



Heights View Design Guidelines

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1. Welcome

Congratulations on purchasing an allotment at Heights View which will enable you to build your new home.

*The developers of **Heights View** are committed to good design in both the public and private realms.*

These Design Guidelines have been developed to both assist you with the selection and design of your new home, and most importantly to safeguard the future of your asset by providing a standard of development at Heights View that will help create an attractive neighbourhood.

The Design Guidelines include mandatory requirements as well as some suggestions that should benefit your lifestyle. These Design Guidelines have also been prepared with the aim of making your Council planning approval a simpler process.

2. Creating Your New Home

Like you, we think it is important that development creates attractive, comfortable and sustainable living environments. Heights View has allotments with different sizes and shapes to take advantage of the great views of the northern plains. Selecting the right design for your home requires you to consider a range of issues such as the:

- size and shape of the allotment
- appearance and style of your home
- internal layout of rooms to take advantage of the views and the sun as well as the flow of activities inside your home
- materials to be used

The diagrams alongside should assist you with how best to layout dwellings depending on the orientation of those allotments.

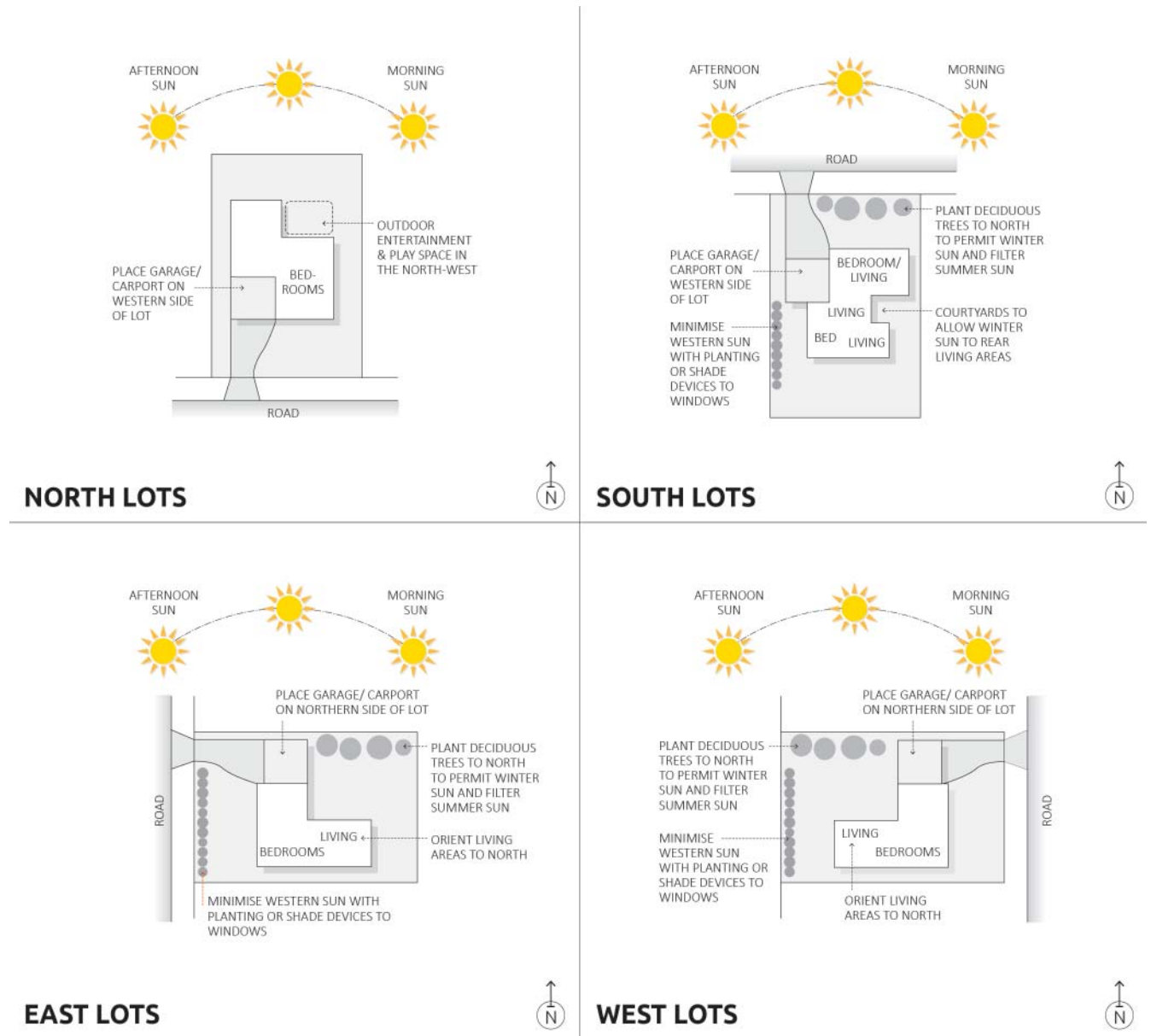


Figure 1 Solar Orientation

3. Design Requirements

3.1 Building Envelope Plan

A Building Envelope Plan (BEP) has been prepared for each individual allotment. The BEP identifies the area in which your home may be located. They indicate:

- the minimum building setback from front, side and rear boundaries including single and two storey dwelling components
- the minimum setback from a public reserve boundary
- where a wall can be constructed on a boundary
- which side the driveway crossover and thus the carport/garage
- maximum building height (storeys)

Please note the size of each building envelope is in excess of the area required to construct a wide variety of dwellings.

With corner allotments the primary street frontage is the frontage with the least length. **Homes on corner allotments need to address both streets.**

Other than minor elements such as fascias, gutters, downpipes, eaves, bay windows, porticos or a verandah, buildings which encroach outside of the building envelope will not be approved.



Figure 2 Corner Allotment Examples



Figure 3 Example Building Envelope Plan

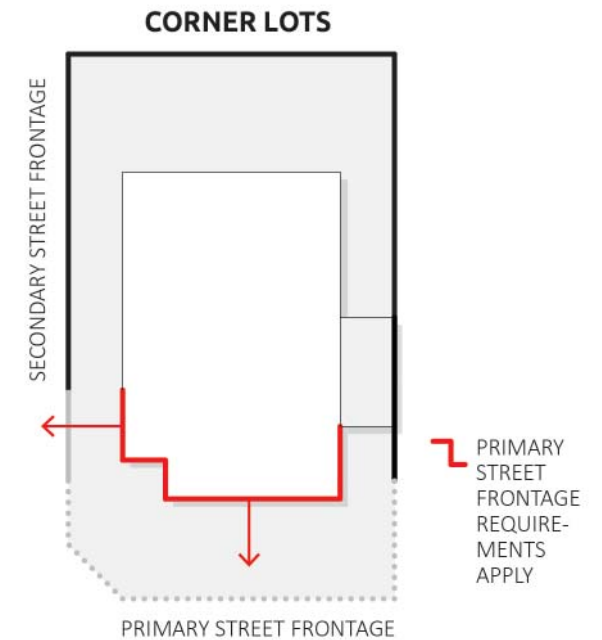


Figure 4 Corner Allotment Frontage



3.2 Site Coverage

The site coverage should provide adequate space for the following:

- vehicle access and parking
- storage and clothes drying
- private open space and landscaping (particularly with steep parts of the allotment)
- front, rear and side setbacks

Buildings should not generally **exceed 50% site** coverage, however **up to 60% site** coverage will be approved on the basis that there is adequate private open space and direct connection between indoor living rooms and useable outdoor space.



3.3 Private Open Space

Private open space must be provided in the following manner:

- The front yard is not counted towards private open space.
- Neither is an area for rainwater tanks, the storage of bins or garden sheds.
- Alfrescos and rear verandahs may be counted towards private open space but only up to a maximum of **20%** of the total required area.
- It must be directly linked to the internal living areas of your dwelling..



3.4 Retaining Walls

The maximum cut / fill allowed for a site is **1.5m relative** to the existing natural ground level. Where batters are exposed they should be landscaped to provide protection from erosion . Such batters should not have a grade greater than 1 in 4.

Retaining walls are an expected part of developing your new home due to the gently undulating topography. Where retaining walls are visible from the public realm they should be no higher than **1.0m** and if the height is greater then the retaining walls should be stepped as per Figure 5.

Retaining walls must be of high quality materials. Timber and plain concrete retaining walls will not be permitted.

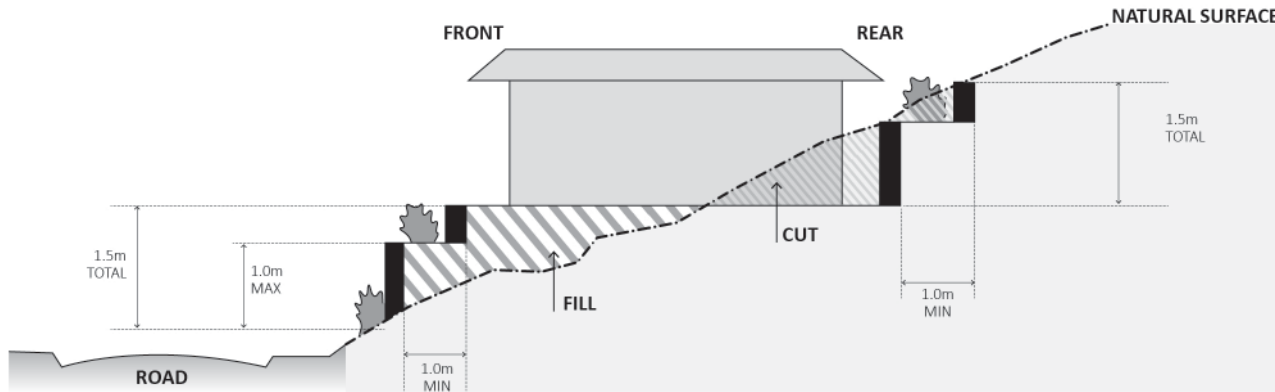


Figure 5 Cut / Fill Cross Section



Timber and plain concrete retaining walls are not permitted.

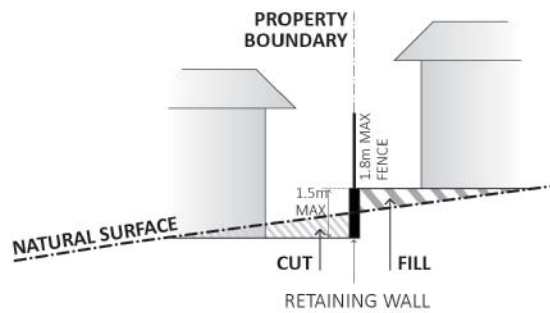


Figure 6 Single Retaining Wall Section

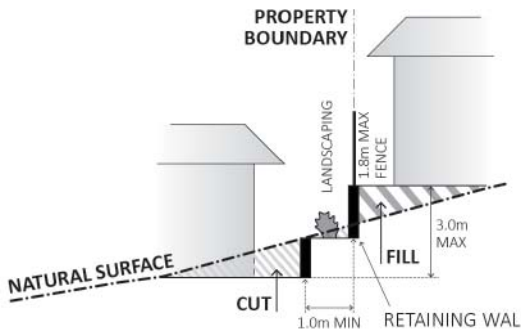


Figure 7 Multiple Retaining Wall Section



3.5 Height, Roof Design

The main roof is to have a minimum pitch of 25 degrees. Flat roofs will be considered on merit. Eaves with a minimum width of 450mm are required.

Dwellings maybe up to two storeys in height as indicated in the BEP.

All homes will have a minimum ceiling height for the ground floor of **2.7m**. For upper floors the minimum ceiling height is **2.4m**.

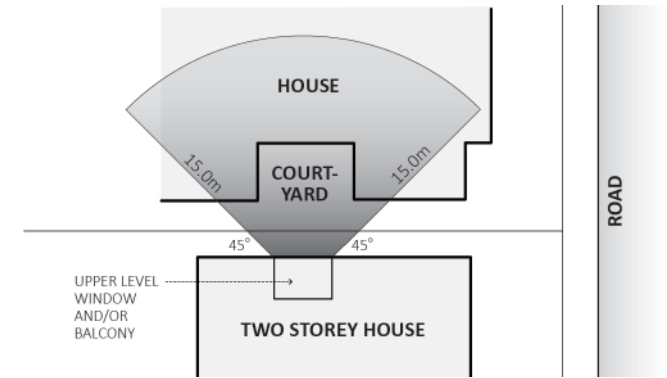


Figure 8 Field of View from Balcony

3.6 Privacy

With great mid – long distance views to be taken advantage of from many allotments providing acceptable solutions for as many allotments as possible is the goal. There are a range of design methods that can provide appropriate levels of privacy including:

- the location size and orientation of windows
- type of glazing
- raised sill heights
- external fixed screens

- landscaping

Where treatment is required windows must have:

- a minimum sill height of 1.7m; or
- fixed opaque glass to a height of 1.7m; or
- fixed louvres to a height of 1.7m

A balcony must have screens to avoid views into the 15m deep field of vision.

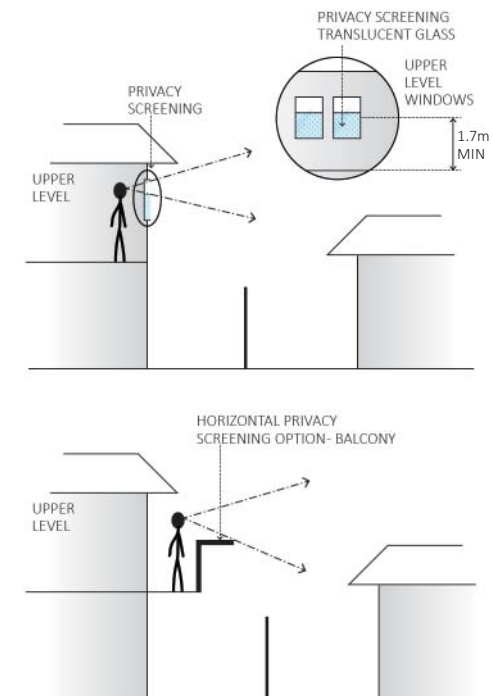


Figure 9 Upper Storey Screening Methods

3.7 Access, Driveways, Garages and Parking

The driveway access points are indicated on the BEP. All garages and carports are to have a front setback of at least 5.5m. Variations are considered on merit and all costs of relocating services are to be borne by the applicant.

Driveways should not exceed 3m in width for a single garage and not more than 6m for a double garage. They must be constructed prior to occupation of your home. The driveway must be sealed but may not be with plain concrete.

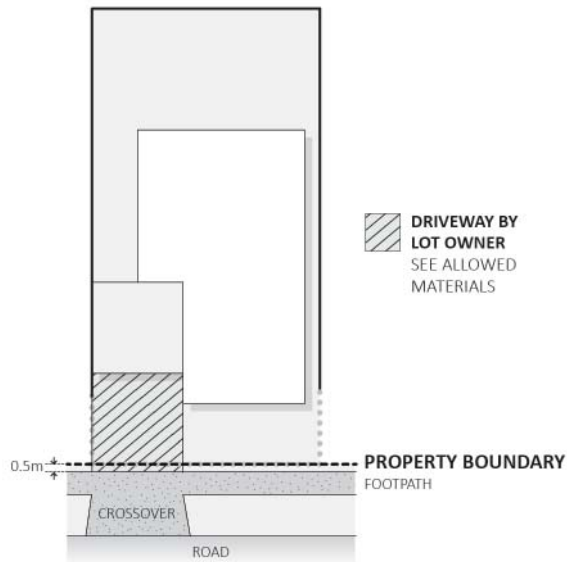


Figure 10 Driveway Treatment

The grades of driveways must not be steeper than shown in Figure 11.

Garages and carports must be located at least 5.5m back from the front property boundary and at least 0.5m behind the front façade of your home. If the driveway access point is from a secondary street frontage then the garage /carport must have either a 5.5m or 0.9m setback. Garages / carports should be under the main roof.

Each dwelling must provide the following on site carparking spaces:

- two spaces of which at least one must be undercover for up to a three bedroom home
- three spaces of which at least one must be undercover for a four or more bedroom home.

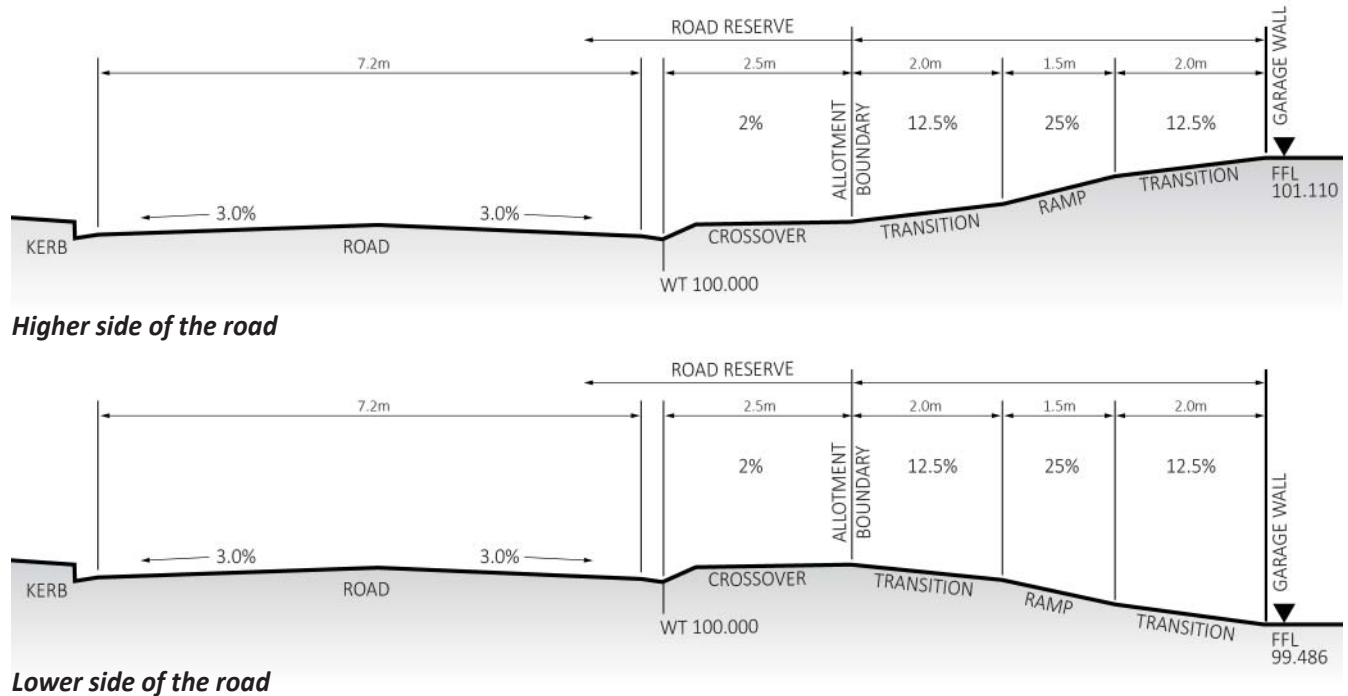


Figure 11 Maximum Driveway Grade

3.8 Materials and Colours

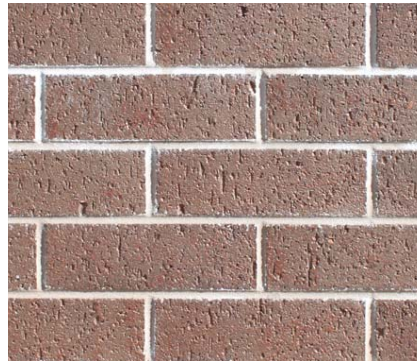
Homes must exhibit a high quality design merit. All homes must have a front façade that is engaging with the street and where relevant a public reserve. The detailing of the front façade is to be enhanced through articulation to minimise bulky, bland walls. Dwelling should generally not be on posts or columns unless architectural merit is exhibited. External walls of homes, particularly the front facade should be constructed from the following materials:

- brick
- stone
- cement rendered concrete
- timber panelling
- rendered f.c. sheet (eg: Scyon)

The front façade must have either two or three different materials and colours where the second largest material makes up at least 20% of the façade. This is to apply to the full extent of the primary street frontage for homes on corner allotments. Windows in the primary street frontage façade should feature timber or commercial section aluminium frames.

Colours used must not be strong or bold, rather must be earthy tones to better fit in with the natural environment.

The roof material may be either Colorbond sheeting, tiles or shingles.



Brick



Stone



Cement rendered concrete



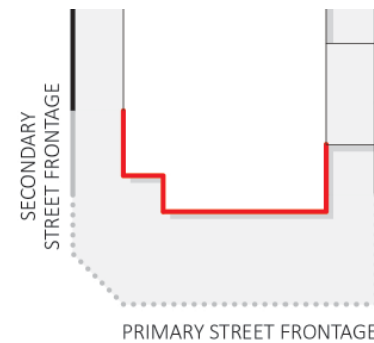
timber panelling



rendered f.c. sheet



Timber framed windows



Colorbond roofing



Aluminium framed windows

Figure 12 Primary Street Frontage

3.9 Outbuildings and External Fixtures

Outbuildings including sheds, workshops, aviaries, pergolas (not attached to the home) are to be located behind the primary façade of the home and out of view from the public realm. They must be located at least 1m from a side or rear boundary. The material must be Colorbond that matches the fence.

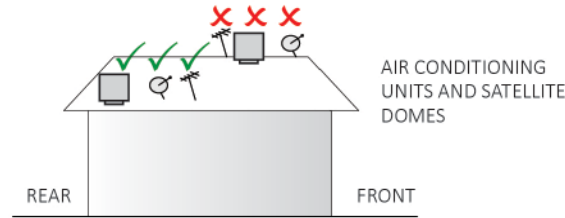


Figure 13 Roof mounted item positioning

Clotheslines should be sited unobtrusively.

Rainwater tanks are mandatory. For protection from bushfire reasons the Minister's Specification SA 78 must be complied with and a 2kl tank for fire fighting purposes must be provided. In addition a 1kl rainwater tank must be provided and be plumbed into the home's toilet system. One tank can be provided to undertake both requirements.

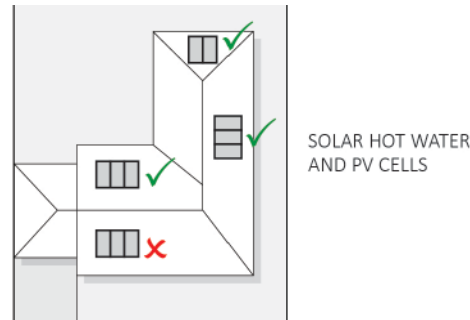


Figure 14 PVC and solar hot water roof locations



Photovoltaic cells and solar hot water heaters are encouraged, however they must be sited so they are not unduly visible from the primary road.

Evaporative airconditioning units, cable tv satellite domes and tv antennae must be located toward the rear of the home so they are not unduly visible from the primary road.

Letter boxes must be located abutting the front boundary. They must be a solid type and not be on a post.



Figure 15 Examples of letterbox styles permitted / not allowed

3.10 Fencing

For side and rear boundaries as shown on Figure 16 fencing must be 1.8m high Colorbond Woodland Grey or equivalent good neighbour style. For corner allotments the fencing on the secondary road boundary must have posts (minimum 90mm) and capping coloured Colorbond Eclipse or equivalent. The first 6m of side street fencing on corner allotments starting 1m behind the front façade of the dwelling must be 1.2m high (maximum) Colorbond

Woodland Grey or equivalent, good neighbour style with posts (minimum 90mm) and capping coloured Colorbond Eclipse or equivalent.

The side fencing which begins at least 0.5m behind the front façade of the dwellings will be Colorbond good neighbour style 1.8m high in Woodland Grey colour.

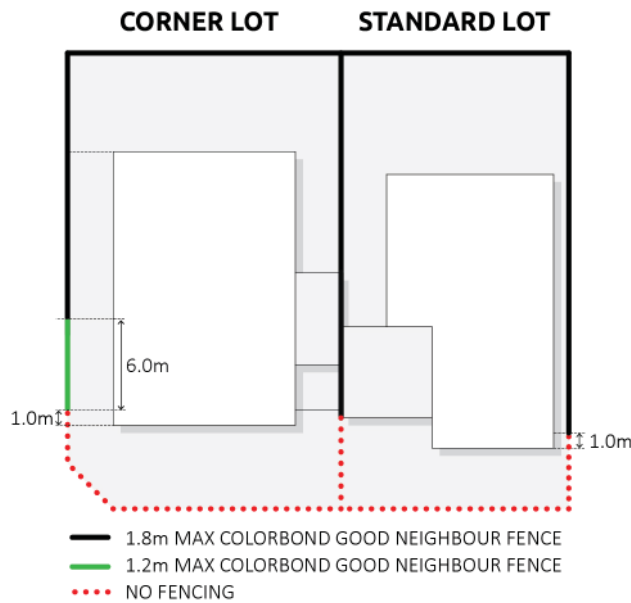


Figure 16 Fencing locations



Figure 17 Secondary Street Fencing



Front fencing is mandatory for allotments 1 - 5 fronting Coomurra Drive but is not allowed for other allotments. The front fencing for allotments fronting Coomurra Drive must be in accordance with Figures 18 and 19 and the photo below.

The front fencing, which includes the side fencing between the front fence and to a point 0.5m behind the front façade of the dwelling, must have the following elements:

- 2.1 - 2.3m high pillars
- spaced at least every 4m that are comprising:
 - » Caststone No. 4 Shaft

- » Caststone No. 4 Capital
- » Caststone No. 3 Base
- The pillars must be painted off white.
- Valencia double tubular vertical slats coloured black must be used between pillars.

Side fencing for lots 1 - 5 from 0.5m behind the front façade of the dwelling to the front fence must be 1.8m high Valencia double tubular vertical slats coloured black with 1.8m high 90mm black metal posts.

All fencing must be installed prior to occupation of the dwelling.

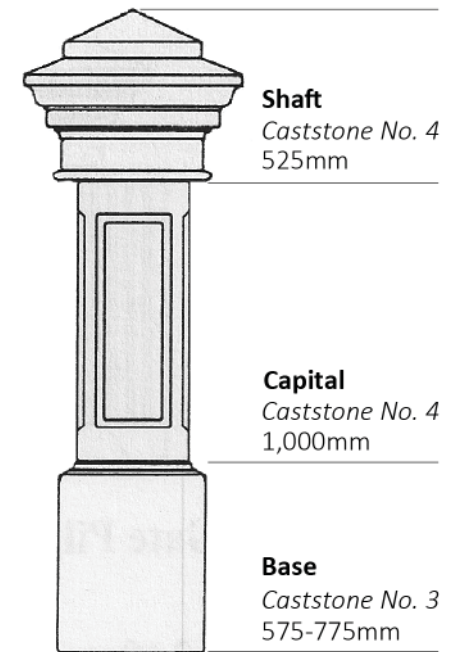


Figure 18 Front fence pillar design



Front Fencing

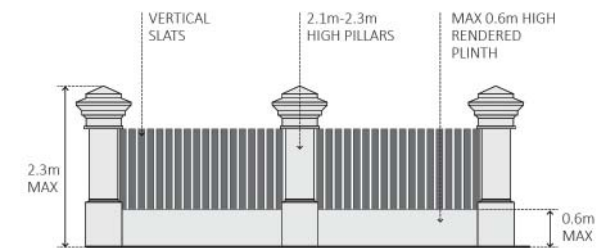


Figure 19 Front fencing (along Coomurra Drive)

4. Landscaping

Landscaping of front yards is important in order to achieve a high quality community at Heights View and should:

- screen the appearance of storage, service and parking areas
- soften the appearance of paved surfaces
- avoid interference with utility (eg: water, sewer, power, telecommunications, stormwater) services
- avoid blocking the views of adjoining properties

This must be completed within 6 months of occupation of your home.

Landscaping of your verge is encouraged.

Using terraced retaining walls can help to create flatter garden areas which are easier to maintain. Where retaining walls are required they must be in accord with 3.4 above.



5. Construction

No-one likes living in a construction zone. The first few years of Heights View is likely to be somewhat disruptive with construction activity. We request all owners, and in particular builders and tradesmen, during the construction of their home to follow the requirements below:

- all building materials and waste must be stored and contained on the subject land until appropriate disposal is undertaken
- all light wastes are to be stored in a covered rubbish skip on site
- accidental spills of soil, materials or waste outside the allotment must be cleaned up immediately
- the allotment must be frequently and regularly maintained and kept clear of excess weeds, rubbish and building waste
- pollution of the stormwater drainage system is to be avoided and as such implementation of an Erosion and Sediment Control Management Plan in accordance with your Development Approval is mandatory.
- vehicle access must be undertaken via internal roads and not across adjoining allotments. During construction vehicles must not be parked on the verge or footpaths.
- portable toilets are to be located within the relevant allotment and adequately fixed to the ground. They must not be located on the verge or on a reserve.



6. Services

NBN

The NBN will be providing telecommunications infrastructure to Heights View. You need to talk to your builder and cablers about the telecommunications services that you might want to have in your new home. Decisions will need to be made on where NBN equipment and phone / data outlets should be located in your new home.

All purchasers of land must ensure that any wiring of those premises complies with “NBN Co In Home Wiring Guide for single dwellings units (SDUs) and multiple dwelling units (MDUs)” which is published on NBN Co’s website (see below). Any failure to comply with this guide may prevent connection to the NBN infrastructure or may result in additional costs being incurred by you in order to connect to the NBN.

For more information contact NBN Co:

Phone: **1800 881 816**

Email: **newdevelopments@nbnco.com.au**

Website: **www.nbnco.com.au/newdevelopments**

7. The Approval Process

An Encumbrance is attached to the Certificate of Title for all residential allotments at Heights View. This requires, amongst other matters, that prior to development occurring on site that approval from the Encumbrance Manager must be sought in writing and obtained. Approval from the City of Salisbury must then be sought and obtained.

The Design Guidelines must be considered in association with the City of Salisbury Development Plan. These are the town planning policies that Council use to assess your application.

If you are uncertain of whether your proposal meets the requirements contained in these Design Guidelines please contact the Encumbrance Manager.

The Encumbrance Manager will undertake the assessment process, which might mean contacting you, your designer/architect or your builder to discuss and resolve any issues, and once all is satisfactory will provide written approval with stamped sets of plans. Two sets of plans will be sent to the applicant (owner or agent eg: builder or designer/architect) and one set of plans will be retained by the Encumbrance Manager. The Encumbrance Manager has the power to approve a proposal that does not conform exactly with the Design Guidelines, however it may be subject to gaining approval from the City of Salisbury for those elements that don’t comply.

No fee is required to be paid for the Encumbrance - Design Guidelines approval process.

We aim to have Encumbrance Manager approve your new home’s plans within 72 hours. Where your plans do not fully comply with the Design Guidelines this may take a little longer as our Encumbrance Manager will assist to resolve the specific issues.

The following documents are required to be submitted in order for the Encumbrance Manager to assess and approve your proposed home:

- completed application form
- site plan (1:200 scale) showing contours, extent of building, dimensioned setbacks, retaining walls, driveway, extent of fencing,
- floor plan (1:100 scale)
- elevation plans at (1:100 scale)
- cross section (1:100 scale)
- Landscape plan of the front yard (1:100 scale)
- Schedule of external colours and materials
- Erosion and Sediment Control Management Plan
- Retaining wall details (if applicable)
- location of Envirocycle (lots 1 - 3).

8. Timeframe

The address for the Encumbrance Manager is:

Heights View Encumbrance Manager

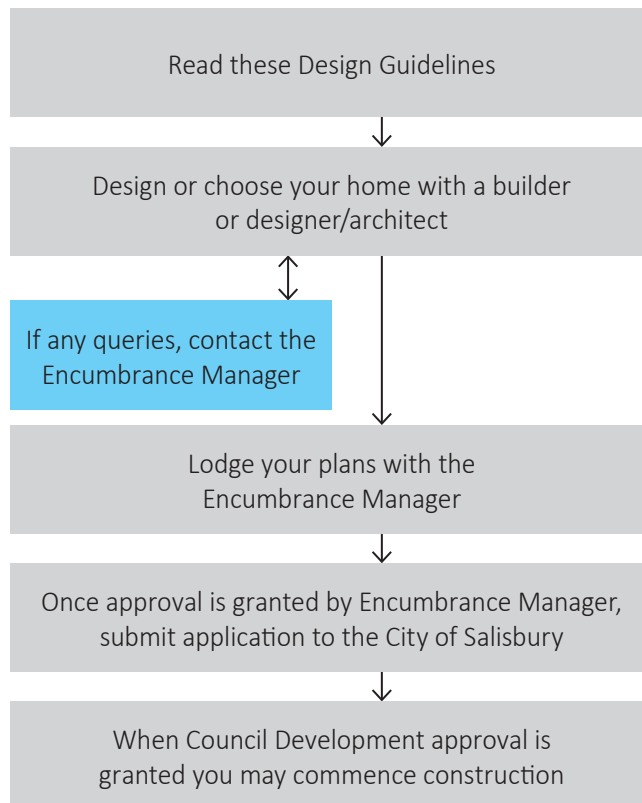
1 Victoria Terrace

Gawler SA 5118

Email: john@stimsonconsulting.net.au

Plans must not be lodged with the City of Salisbury until written approval is issued by the Encumbrance Manager.

Approval Process



Construction of your home is to commence within 24 months of settlement.

Completion of your home is to occur within 12 months of commencement.

Driveways are to be fully installed prior to occupation of your home.

Front yard landscaping is to be installed within 6 months of occupation of your home.

