairs 90mm loose pin butt hinges.

Customwood MDF door jambs.

11.3 Skirting : All rooms shall have a 60x12 bevelled MDF skirting.

11.4 Cornice : Wall/ceiling junction shall be bounded by a 40mm bevelled MDF cornice.

All skirting and cornice shall be scribed on internal corners and mitred at external angles.

11.5 Bath surround : Line walls around bath with Aquapanel lining, complete with matching PVC mouldings.

Apron of bath shall also be lined with Aquapanel.

11.6 Wardrobe shelving : Fit a 300mm wide full length shelf to each wardrobe, with a 20mm dia. galvanised pipe coat rail below.

11.7 Linen cupboard : Shall have 16mm thick MDF shelving at approx. 400mm crs.

11.8 Wardrobe sliders : When shown on plan supply and fit aluminium framed wardrobe sliders with gib-board infill panels.

11.9 Shower door : Shall be a 'Showermaster' Trombone Pivot door with Styrene glazing.

Bath/Shower Door : Shall be a 3 panel slider.

HARDWARE 12.

Leave all hardware lubricated in proper adjustment and in good working order.

Front entry door - schlage lock, push/polished brass.

Interior doors - Kwikset latch sets - polished brass.

Privacy locks to WC and bathroom.

Cyl. cupboard - Kwikset Dummy Knob - polished brass.

Wardrobe rails - Pryda sockets / 20mm galv. pipes.

Kitchen cupboard handles - sylvan plastic 'D' handles.

WC paper holder, bathroom towel rails are not included.

KITCHEN 13.

The complete interior carcass, including shelving shall be made from prefinished white Melamine board.

All exposed edges shall have matching edging tape fitted.

Shelving shall be all loose/adjustable type shelves on shelf studs.

Hinges shall be self closing 90 degrees opening hinges.

Door and drawer fronts, end panels, backs of breakfast returns etc shall be all lacquer finish.

Formica bench tops will be supplied only by specialist plastic laminators, unless specified bench top will be supplied with a standard single stainless sink, with waste disposer hole.

Square edged bench tops to be standard.

FRONT ENTRY DOOR 14.

Shall be an Aluminium Entrance door type 600 glazed with Cathedral glass.

Door shall be hung in an aluminium outer frame.

GARAGE TILTADOOR 15.

Shall be a Coloursteel Tiltadoor manufactured by Colin Davis Garage Doors.

SITE WORKS 16.

16.1 Fencing: Fencing is not included in this contract.

16.2 Driveway: Not included in this contract.

16.3 Exterior Sundries: Letterbox, and paths are not included in this contract.

Extendalene to be supplied & erected.

16.4 Landscaping: Landscaping is not included in this contract but the site will be left clean and tidy.

FLOOR COVERINGS 17.

A PC Sum of \$4200.00 has been allowed for floor coverings.

SECTION 5

ALUMINIUM WINDOWS

WORK _____ 1.

The work includes supply, delivery, fixing and glazing of all aluminium windows as detailed and scheduled, including doors into aluminium frames.

FINISH _____ 2.

All aluminium windows shall be selected colour powder coated strictly in accordance with maker's specifications.

Choice of colour shall be restricted to the base colours, a surcharge will have to be paid for non-standard colours.

Tinted glass to be fitted in kitchen, dining & living room.

WINDOW DESIGN AND PERFORMANCE STANDARDS _____ 3.

All windows shall comply with NZD 4211:1976 (PERFORMANCE OF WINDOWS) and NZS 3504:1079 (ALUMINIUM WINDOWS).

LOADING REQUIREMENTS _____ 4.

The window installation including fixings shall be designed to fully comply with the requirements of New Zealand Standard Code of Practice for General Structural Design and Design loadings for Buildings NZS 4203.

SHOP DRAWINGS _____ 5.

The appointed window sub-contractor shall prepare fully detailed shop drawings showing full size sections of all components of metal windows.

Drawings shall show elevations of all the various window types scheduled showing dimensions, locations of fixings and all attachments.

SECTION 6

ROOFING

WORKMANSHIP 1.

All roof work shall be carried out by experienced competent tradesmen familiar with the products being used.

LONGRUN COLOURSTEEL 2.

Building paper and Danban tape shall be laid over purlins with 50mm sidelaps and 150mm vertical laps. Ensure the building paper discharges into the gutters.

Lay coloursteel longrun roofing with 1 1/2 corrugations side laps and fix with matching roofing nails.

COLOURSTEEL TILES 3.

Fix 50x40 tile battens over self-supporting roof building paper with 50mm sidelaps and 150mm vertical laps.

Fix Gerard Tuffcoat roof tiles as specified by Carter Holt Harvey Roofing by specialist roof fixers only.

SECTION 7

PLUMBING

ACCORDANCE WITH BY-LAWS 1.

All work treated under this heading is to be strictly in accordance with the local By-laws.

All the work included in this specification not being in contravention to the By-laws is to be carried out as specified. Work to comply with NZBC.

PIPES AND FITTINGS 2.

- Materials shall be of gauges, sizes and types required to comply with the relevant standards.
- Underground cold water shall be alkathene.
- Copper tubing shall be seamless cold drawn to hot water piping only.
- Plastic pipes for wastes, vents, traps and soil pipes to comply with the relevant standards.
- Polybutalene piping to cold only shall be of an approved type with pipe and fitting, joining methods as recommended for the pipe used.
- Gutter shall be Stratco Clickfast gutter system.
- Downpipes all 65mm dia. Marley.

DOWNPIPES 3.

Downpipes shall be stormcloud 65mm fixed to wall with Marley pie clips screwed to walls with nylon anchors at approx. 1200 crs. Ensure downpipes discharge into stormwater sumps.

WATER SUPPLY 4.

Connect up to existing mains supply toby at boundary and run a 12mm alkathene supply to house.

Provide a Nura 135 litre supply tank to highest point in roof space, to be secured in position by carpenter to comply with seismac restraint.

Install a Cocks LP std hot water cylinder 180 ltr 2 KW/low pressure.

Hot water cylinder to be secured in place against seismic restraint with a 25x1.0mm galv. strap at top, with 100x50 chocks at base, as Fig 16 NZBC.

Secure all pipes to prevent vibration and sagging and conceal where possible.

Firmly secure all taps, valves etc to prevent movement in use.

VENTS, WASTEPIPES & TRAPS 5.

Fit PVC vents having baskets and flashing cones.

Joints shall be solvent welded where possible vents shall be concealed. Traps and wastes to basins shall be screwed polypropylene.

Other traps and wastes shall be solvent welded PVC. Basins, vanities - 32mm dia.

SANITARY FITTINGS 6.

Provide and connect water closet pans to soil and sewer socket with PVC adaptor, fix with brass screws.

Provide and fix the following fittings :

- Pan and cistern - Caroma Uniset Dual Flush
- Bath - Englefield Alpha 1665 shower above in bathroom
- Shower - Clearite cubicle 3G in ensuite
- Vanities - St Michel - 2 door, 3 drawers, 900 wide
- Clearlite WB22 handbasin and cabinet in Ensuite
- Laundry Tub - Rotec Supertub - washing machine overflow included.

The above bathroom fittings are available in white, shell peach, whisper pink, almond ivory and mist gray.

TAPS FAUCETS & VALVES 7.

- Kitchen - Starmix 280 chrome mixer
- Vanity - HMC Belmore B624
- Bath - HMC Belmore B494
- Shower - Feltonmix "86" wall set
- Hose taps - Two brass hose taps
- HWC - Tempering valve to be fitted to hot water system to comply with NZS4617 set at 55 degrees

INSPECTIONS 8.

Test all water supply pipework at maximum pressure available before the linings are fixed.

SECTION 8

DRAINAGE

ACCORDANCE WITH BY-LAWS 1.

All drainage work is to be strictly in accordance with the Plumbing and Drainage Regulations and Local Authority's By-laws notwithstanding any omission herein and to the entire satisfaction of the inspector.

PIPES AND FITTINGS 2.

All PVC pipes and fittings shall be of quality and pattern approved by the Local Authority.

EXCAVATING 3.

Excavate as necessary for all drains to depths required, gradients length and directions as shown on plans.

LAYING DRAINS 4.

The whole of the drains shall be laid to a true and even gradient with the maximum fall from highest point to outfall. All PVC pipework shall be laid on a bed of peametal and after testing haunch pipes to centre line with same.

SEWER DRAINS 5.

Connect to Local Authority connection point as shown on the site plan. Lay all sewer drains from gully traps, WC's, terminal vents, etc. and convey and connect up.

STORMWATER 6.

Lay stormwater drains as indicated connected to downpipes and laid to connect into Local Authority connection.

Downpipes shall discharge into PVC elbows.

Allow when necessary for entry to sewer and stormwater laterals is deeper than 1.0m to fit lamphole cleaning eyes at connection point.

SECTION 9

ELECTRICIAN

GENERAL 1.

All work to be carried out by registered electrician in accordance with the N.Z. Electrical Wiring Regulation 1976 and subsequent amendments and to the satisfaction of the Local Authority.

MAINS SUPPLY 2.

Co-operate with Local Supply Authority to connect from main supply with single phase supply.

Provide and install a flush mounted meter box to accommodate night storage and water heating metering. Install a 40mm dia. PVC conduit through foundation to 600 below ground level and protruding outside the foundation.

Provide fusing, earth and connection as may be required by the Supply Authority.

MAIN SWITCHBOARD 3.

Provide and install switch board totally enclosed metal clad cabinet with baked enamel finish.

Provide all MCB's and other central termination devices as required.

SWITCHED SOCKET OUTLETS 4.

Provide switched socket outlets to rooms as scheduled. Mount sockets 300mm off floor level except above joinery units. Provide flush boxes and plain white surface plates.

LIGHTING 5.

All lighting outlets shall be batton holders with white shades fitted with 100w incandescent bulbs.

Refer to to schedule.

Exterior lighting shall be batton holders fixed to soffit flush.

HOT WATER CYLINDER 6.

Wire up and provide flexible connections and isolation switches for 180 ltr cylinder.

NIGHT STORAGE HEATER 7.

Allow to run wire for future Night store heater connection in hallway. (Note: this does not include the supply and connection of Nightstore).

SHAVER POINT 8.

Not included unless specified.

TELEPHONE 9.

Allow to wire for 2 outlets. (This does not include jackpoint fittings).

T.V. OUTLET 10.

Provide TV outlet in lounge and cable in ceiling space.

BATHROOM WALL HEATER 11.

Allow to run wire for future bathroom wall heater in bathroom above the door. (Note: this does not include the supply and connection of heater).

ELECTRIC RANGE 12.

Supply and connect up an Atlas Neptune 4 element electric range (unless specified).

ROOM	CEILING LIGHTS	SOCKET OUTLETS
Kitchen	2	2
Dining	1	4
Lounge	2	3
W.C.	1	-
Bathroom	1	-
Ensuite	1	-
Laundry	1	1
Bedroom 1	1	2
Bedroom 2	1	2
Bedroom 3	1	2
Hallway	2 or 3	1 single
Garage	2	2
Outside Lighting	2	-

SECTION 10

BRICKLAYING

MATERIALS 1.

Bricks shall be 70 series as Brickmaker's or approved equal. All bricks shall be protected from weather until laid to ensure perfect dryness when laying.

A PC Sum of 85 cents per brick incl. GST has been allowed.

Sand shall be approved quality, perfectly clean, washed, sharp sand, free from loamy or organic matter.

Cement shall be of the best Portland cement complying with NZS 43.

WORKMANSHIP 2.

Work shall be carried out by expert bricklayers and only a high standard of workmanship will be accepted.

Bricks shall be laid in fairface, stretcher bond, perpends kept true. Joints shall be raked out.

Brickwork shall overlap foundation and butt up to all window and door frames.

Fix galvanised wire ties to framing as work proceeds.

On completion clean down, make good around pipes and vents etc. penetrating brickwork.

SECTION 11

SOLID PLASTERING

MATERIALS 1.

Cement shall be gray to comply with NZS 1844.

Sand shall be pit or river sand, sharp and clear. Approved additives may be used.

Netting shall be 25mm hexagonal galv. wire bird netting.

EXTERIOR WALLS 2.

Fix netting with fixing nails ensuring good fixing and to maintain that the netting is kept tight.

Plaster shall be thoroughly machine mixed.

Apply 2 coats of plaster to walls. Ensure that window flashings and junctions will shed water. Keep plaster coats damp after application and cover if necessary. Allow each coat to dry out before applying the next.

Carry plaster over foundations to ground level.

Apply fine textured finish to the final coat.

Name: Tasman Homes Ltd.

1	Location of STOREY	foundation single upper of two lower of two	SITE ADDRESS	
	SITE WIND ZONE: (Table 2.4)	low / medium high / very high	City/Town or District:	<u>Stoke, Nelson</u>
	EARTHQUAKE ZONE: (Fig 2.2, Table 2.3)	A / B+C	Street and Number: or LOT and D.P. Number:	<u>lot 11</u> <u>Kingsford Dr</u>
			Client:	<u>H. Bennett</u>

2	FOR EARTHQUAKE		
	Roof weight :	light / heavy	E = 4.6 B.U.'s/m ²
	Average Roof Pitch:	25°	
	Type of Cladding:	light / heavy	
	Earthquake zone:	A	
	Storey in Roof space:	yes / no	

3	FOR WIND		
	Building Height:	: 4.6 m	W = 40 B.U.'s/m <u>Bothways.</u>
	Roof Height	: 2.2 m	
	Storey Height	: 2.4 m	
	Design Wind Speed	: 37 m/s	

4	ROOF or BUILDING LENGTH	BL = 14.99 m
	ROOF or BUILDING WIDTH	BW = 13.48 m
	GROSS ROOF or BUILDING PLAN AREA	GPA = 151 m ²

5	EARTHQUAKE LOAD (ACROSS and ALONG)	E x GPA = 4.6 x 151 = 695 B.U.'s
	WIND LOAD: ACROSS	W x BL = 40 x 14.99 = 599 B.U.'s
	WIND LOAD: ALONG	W x BW = 40 x 13.48 = 539 B.U.'s

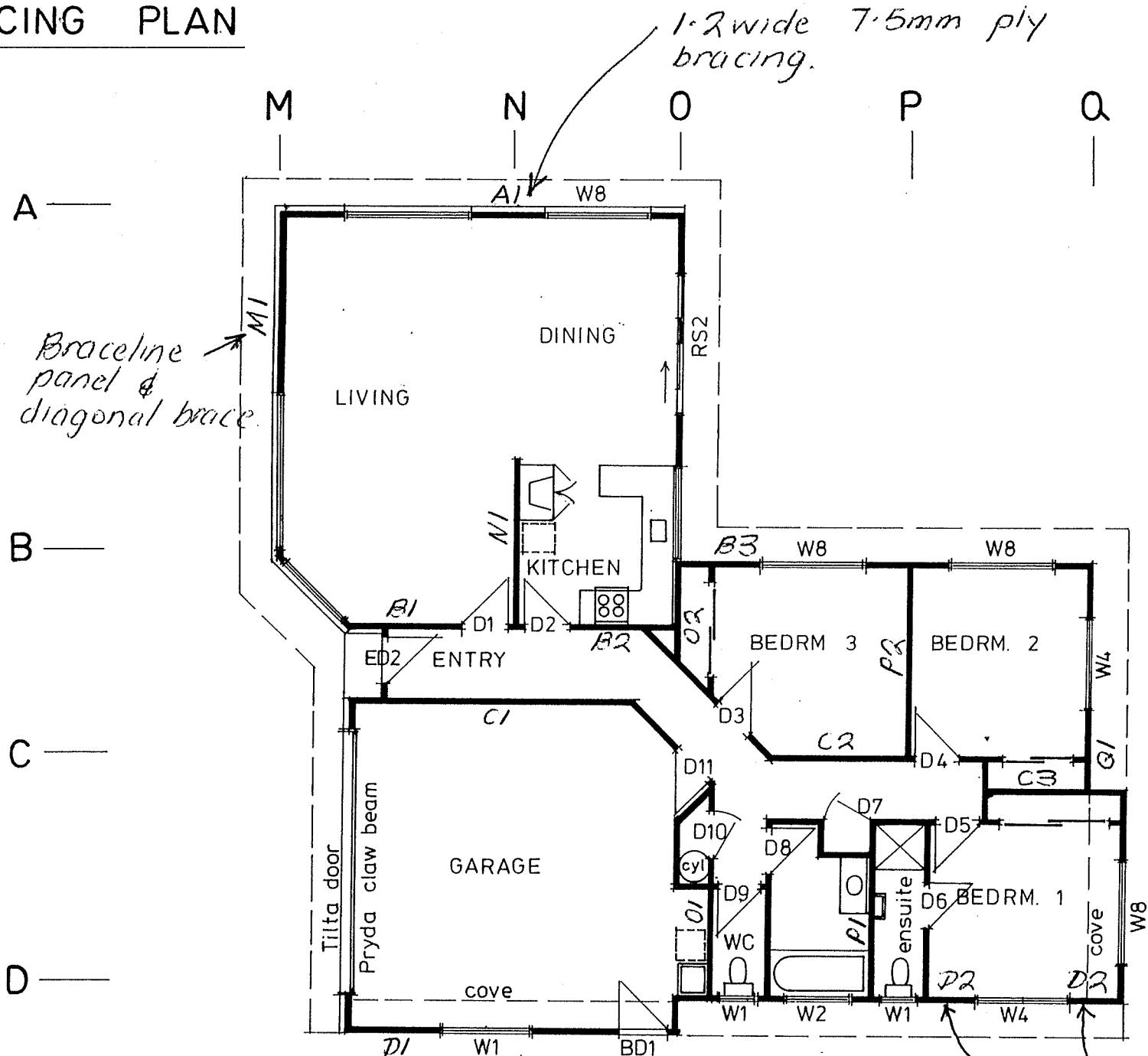
ALONG

ACROSS

LOCATION OF STOREY	Wall or Bracing Line		Bracing Elements Provided					
	1	2	3	4	5	6	7	8
foundation single upper storey lower storey	Line Label	Minimum B.U.'s Required	Bracing Element NO.	Bracing Type	Rating B.U.'s	Length of Element (m)	B.U.'s Achieved	
Total Bracing Units Required for foundation or this storey	A	71	A1	CP4	95	1.2	114	
			B1	Gib 2	60	1.9	114	
			B2	Gib 2	60	1.8	108	
for EARTHQUAKE (from sheet A)	B	70	C1	Gib 2	70	2.4	168	
	C	70	C2	Gib 2	60	2.2	132	
			C3	Gib 2	60	1.7	102	
	D	149	D1	Gib 1	50	2.4	120	
	E	149	D2	BR4	85	0.9	76	
D3			BR4	85	0.9	76		
695				TOTAL			1010	
for WIND (from sheet A)	A							
	B							
	C							
	D							
	E							
539				TOTAL			1010	

LOCATION OF STOREY	Wall or Bracing Line		Bracing Elements Provided					
	1	2	3	4	5	6	7	8
foundation single upper storey lower storey	Line Label	Minimum B.U.'s Required	Bracing Element NO.	Bracing Type	Rating B.U.'s	Length of Element (m)	B.U.'s Achieved	
Total Bracing Units Required for foundation or this storey	M	140	M1	BRI	74	2.4	178	
			N1	Gib 2	60	2.7	162	
			O1	Gib 2	60	1.8	108	
for EARTHQUAKE (from sheet A)	N	70	O2	Gib 2	60	1.7	102	
	O	70	P1	Gib 2	60	2.3	138	
			P2	Gib 2	60	3.2	192	
	P	70	Q1	Gib 1	50	2.1	105	
	Q	76						
695				TOTAL			985	
for WIND (from sheet A)	M							
	N							
	O							
	P							
	Q							
599				TOTAL			985	

BRACING PLAN



Braceline panel & diagonal brace.

1.2 wide 7.5mm ply bracing.

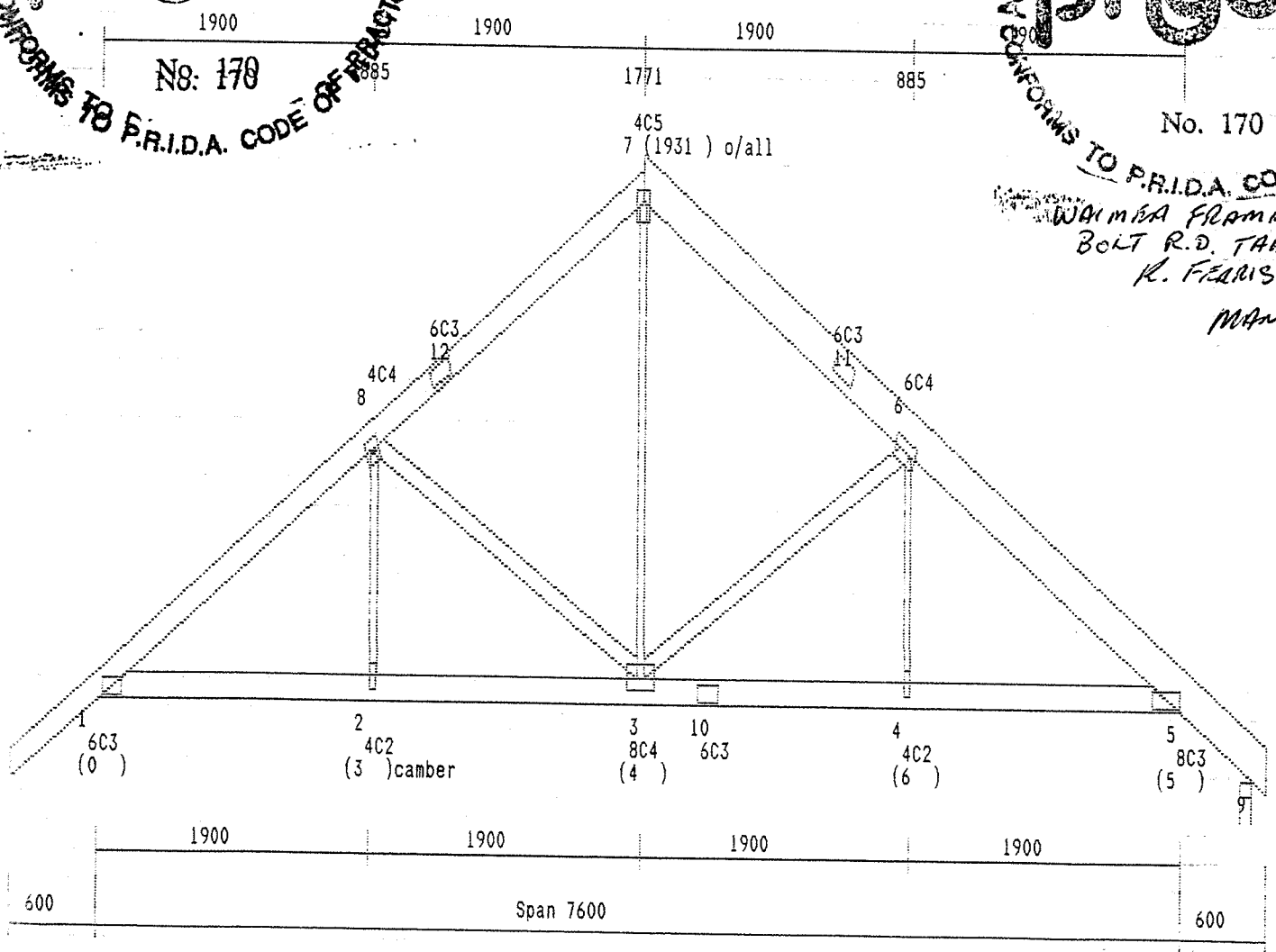
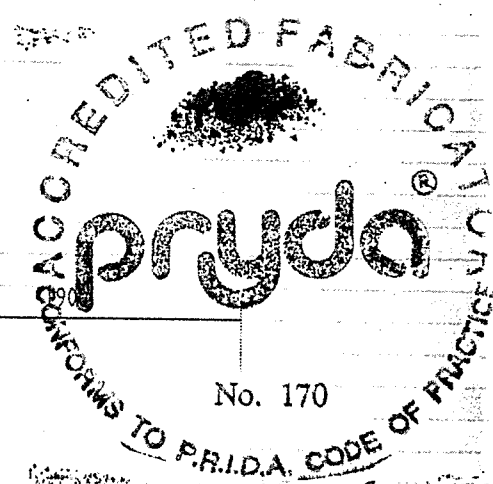
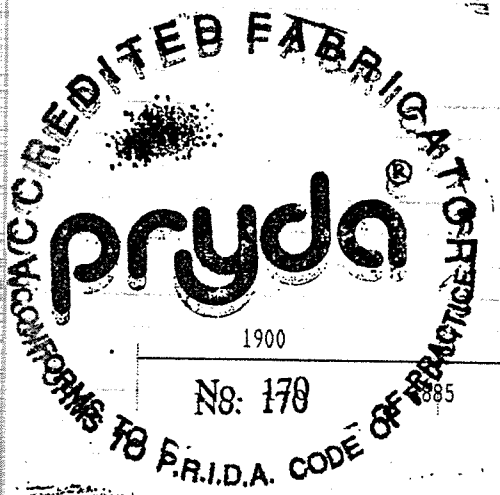
0.9m wide Braceline bracing panel.

TRUSS DATA

Truss Type : Howe 4
 SpLn : 7600 mm
 To pitch: 25.00 deg
 Truss thk : 47 mm
 Truss crs : 883 mm
 Laminations : 1
 To batten crs : 900 mm
 Sp batten crs : 600 mm

LOAD DATA

Roofing material : Decramastic Tile
 Ceiling material : Gib Board (9.5mm)
 Live load : 250 Pa
 Design wind velocity : 25 m/sec
 Basic regional wind vel. : 37 m/sec
 Max building height : 5 m
 Ground roughness : 3.0
 Cpi : .30
 Cpe (for +Cpi, -Cpi) : -.90, -.70



WAIMEA FRAMES AND TRUSSES
 BOLT R.D. TAHUANUI
 K. FERRIS
 MANAGER

TRUSS DESIGN CRITERIA FOR COUNCIL PERMIT APPLICATION

Customer name : TASMAN HOMES H ASKIN
35 WASTNEY TCE
PH 5451335 7001
Site address
Stoke , Nelson.

DESIGN CRITERIA

Roofing - Decramastic Tile
Ceiling - Gib Board (9.5mm)
Roof batten spacing - 900 mm
Ceiling batten spacing - 600 mm
Nominal spacing - 900 mm
Nominal roof pitch - 25.00 deg

Design wind velocity - 25 m/s
Regional basic wind velocity - 37 m/s
Building height - 3 m
Ground roughness - 3.0
Internal press. coefficient - .3

The truss designs for this job have been determined using computer software provided by the Engineering Divisions of the Pryda Nailplate Group of Companies. These designs are in accordance with sound and widely accepted engineering principles and comply with the following New Zealand Standards :-

- NZS4203 : 1984 General Structural Design and Design Loadings for Buildings
- NZS3603 : 1990 Timber Design
- AS1649 - 1974 Determination of Basic Working Loads for Metal Fasteners for Timber

These trusses should be erected and braced in accordance with the recommendations shown in Pryda Systems Roof Truss Erection Manual.

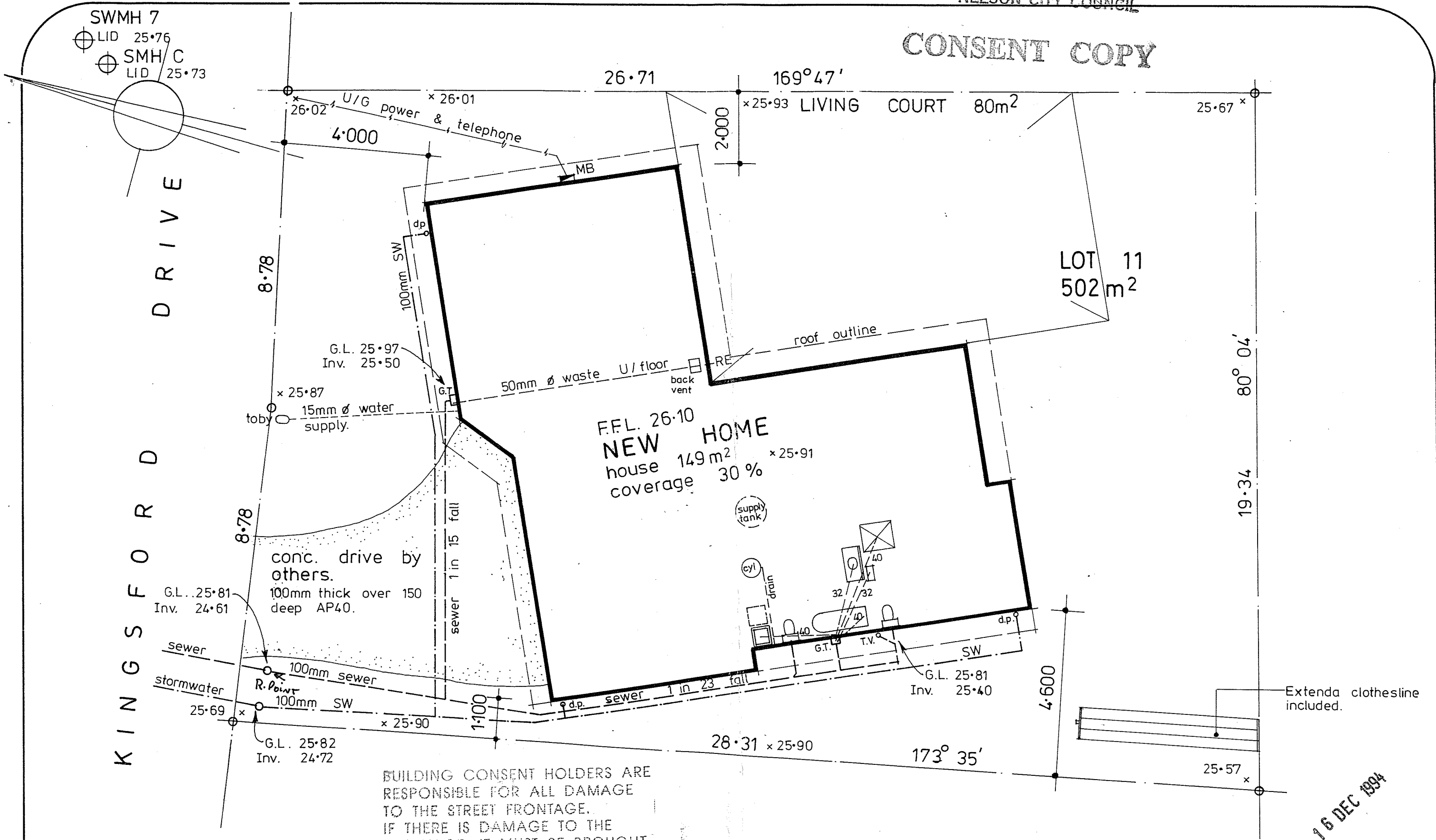
Fabricator name : WAIMEA FRAMES @ TRUSSES LTD. BOLT RD TAHUNANUI.

We confirm that the trusses for this project will be manufactured in accordance with all of the details and recommendations provided by the Engineering Divisions of the Pryda Nailplate Group of Companies.

Signed : K Dennis Manager.

Date : 11-2-1994.

CONSENT COPY

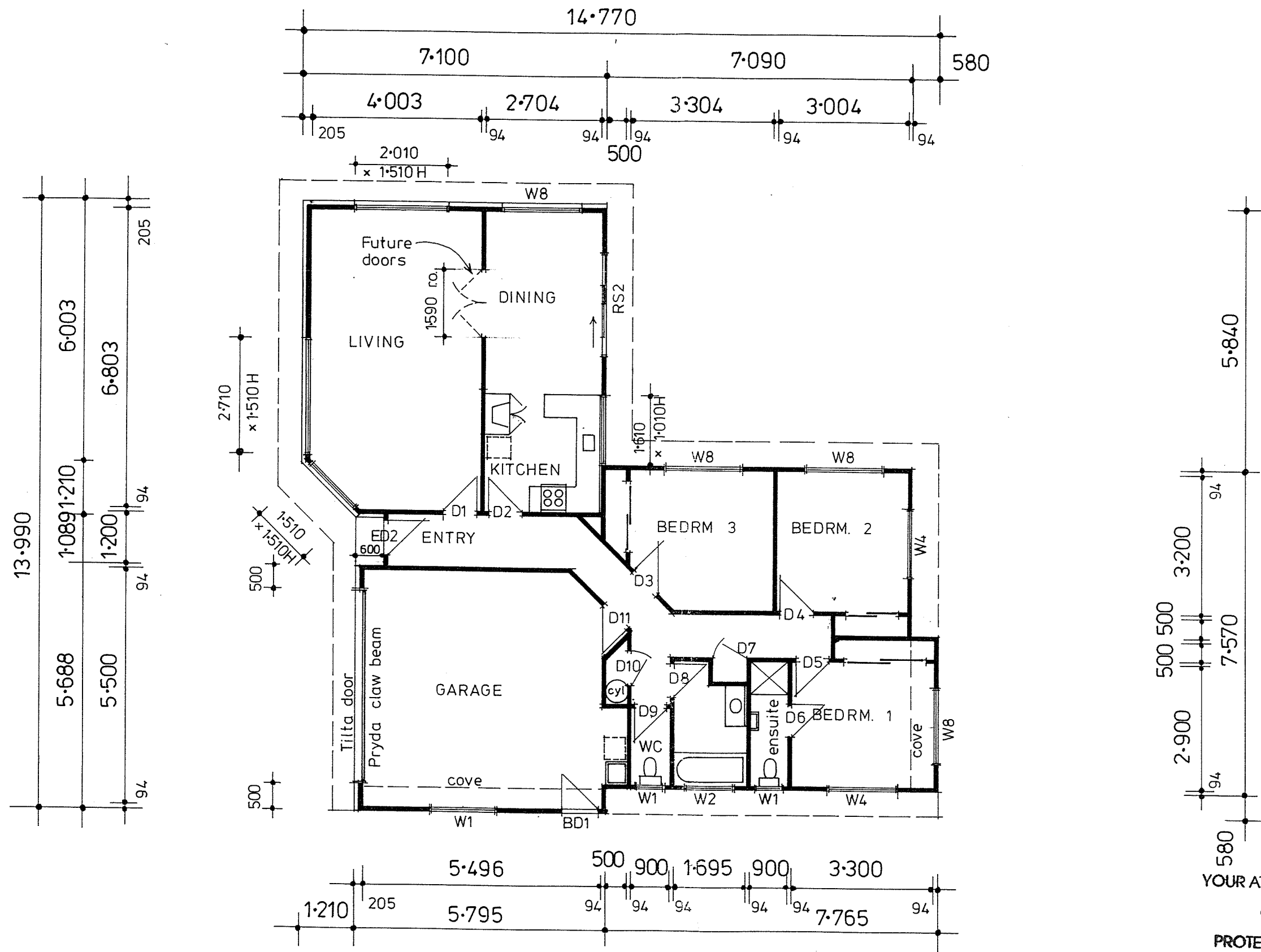


BUILDING CONSENT HOLDERS ARE RESPONSIBLE FOR ALL DAMAGE TO THE STREET FRONTAGE. IF THERE IS DAMAGE TO THE FRONTAGE, IT MUST BE BROUGHT TO THE COUNCIL'S ATTENTION PRIOR TO WORK COMMENCING.

YOUR ATTENTION IS DRAWN TO
G.12 AS1 5.4
PROTECTION FROM FROSTS


Tasman Homes
LIMITED
 7 Putaitai Street, Stoke Nelson
 Ph: 03-547 2906, Fax: 03-547 7172

Job no.	<u>L11</u>	Client	<u>BENNETT</u>
Date	<u>OCT 94</u>	View	<u>SITE PLAN 1:100</u>



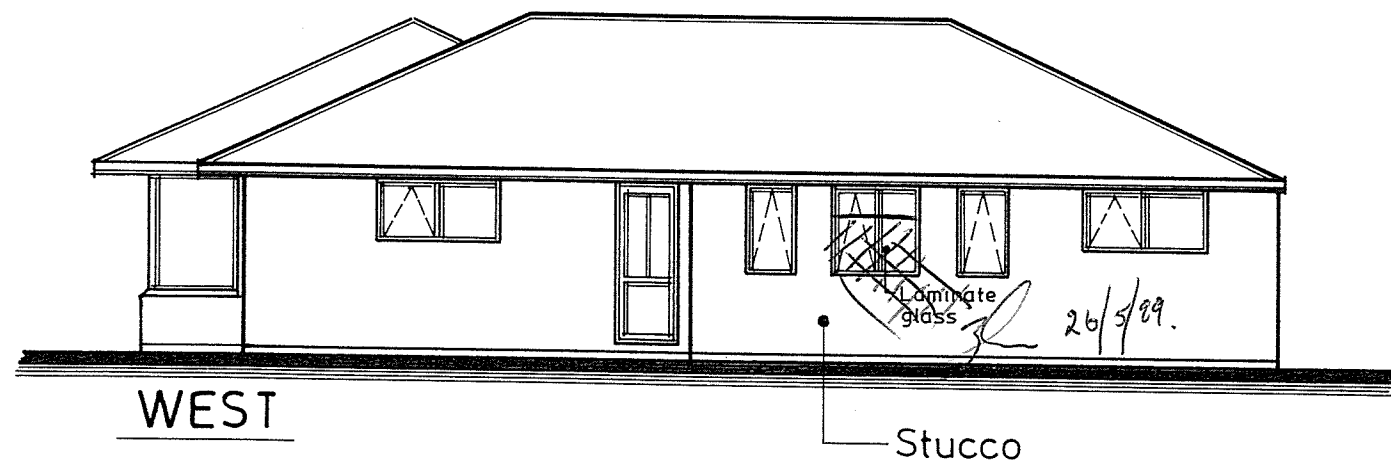
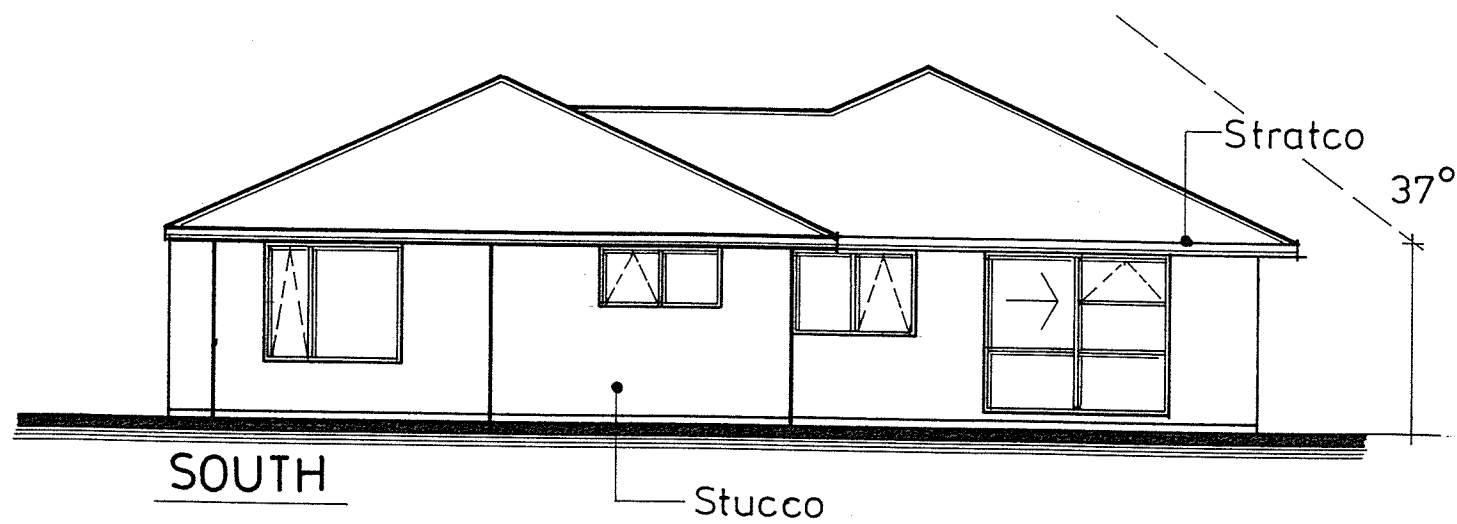
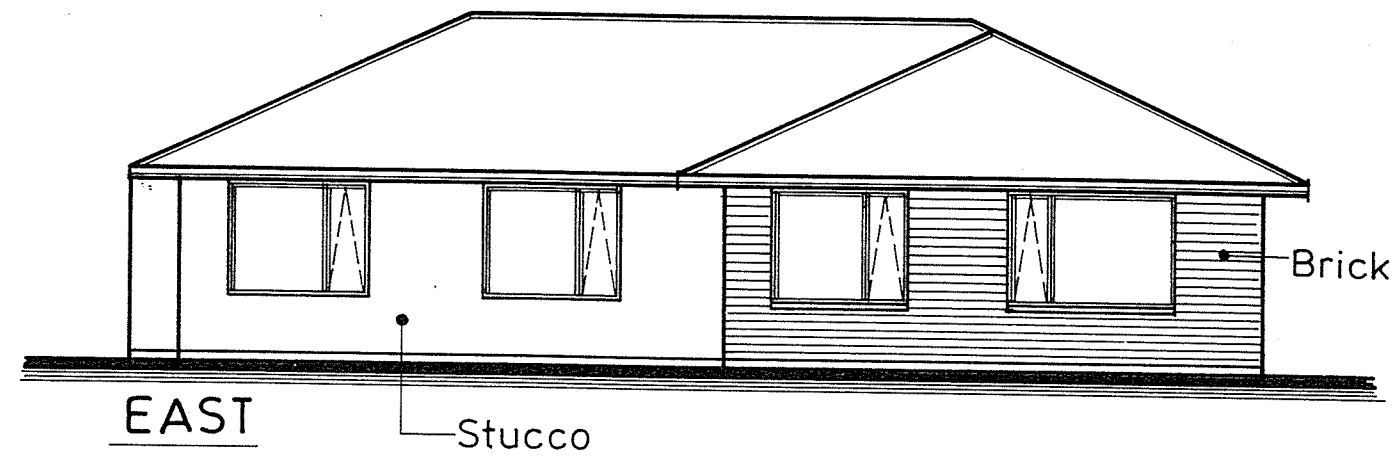
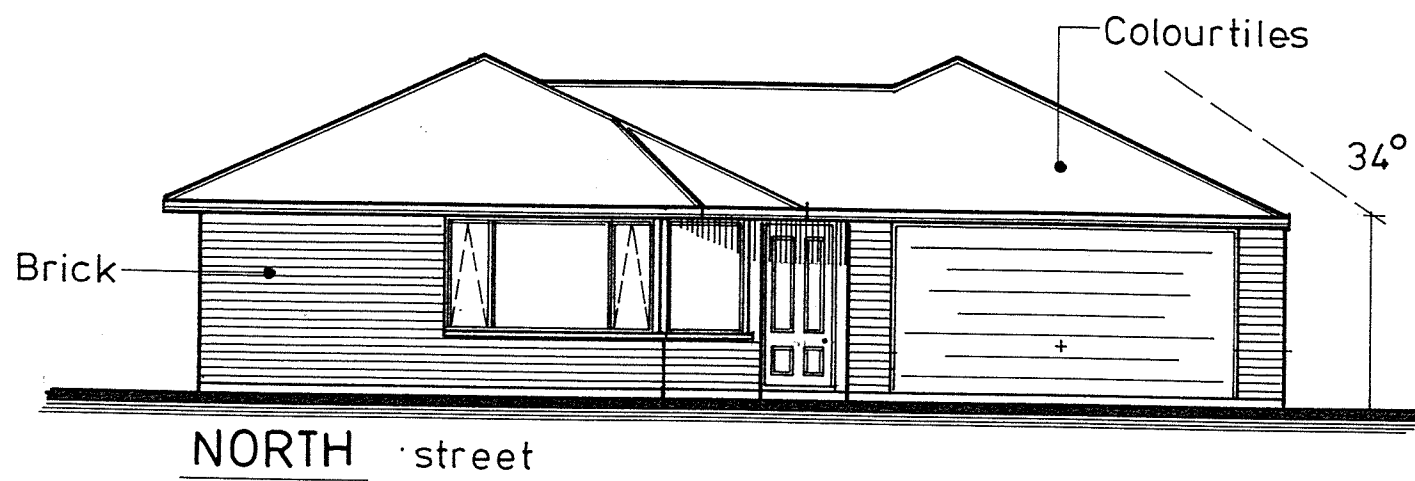
16 DEC 1994

YOUR ATTENTION IS DRAWN TO
G.12 AS1 5.4
PROTECTION FROM FROSTS

Tasman Homes
LIMITED
7 Putaitai Street, Stoke Nelson
Ph: 03-547 2906, Fax: 03-547 7172

Job no. L11 Client H. BENNETT
Date DEC. 94 View FLOOR PLAN 1:100

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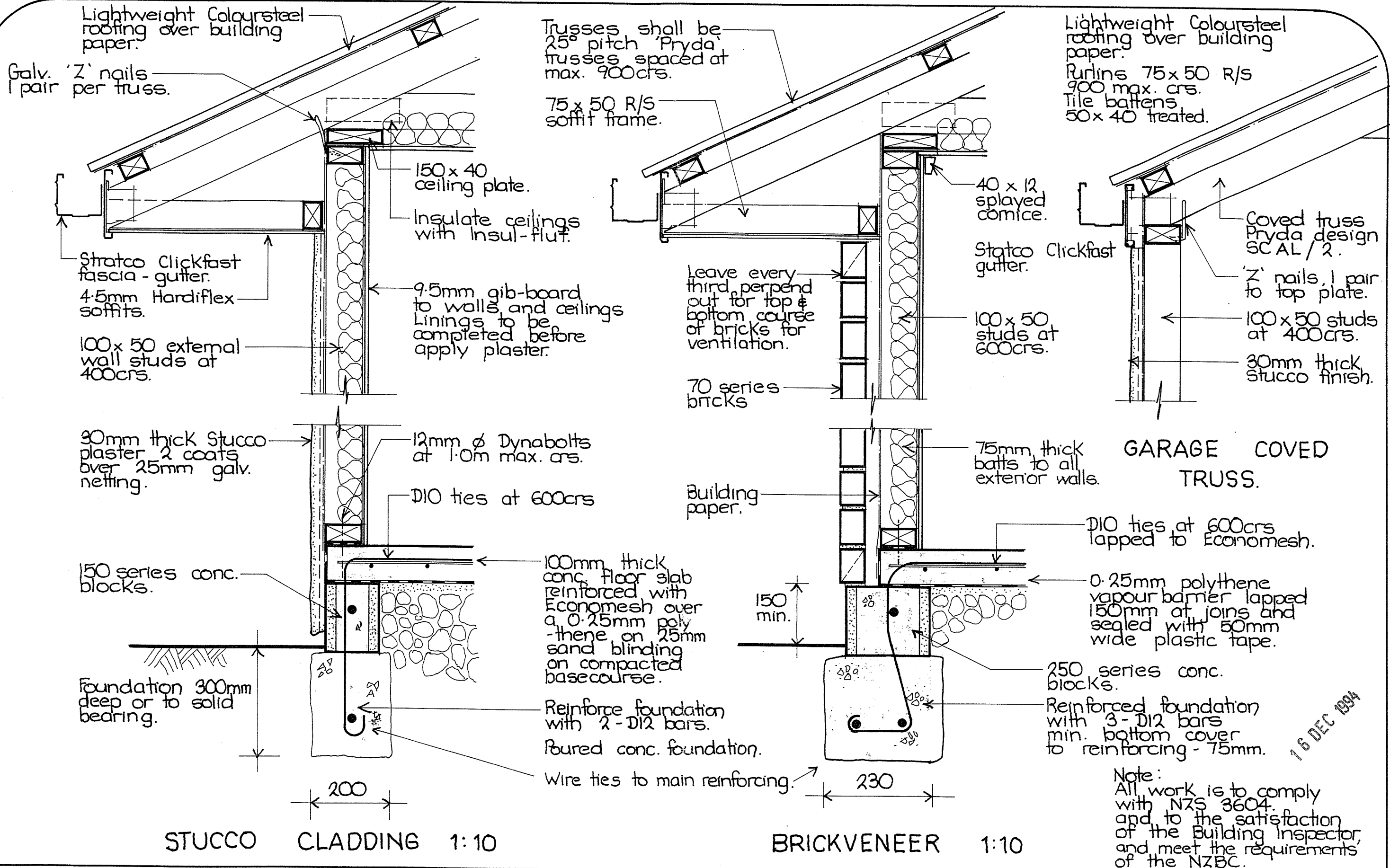
16 DEC 1994

Tasman Homes
LIMITED

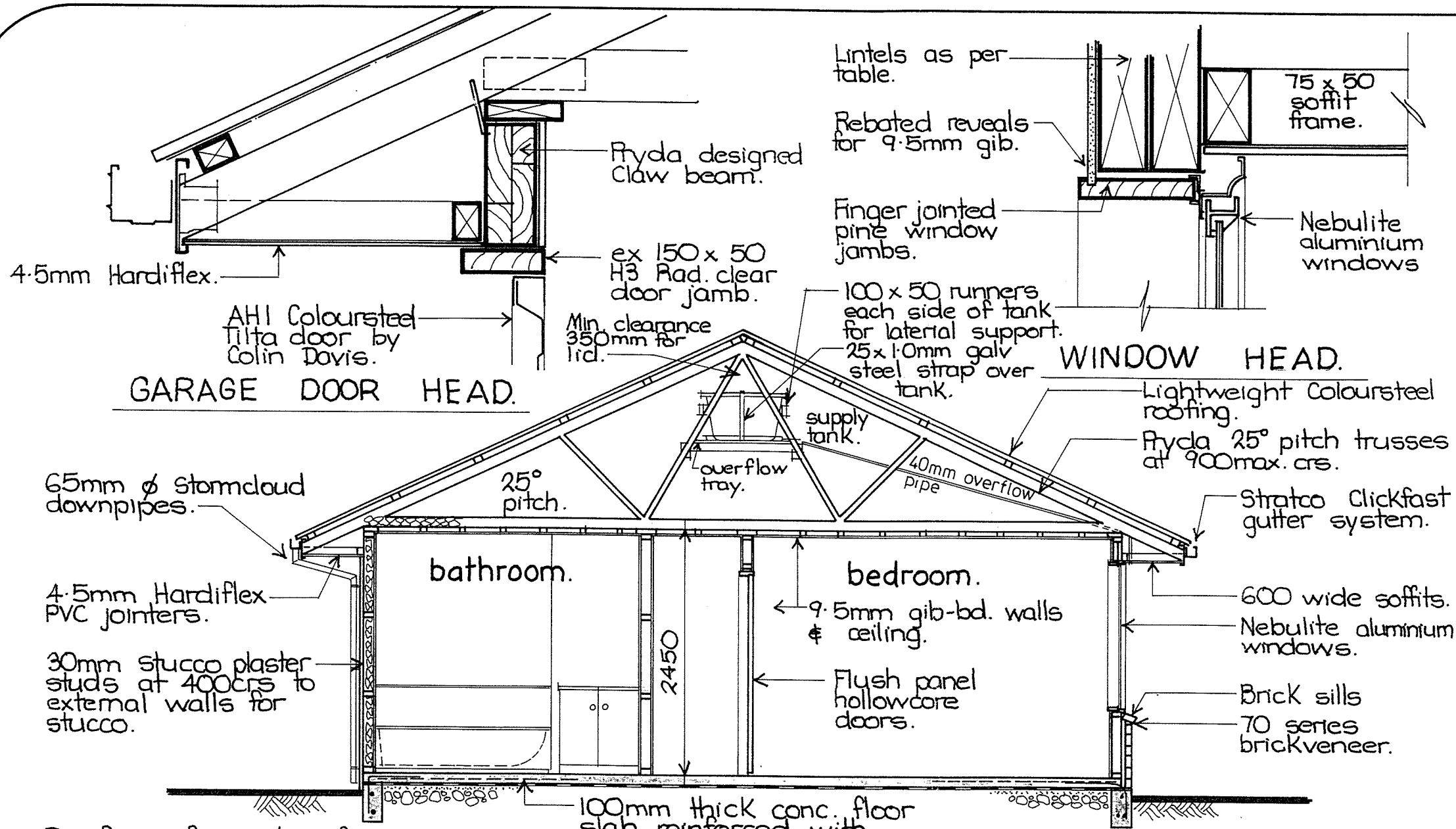
7 Putaitai Street, Stoke Nelson
Ph: 03-547 2906, Fax: 03-547 7172

Job no. L11 Client H. BENNETT

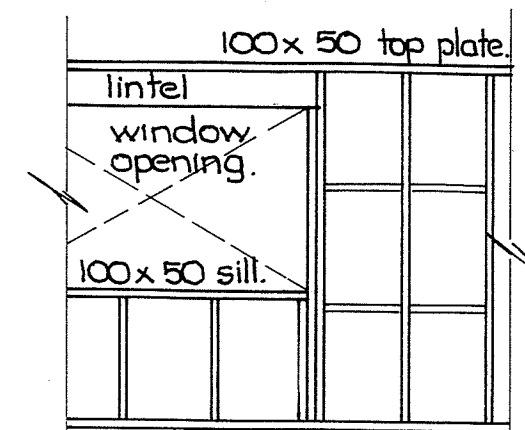
Date DEC. 94 View ELEVATIONS 1:100



16 DEC 1994



Lintels



Trimming studs to comply with NZS 3604 table 15.

Typical window opening.

Garage door beam shall be a Fryda designed & manufactured 350 x 100 claw beam.

Opening	size
up to - 0.950	100 x 100
- 1.250	125 x 100
- 1.550	150 x 100
- 1.850	150 x 100
- 2.150	200 x 100
- 2.450	200 x 100
- 2.750	225 x 100
- 3.050	250 x 100
- 3.650	300 x 100

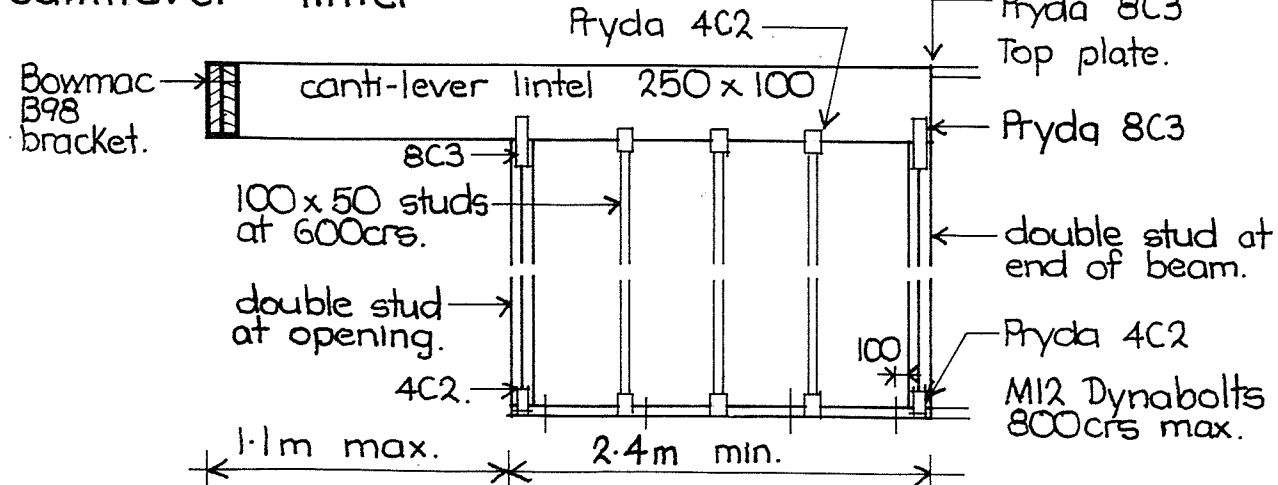
Reinforce foundation for
Stucco - 2 - D12 bars
Brick - 3 - D12 bars
D10 ties at 600crs.

Wall Framing :
100 x 50 studs for external walls
Stucco - 400crs
Brick - 600crs.
100 x 40 studs for all internal frames with studs spaced at 600crs.
All frames supplied pre-nailed manufactured by Waimea Sawmillers Ltd.

CROSS SECTION.

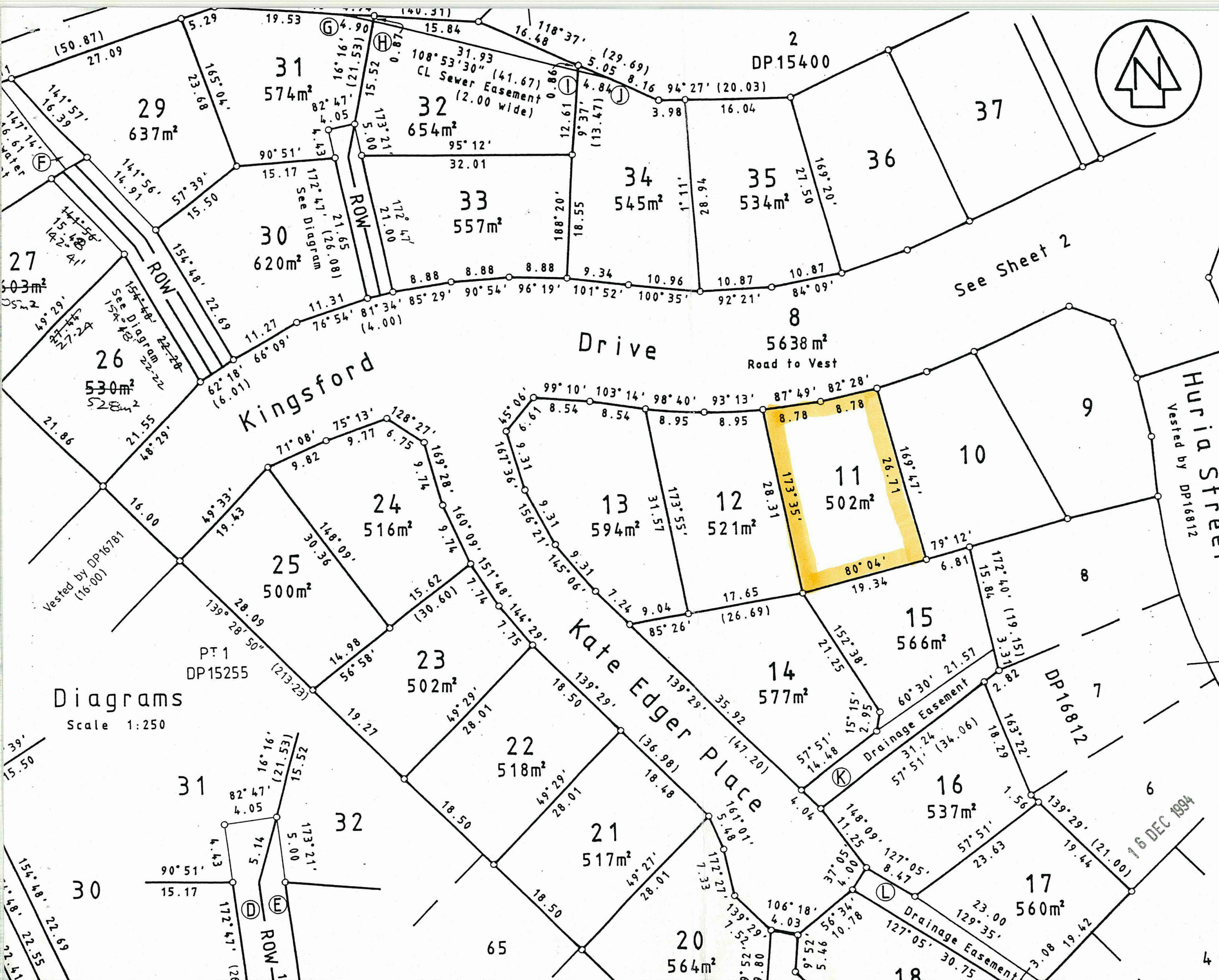
Note :
All work is to comply with NZS 3604 and to the satisfaction of the Building Inspector, and meet the requirements of NZBC Act 48.

Cantilever lintel - corner windows.



CONSTRUCTION DETAILS.

Hugh Askin
Nelson
ph. 5451335



Diagrams
Scale 1:250

Approved pursuant to the Management Act 1991 of 19.... Subject to the the easements set out

The common seal of the was affixed hereto in

Mayor

Chief Executive Officer

MEMORANDUM

Purpose	Shown	S
Right of Way	A	Lot
	B	Lot
	C	Lot
	D	Lot
	E	Lot

SCHEDULE OF EAS

Purpose	Shown
Right to Drain Water	A B&F C
Right to Drain Sewage	G-H H-I I-J
Right to Drain Water & Sewage	K L

Total Area..... 2:35

Comprised in

Registered Surveyor and holder as a registered surveyor pursuant to the Survey Regulations 1994, certify that this plan has been prepared in accordance with the directions, that both plan and survey were made in accordance with the Survey Regulations 1994.

Dated at..... 16 DEC 1994

Building Consent No.	122376 ✓ 970586
Date Received	21/5/97

NELSON CITY COUNCIL

APPLICATION FOR BUILDING CONSENT

Section 33, Building Act 1991

PROCESSED

(Insert a cross in each applicable box. Attach relevant documents in duplicate)

<p>APPLICANT* (See note below)</p> <p>Name: <u>Chris Flanagan</u></p> <p>Mailing Address: <u>65 Kingsford Drive</u> <u>Stoke Nelson</u></p> <p>Contact Name: <u>Heather Flanagan</u></p> <p>Contact Address: <u>65 Kingsford Drive</u></p> <p>Position: <u>Wife</u></p> <p>Phone: <u>5473493</u> Fax: <u>—</u></p>	<p>PROJECT</p> <p>New or Relocated Building <input type="checkbox"/></p> <p>Alteration <input checked="" type="checkbox"/></p> <p>Description of work (in detail): <u>Install Log Fire</u> <u>and Hearth and flue.</u></p> <p>Intended Life:</p> <p>Indefinite, but not less than 50 years <input type="checkbox"/></p> <p>Specified as years <input type="checkbox"/></p> <p>Demolition <input type="checkbox"/></p> <p>Being stage of stages</p> <p>Attach additional information if necessary to describe the project</p>
<p>PROJECT LOCATION</p> <p>Street Address: <u>65 Kingsford Drive</u> <u>Stoke Nelson</u></p>	
<p><u>122376</u> LEGAL DESCRIPTION</p> <p>Valuation Roll Number:</p> <p>Lot: <u>11</u> DP: <u>16913</u></p> <p>Section: <u>65</u> Block: <u>Kingsford Drive</u></p> <p>Survey District: <u>Nelson</u></p>	<p>SIZE OF BUILDING</p> <p>Floor Area: m² Number Dwelling Units</p> <p>Number of Storeys</p>
<p>VALUE OF WORK</p> <p>Building: \$ <u>1200</u></p> <p>Plumbing & Drainage \$ <u>200.00</u></p> <p>Total: \$ <u>1200.00</u></p> <p><i>Council charges for consent checking are based on the actual time spent checking plans and details plus an estimate of the number of site inspections required. Checking amendments to consents and extra inspections will be separately invoiced.</i></p>	<p>This application is for</p> <p><input checked="" type="checkbox"/> Building consent only.</p> <p><input type="checkbox"/> Both building consent and a project information memorandum.</p> <p>23 MAY 1997</p>

* Under Section 33 of the Building Act 1991 the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force. Any person acting for or on behalf of the owner must be authorised in writing. Proof of authorisation is to be provided to Council. The Nelson City Council will invoice the applicant for all costs associated with this Building Consent.

THE APPROPRIATE ITEMS IN THE FOLLOWING LIST OF INFORMATION MUST BE SUPPLIED TO THE COUNCIL, BEFORE YOUR APPLICATION WILL BE ACCEPTED

APPLICATION DETAILS:	Info supplied	Info required
1. Building Consent Application fully completed and signed by Owner/Applicant.		
2. Letter from Property Owner authorising application if Applicant is not owner.		
3. Copy of current search copy of Certificate of Title for building site.		
4. Details of any Resource Consent applications lodged or granted.		
PLANS AND SPECIFICATION:- (2 copies required)		
1. Fully detailed and dimensioned Site Plan , including site levels, floor height above finished ground level and all existing buildings.		
2. Fully detailed Drainage Plan with discharge points, i.e.. Sewer and Stormwater, including levels, gutter & downpipe size and location. In rural areas provide Design Details of Septic Tank and effluent disposal system, including well location for water supply and any water test to show water potability.		
3. Fully detailed and dimensioned Floor Plans, Elevations, Cross Sections and Construction Details . Show position of all Sanitary Fittings and provide a Layout Plan of water supply pipes & Toby, waste pipes and soil pipe installations.		
4. Detailed Specification covering the building, plumbing and drainage works in accordance with the Building Code.		
5. Fully detailed Schedule of Materials . Must include Glazing details.		
6. Roof Truss Layout Plan and design details from an approved manufacturer.		
7. Wall and Subfloor Bracing calculations, schedule and layout plan, in accordance with NZS3604:1990. (NB: Subfloor bracing only for piled foundations)		
8. Hot Water System details: type, storage capacity and tempering valve details.		
9. Producer Statements for design and /or construction, i.e.. Geotechnical, Structural, Specialist Systems OR detailed written report and calculations.		
10. Details of Proposed Storage of hazardous substances and/or processes.		
11. Fire Safety Design Summary and/or specific fire engineering design.		
12. Log Fire installation instructions. Indicate if wet-back is to be included.		✓ no wet Back

What materials will be used for the (tick boxes)

Floor

- 1 Timber
- 2 Concrete
- 3 Wood products

Insulation

- 1 Fibreglass
- 2 Masserated paper
- 3 Wool
- 4 Foil
- 5 Other

Framing

- 1 Timber
- 2 Concrete
- 3 Steel

Energy

- 1 Electric
- 2 Gas
- 3 Solid fuel

Outer Walls

- 1 Brick
- 2 Concrete
- 3 Concrete block
- 4 Cement board
- 5 Plaster
- 6 Timber
- 7 Steel
- 8 Aluminium
- 9 Other

Roof

- 1 Steel
- 2 Concrete tiles
- 3 Steel tiles
- 4 Shingles
- 5 Aluminium
- 6 Other

KEY PERSONNEL

(Please complete as far as possible in all cases. Give names, addresses and telephone numbers.
Give relevant registration numbers if possible)

Builder(s):

Registered Drainlayer:

Registered Plumber: *Grant Hayton Plumbing*

Note: Registered Gasfitter and Electrician are required to be nominated only when:

- a) The work undertaken is to be covered by a Compliance schedule.
- b) The owner wishes to obtain a Building Consent for the energy work.
(the owner will incur additional cost of checking and certification).

Registered Gasfitter:

Registered Electrician:

Designer(s):

Building Certifier(s):

Registered Engineer(s):

Other:

Signed for and on behalf of the applicant:

Name: *M. Paraga* Position: *Owner* Date: *21/5*

COMPLIANCE SCHEDULE DETAILS

SYSTEMS NECESSITATING A COMPLIANCE SCHEDULE

(Please complete for all new buildings and alterations, except single residential dwellings)

The building will contain the following *(cross each applicable box and attach proposed inspection, maintenance and reporting procedures)*:

- Automatic sprinkler systems or other systems of automatic fire protection.
- Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire.
- Emergency warning systems for fire or other dangers.
- Emergency lighting systems.
- Escape route pressurisation systems.
- Riser mains for fire service use.
- Any automatic flow-back preventer connected to a potable water supply.
- Lifts, escalators or travelators, or other similar systems.
- Mechanical ventilation or air conditioning system serving all or part of the building.
- Any other mechanical, electrical, hydraulic or electronic system whose proper operation is necessary for compliance with the Building Code.
- Building maintenance units for providing access to the exterior and interior walls of the building.
- Such signs as are required by the Building Code in respect of the above-mentioned systems.
- None of the above.

E2: OTHER SYSTEMS AND FEATURES TO BE INCLUDED IN THE COMPLIANCE SCHEDULE

(Please complete only if the building contains one or more of the systems listed above)

The building will contain the following *(cross each applicable box and attach proposed inspection, maintenance and reporting procedures)*:

- Means of escape from fire.
- Safety barriers.
- Means of access and facilities for use by persons with disabilities which meet the requirements of Section 25 of the Disabled Persons Community Welfare Act 1975.
- Hand-held hoses for fire fighting.
- Such signs as are required by the Building Code or Section 25 of the Disabled Persons Community Welfare Act 1975.

NELSON CITY COUNCIL, CONSENT CHECK SHEET

PIM NO: 976586

LIM NO: _____

DATE: 21.5.97

PROJECT: Install Fireplace

APPLICANT: C Flanagan

LOT: 11 DP: 16913

PROJECT LOCATION: 65 Kingsford Ave

SPECIAL CONDITIONS: _____

ADMINISTRATION

Z100 Z200 Z300 Z400 Z500

ZB02 SITE INSPECTION
ZB04 ZB05 ZB06

ZC02 FOUNDATION
ZC04 ZC06 ZC08 ZC10 ZC13
ZC14 ZC16 ZCE8

ZD02 RETAINING WALLS
ZD04 ZD06 ZD12 ZD14 ZD16
ZD18 ZDE0

ZE02 BUILDING STRUCTURE
ZE04 ZE06 ZE08 ZE09 ZE10
ZE11 ZE12 ZE14 ZGE3

ZH02 PLUMBING & DRAINAGE
ZH03 ZH04 ZH05 ZH06 ZH07
ZH08 ZH10

ZI02 EXTERIOR CLADDING
ZIO4 ZIO6 ZIO8

ZK02 SOLID FUEL HEATER
ZK04 ZK06

ZM02 FINAL INSPECTION
ZM05 ZM08 ZM10 ZM12 ZM14

Z002 SAFETY SYSTEMS
Z004 Z006 Z008 Z010 Z012
Z014 Z016 Z018 Z020 Z022

DEPARTMENT	DATE	NOT APPR	DATE	APPR
BUILDING & PLANNING			22/5/97	JA
STRUCTURAL				
PLUMBING DRAINAGE & WATER				
ACCESS & SUBDIVISION				
DANGEROUS GOODS				
SERVICES & FLOOR LEVELS				
TOWN PLANNING				
HEALTH				
PIM	Not applicable. Non-Complying with the Scheme. Requires a Resource Consent Complies with Scheme			

SITE CHECK

Street No <input type="checkbox"/>	Boundaries <input type="checkbox"/>	Cornersplay <input type="checkbox"/>	Area <input type="checkbox"/>
Compulsory 643 <input type="checkbox"/>	or Amalg Titles <input type="checkbox"/>	Designations <input type="checkbox"/>	Subdivisions <input type="checkbox"/>

Zone <input type="checkbox"/>	Condition No <input type="text"/>	BLR <input type="checkbox"/>	SWL <input type="checkbox"/>	Right of Way Legal <input type="checkbox"/>
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FILE CHECK: DEVELOPMENT NUMBER: _____

Dispensations/Controlled Use/Specified Departures Applicable: _____

Conditions complied with No Conditions

Minor Dispensations Requd? _____ Approved under Delegated Authority: Date _____

Vehicle entrances/Reversing Fences

Non-confirming building Sec 91 Signature _____

Trivial Infringements: _____

BUILDING PERMIT CHECK:

Use Dwelling Apartment Accessory Other

Zone _____

Designations _____

Predominant Controlled Conditional Specified Departure

Building Coverage: _____

Building Height: _____

4m Front Yard: _____ Side Yards: _____

Windows and Decks of habitable rooms - 2m

Daylight: North Point degrees North _____° South _____° East _____° West _____°

Number of habitable rooms: _____

Living Courts: Location adjoining living/dining Area of living court _____m²

Dimension and shape of court Access to court (900mm)

Obstruction to living court Conservatory area _____m²

Separation distance 6m (4m for aged cottages) recheck if applicable *

OR nominated side boundary

Joined Units: Appearance/method of attachment: _____

No of units on rear sites _____ refer Ord 21.70 No shown _____ No permitted _____

Accessory buildings in front yard: Area 40m² 1.5m from st 6.3m width

Neighbour's consent

Access: From St network NO using entrance

Common Access No Widths

Basecourse Surfaces

Grade

Entrance Location Turning

Non reversing St or S/H Reversing more than 3m

Parking: No required No shown

Location of Parks Size of parks

Fences, hedges, retaining walls, supporting fill

Signs

Landscaping where required (Tourist)

Access for disabled -see attachment

AREA: _____)

ZONE: _____)

Write on BP Application

Ref:

When calling
Please ask for:

NELSON CITY COUNCIL



S I T E I N S P E C T I O N S H E E T 970586

Applicant

C FLANAGAN
65 KINGSFORD DRIVE
STOKE
NELSON

Consent Details

Consent/PIM No.: 970586
Date issued: 23/05/97

Valn No: 1962034008

P.O. BOX 645 NELSON
NEW ZEALAND
PHONE (03) 546 0200
FAX (03) 546 0239

Project Descrn: ALTERATIONS, REPAIRS or EXTENSIONS
BEING STAGE 1 OF AN INTENDED 1 STAGE
INSTALL FIREPLACE

Intended Life: INDEFINITE, BUT NOT LESS THAN 50 YEARS

Intended Uses:

Project Location: 65 KINGSFORD DR

Legal Description: LOT 11 DP16913

Estimated Value: \$ 1,200

Charges (inc levies)\$ 75.00

This inspection list and all the approved plans relating to this building consent are to be kept on-site and available to the building and/or plumbing and drainage inspector, or approved building certifier, on request

Please give at least 24 hours notice for the next required inspection.

Work cannot proceed past each step until that step has been inspected, and approved, and this form signed by the relevant inspector or certifier.

Name	Address	Signature
------	---------	-----------

Plumber _____

Drainlayer _____

This sheet is to be returned to NELSON CITY COUNCIL when applying for your Code Compliance Certificate.

Note: If this form is not completed the Code Compliance Certificate will not be issued until Council is satisfied that the building complies with the New Zealand Building Code.

When this project is completed this inspection sheet will be attached to the relevant property file held at the Council office.

PLEASE NOTE! The approved plans and this inspection sheet are to be available on site, on request, at all times.

Site Inspection Sheet 970586 [Continued]

- 1 When the fire back is removed prior to the installation of the heater.
Council to inspect.

Seen + approved A.C.

27/6/97.