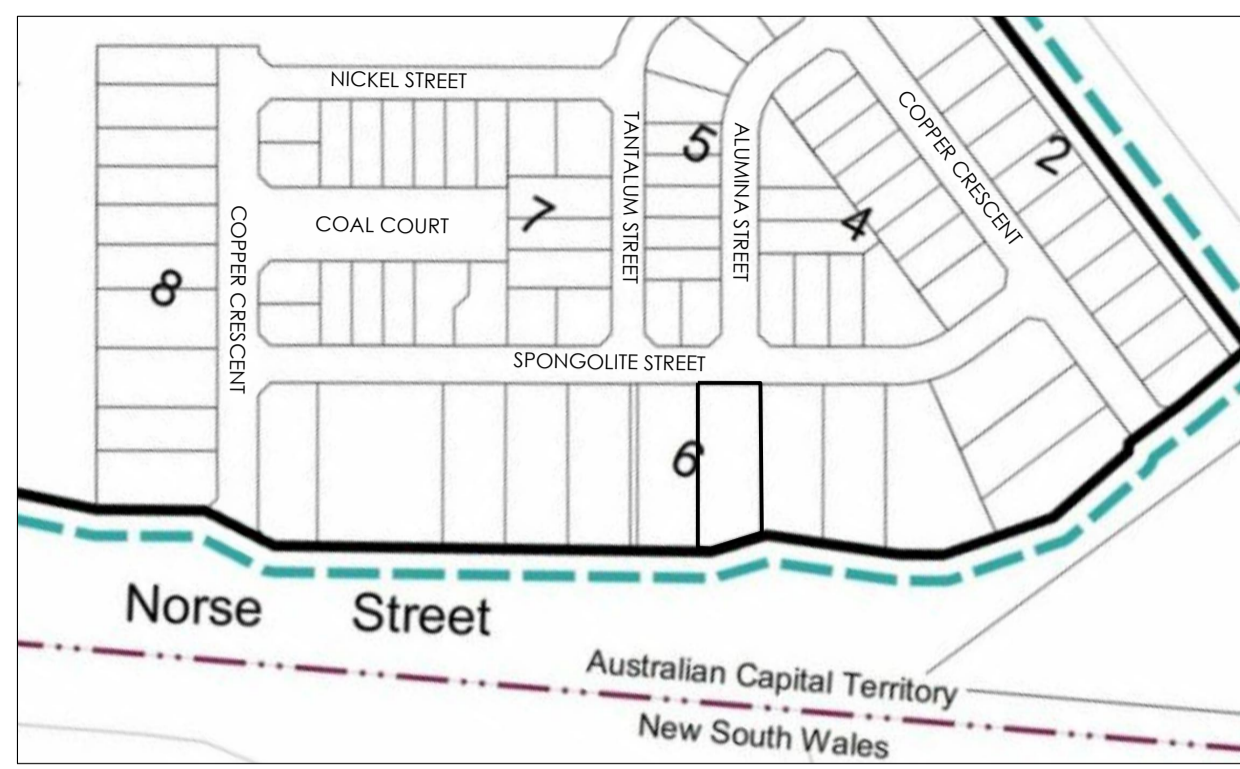


**INDUSTRIAL DEVELOPMENT
MARIO CUDA
BLOCK 7 SECTION 6
14 SPONGOLITE STREET BEARD ACT**

DRAWING

- A001 TITLE PAGE
- A101 SITE PLAN
- A102 LANDSCAPE PLAN
- A201 BUILDING 1 GROUND FLOOR
- A202 BUILDING 1 UPPER FLOOR
- A203 ROOF PLAN
- A204 BUILDING 1 ELEVATIONS
- A205 BUILDING 1 ELEVATIONS & SECTION
- A206 BUILDING 1 SECTIONS
- A301 BUILDING 2 GROUND FLOOR
- A302 BUILDING 2 UPPER FLOOR
- A303 ROOF PLAN
- A304 BUILDING 2 ELEVATIONS
- A305 BUILDING 2 ELEVATIONS
- A306 BUILDING 2 SECTIONS
- A401 BIN ENCLOSURE & LETTERBOX DETAILS
- A701 VERGE MANAGEMENT PLAN
- A702 SEDIMENT & EROSION PLAN



LOCATION PLAN
NTS

LUMINAIRE SCHEDULE - CARPARK LIGHTING (TO COMPLY WITH AS 1158.3.1:2005)

SYMBOL	DESCRIPTION	Qty	LUMINAIRE LUMEN OUTPUT	WATTS/LUMINAIRE	MAINT. FACTOR
	KIM 'ARCHETYPE' AR4 250W METAL HALIDE WITH CLEAR FLAT GLASS LENS WALL MOUNTED	9	23000	250	0.8

NOTE: LIGHTING MUST COMPLY WITH THE CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN GENERAL CODE

GENERAL NOTES

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE ENGINEERS DETAILS.
 CONFIRM STEEL SIZES PRIOR TO CONSTRUCTION
 ALL MATERIALS AND FINISHES SHALL BE APPROVED BY THE OWNERS
 VARIATIONS TO PLAN AND SPECIFICATION SHALL NOT BE MADE WITHOUT THE CONSENT OF THE OWNERS
 ALL DIMENSIONS SHALL BE VERIFIED ON SITE
 ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BCA
 DO NOT SCALE OFF DRAWINGS
 FIRE PRECAUTIONS DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH SECTION E CLAUSE E1.6 OF THE BCA
 PROVIDE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH SECTION E CLAUSE E1.4 OF THE BCA
 FIRE EXTINGUISHERS SHALL COMPLY WITH AS 2444
 ALL MATERIALS AND ASSEMBLIES SHALL COMPLY WITH C1.10 OF THE BCA
 ALL WET AREA FLOORS SHALL BE GRADED AND DRAINED TO FLOOR WASTES TO PLUMBING CODES AND THE BCA
 PROVIDE IMPERVIOUS WALL TO FLOOR JOINT TO THE PERIMETER OF ALL WET AREAS
 WATERPROOFING SHALL COMPLY WITH C1. F1.7 OF THE BCA
 CONFIRM LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION

EGRESS

REQUIRED PATHS OF EXIT BE IN ACCORDANCE WITH PART D1.6 OF THE BCA THE UNOBSTRUCTED HEIGHT MUST BE NO LESS THAN 2.0M EXCEPT AT DOORWAYS WHERE THE HEIGHT MAY BE REDUCED TO 1.9M. THE UNOBSTRUCTED WIDTH OF EACH EXIT OR PATH OF TRAVEL TO AN EXIT, EXCEPT AT DOORWAYS MUST BE 1.0M MINIMUM

REQUIRED EXIT SIGNS SHALL BE IN ACCORDANCE WITH PART E4 OF THE BCA
 PROVIDE EMERGENCY ILLUMINATED EXIT SIGNS TO REQUIRED EXITS TO AS 2293.1

EXITS MUST NOT BE BLOCKED AT THE POINT OF DISCHARGE AND WHERE NECESSARY SUITABLE BARRIERS MUST BE PROVIDED TO PREVENT VEHICLES FROM BLOCKING EXITS

OPERATION OF LATCHES MUST BE IN ACCORDANCE WITH PART D2.1 OF THE BCA
 A REQUIRED EXIT DOOR MUST BE READILY OPENABLE WITHOUT A KEY FROM THE SIDE THAT FACES THE PERSON SEEKING EGRESS BY A SINGLE HAND DOWNWARD ACTION OR PUSHING ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900MM AND 1200MM FROM THE FLOOR

LIGHTING

INSTALL EMERGENCY LIGHTING IN ACCORDANCE WITH AS 2293.1 AND PART E4.2 OF THE BCA INCLUDING DIRECTIONAL SIGNAGE (NOT SHOWN ON PLANS) TO BCA REQUIREMENTS
 PROVIDE ARTIFICIAL LIGHTING TO AS 1680

ACCESSIBILITY

ACCESS FOR PEOPLE WITH DISABILITIES SHALL COMPLY WITH PART D3 OF THE BCA AND AS 1428.1
 DISABLED PERSON TOILETS SHALL COMPLY WITH AS 1428.1
 DISABLED PERSON WC SHALL HAVE ADEQUATE FACILITIES FOR THE DISPOSAL OF SANITARY TOWELS AND A SHELF MUST ALSO BE PROVIDED
 DISABLED PERSON CAR PARKING SHALL BE IN ACCORDANCE WITH D3.5

TACTILE INDICATORS

PROVIDE TACTILE INDICATORS IN ACCORDANCE WITH D3.8 OF THE BCA AND AS 1428.1 AT THE ENTRANCE TO THE CARPARK AREA AND AT THE APPROACH TO THE STAIRWAY

THE BUILDING ACCESS SHALL HAVE A SLIP RESISTANT SURFACE
 PROVIDE BRAILLE AND TACTILE SIGNS TO IDENTIFY SANITARY FACILITIES

SARKING

INSTALL ROOF SARKING TO AS/NZS 4200 PARTS 1 AND 2

IMPORTANT NOTE

THIS PLAN IS PREPARED FOR THE CLIENT FROM A COMBINATION OF FIELD SURVEYS AND EXISTING RECORDS PROVIDED BY THE CLIENT
 SERVICES AND INFORMATION SHOWN HEREON HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. IF NOT ABLE TO BE LOCATED, SERVICES HAVE BEEN PLOTTED FROM RECORDS OF RELEVANT AUTHORITIES WHERE AVAILABLE AND HAVE BEEN NOTED ACCORDINGLY ON THIS PLAN

STAIRS

GOINGS AND RISERS SHALL BE IN ACCORDANCE WITH PART D OF THE BCA
 NOMINAL DIMENSIONS OF RISERS AND TREAD MUST BE CONSISTANT FOR EACH FLIGHT OF STAIRS AND THERE MUST BE NO MORE THAN 18 RISERS PER FLIGHT
 RISER AND GOINGS SHALL BE IN ACCORDANCE WITH THE BCA

RISER 190 MAX, 115 MIN
 GOINGS 355 MAX 250 MIN
 QUANTITY (2xRISER-GOING) 700MAX, 550 MIN

STAIR SHALL BE BALUSTRADED WHERE HEIGHT TO FINISHED GROUND LEVEL EXCEEDS 1.0M
 BALUSTRADE SHALL BE 1000 HIGH AND NOT LESS THAN 865MM ABOVE STAIR NOSINGS. NO OPENING IN BALUSTRADE MUST ALLOW A 125MM SPHERE TO PASS THROUGH. LOADING FORCES MUST BE IN ACCORDANCE WITH AS 1170.1

WHERE HEIGHT OF STAIR IS GREATER THAN 570 ABOVE FINISHED GROUND LEVEL A LANDING IN ACCORDANCE WITH CLAUSE 3.9.1.3 SHALL BE PROVIDED

SAFETY IN DESIGN STATEMENT

WE DO NOT BELIEVE THAT THERE ARE ANY DESIGN ELEMENTS ASSOCIATED WITH THIS PROJECT THAT WOULD POSE ANY UNUSUAL RISKS TO HEALTH AND SAFETY THAT WOULD BE CONSIDERED OUTSIDE OF THOSE NORMALLY EXPECTED FOR THIS BUILDING TYPE.
 IF ANY PERSONS CONNECTED WITH THIS PROJECT CAN IDENTIFY ANY UNUSUAL RISKS THAT NEED TO BE ADDRESSED PLEASE CONSULT THE DESIGNER

DISABLED COMPLIANCE STATEMENT

THIS BUILDING HAS BEEN DESIGNED TO COMPLY WITH THE REQUIREMENTS OF DISABLED ACCESS AND MOBILITY IN ACCORDANCE WITH THE BCA AND AS 1428. ACCESS TO ALL AREAS OF THE GROUND FLOOR IS PROVIDED THROUGH THE PRIMARY ENTRY. THE THRESHOLD AND DOOR OPENINGS WILL BE CONSTRUCTED TO COMPLY WITH AS 1428.

DISABLED TOILET FACILITIES HAVE BEEN INCORPORATED INTO THE PRIMARY UNSEX TOILET. THE TOILET WILL BE CONSTRUCTED AND FITTED OUT TO COMPLY WITH AS 1428.

ONE DISABLED CAR PARK HAS BEEN PROVIDED CLOSE TO THE ENTRY OF THE BUILDING TO THE DIMENSIONS OF THE ACT PARKING AND VEHICLE ACCESS GUIDELINES

AREA ANALYSIS:

SITE AREA	3356m ²
BUILDING 1 GFA:	
GROUND FLOOR	712.8m ²
GROUND FLOOR ANCILLARY OFFICE	118.0m ²
GROUND FLOOR TOTAL	830.8m ²
MEZZ LEVEL ANCILLARY OFFICE	121.2m ²
BUILDING 1 GFA TOTAL	952.0m²
BUILDING 2 GFA:	
GROUND FLOOR UNIT 1	452m ²
GF ANCILLARY OFFICE UNIT 1	79m ²
MEZZ LEVEL ANCILLARY OFFICE UNIT 1	91m ²
UNIT 1 TOTAL	622m ²
GROUND FLOOR UNIT 2	405m ²
FUTURE GF ANCILLARY OFFICE UNIT 2	79m ²
FUTURE MEZZ ANCILLARY OFFICE UNIT 2	91m ²
UNIT 2 TOTAL	575m ²
BUILDING 2 GFA TOTAL	1197m²
GRAND TOTAL GFA	2149m²

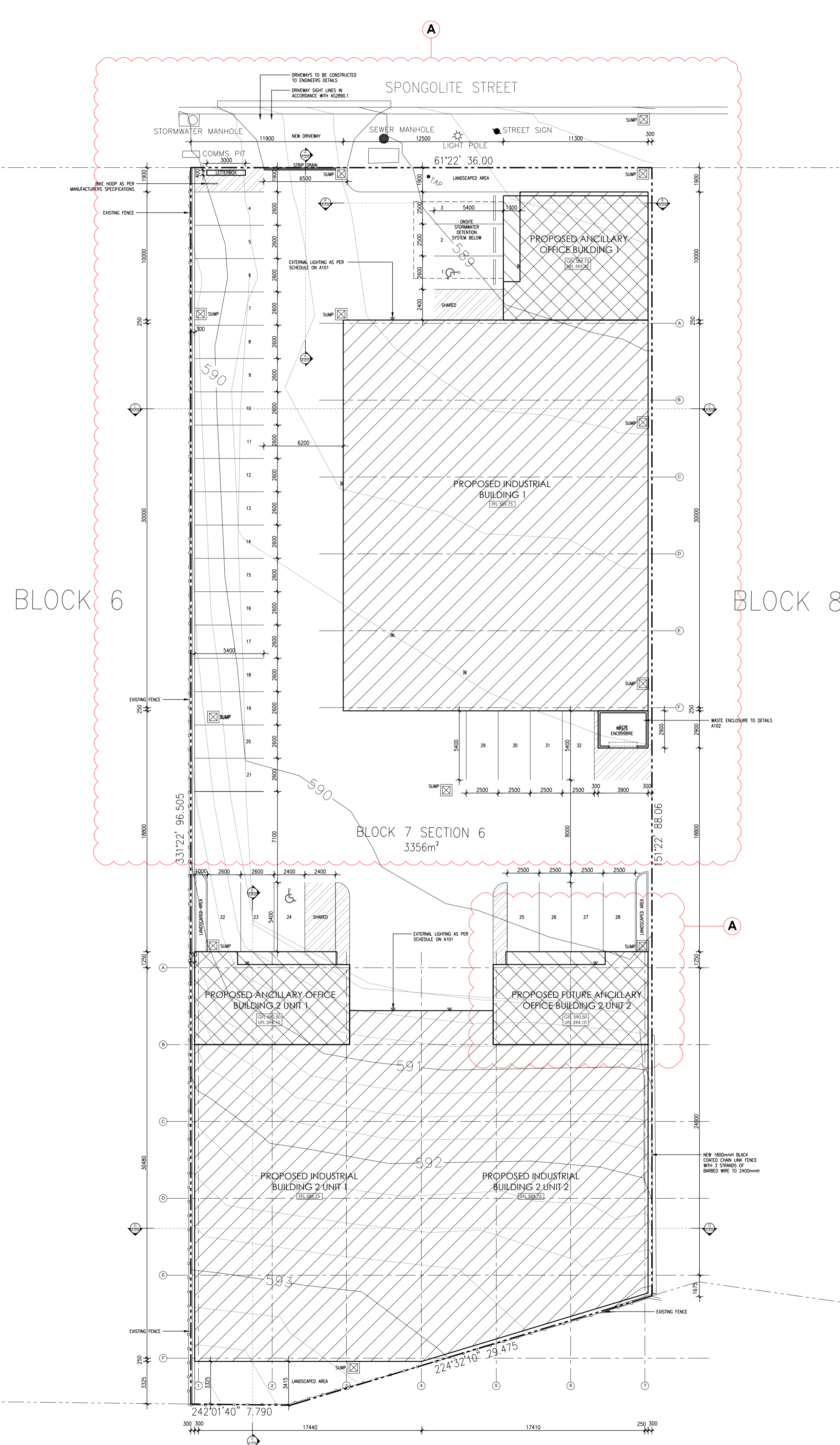
CAR PARKING ANALYSIS:

WAREHOUSE AND WAREHOUSE OFFICE AREA
 WAREHOUSE AREA 1570m²
 WAREHOUSE OFFICE AREA 579m²

CAR PARKING REQUIRED
 WAREHOUSE - 1 PARKING SPACE PER 100m²
 1570 / 100 x 1 = 15.70
 ANCILLARY OFFICE AREA - 2.5 PARKING SPACES PER 100m²
 579 / 100 x 2.5 = 14.47
 15.70 + 14.47 = 30.17
 30 CAR PARKING SPACES ARE REQUIRED

CAR PARKING PROVIDED
 A TOTAL OF 32 CAR PARKING SPACES HAVE BEEN PROVIDED INCLUDING 2 ACCESSIBLE SPACES.

SITE PLAN
1:200 @ A1



AMENDMENTS:

REV	DESCRIPTION	DATE
A	BUILDING 1 REVISED, SECOND DRIVEWAY REMOVED, BIN ENCLOSURE & PARKING ADJUSTED, INTERNAL FITOUT REMOVED FROM BUILDING 2 UNIT 2.	10.11.2016

DA SUBMISSION
NOT FOR CONSTRUCTION

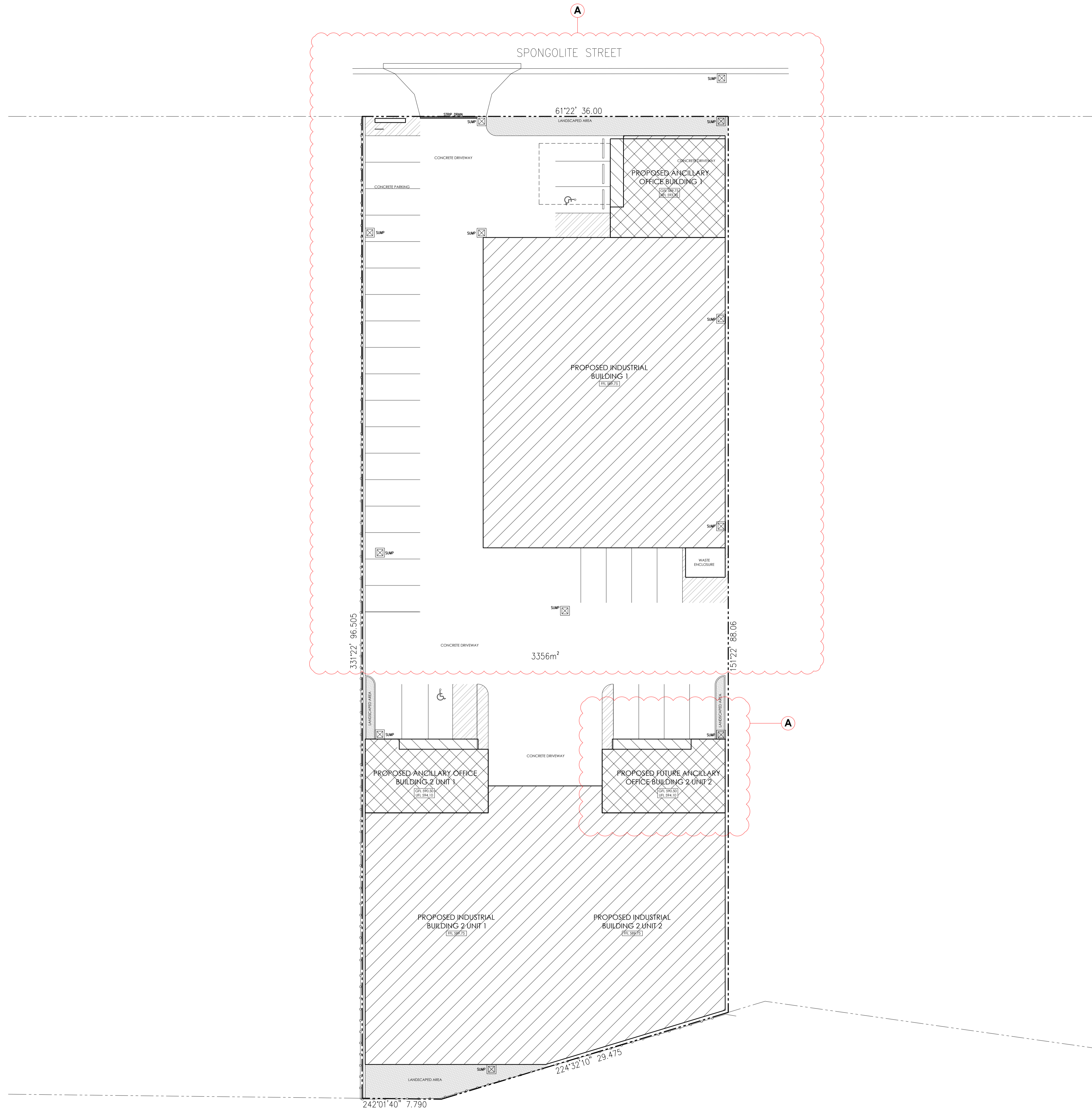
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SECTION	6
ADDRESS	14 SPONGOLITE STREET
SUBURB	BEARD
STATE	ACT
SCALE	1:200 @ A1
DRAWING	SITE PLAN
PROJECT	CUDA - BEARD
CLIENT	MARIO CUDA

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DRAWN	GD/JW
REVISION	A
REVISION DATE	10.11.2016
PROJECT NO	1605
PRINT DATE	22.11.2016
DWG No	A101

LEGEND	
	CONCRETE DRIVEWAY OR PARKING
	LANDSCAPED AREA

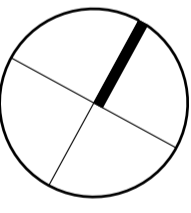
NOTE:
ALL PLANTING TO COMPLY WITH CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN GENERAL CODE



LANDSCAPE PLAN
1:200 @ A1

AMENDMENTS:

REV	DESCRIPTION	DATE
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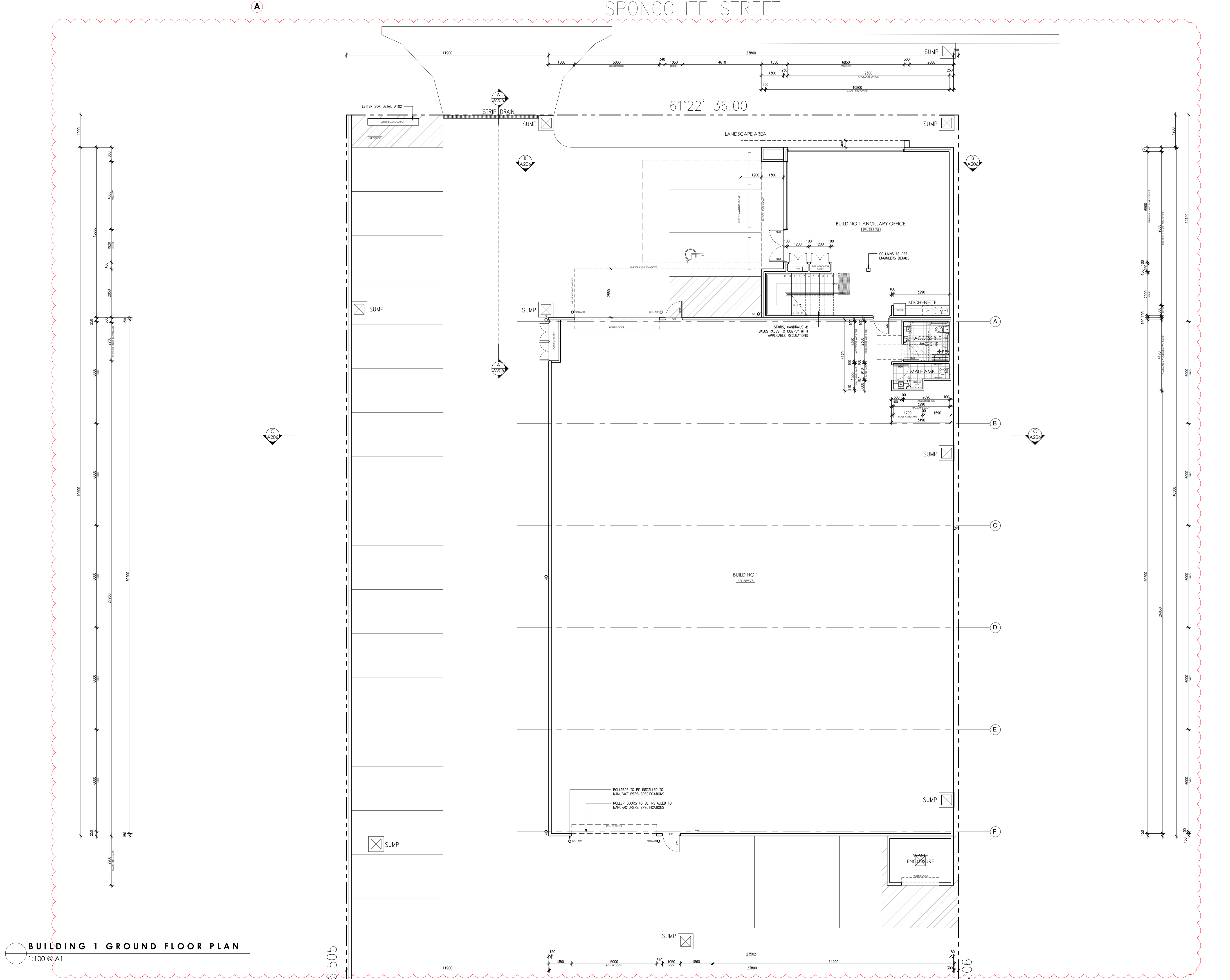


DA SUBMISSION
NOT FOR CONSTRUCTION

BLOCK	7
SECTION	6
ADDRESS	14 SPONGOLITE STREET
SUBURB	BEARD
STATE	ACT
SCALE	1:200 @ A1
DRAWING	LANDSCAPE PLAN
PROJECT	CUDA - BEARD
CLIENT	MARIO CUDA

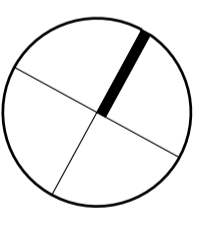
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DRAWN	GD/JW
REVISION	A
DATE	10.11.2016
PROJECT No	1605
PRINT DATE	22.11.2016
DWG No	A102



AMENDMENTS:

REV	DESCRIPTION	DATE
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DA SUBMISSION
NOT FOR CONSTRUCTION

BLOCK **7**
SECTION **6**
ADDRESS **14 SPONGOLITE STREET**
SUBURB **BEARD**
STATE **ACT**
SCALE **1:100 @ A1**
DRAWING **BUILDING 1 GROUND FLOOR PLAN**
PROJECT **CUDA - BEARD**
CLIENT **MARIO CUDA**

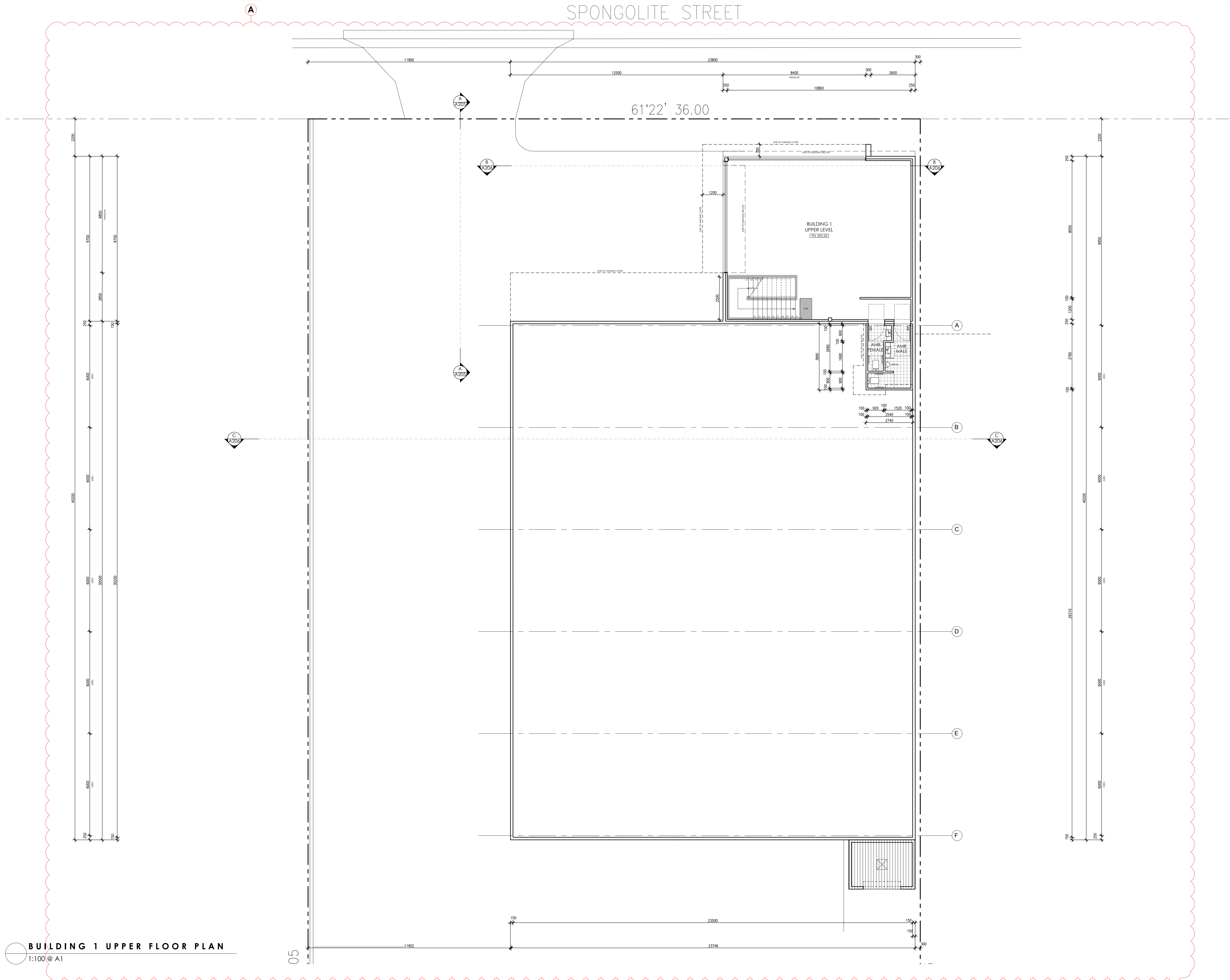
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DRAWN **GD/JW**
REVISION **A**
DATE **10.11.2016**
PROJECT No **1605**
PRINT DATE **22.11.2016**
DWG No **A201**

BUILDING 1 GROUND FLOOR PLAN
1:100 @ A1

505

506

SPONGOLITE STREET



AMENDMENTS:

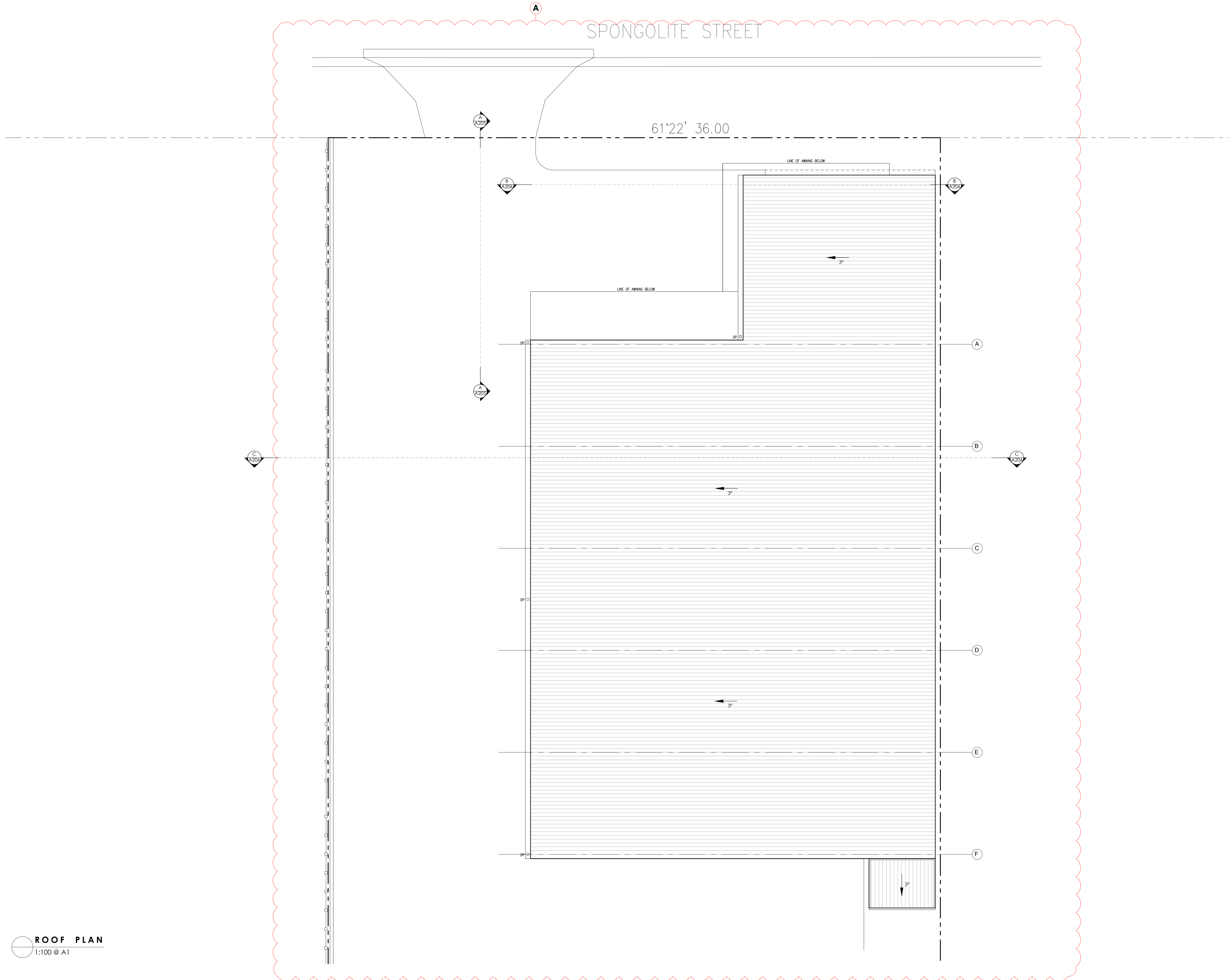
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DA SUBMISSION
NOT FOR CONSTRUCTION

BLOCK **7**
SECTION **6**
ADDRESS **14 SPONGOLITE STREET**
SUBURB **BEARD**
STATE **ACT**
SCALE **1:100 @ A1**
DRAWING **BUILDING 1 UPPER
FLOOR PLAN**
PROJECT **CUDA - BEARD**
CLIENT **MARIO CUDA**

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DRAWN **GD/JW**
REVISION **A**
REVISION DATE **10.11.2016**
DATE PROJECT NO **1605**
PRINT DATE **22.11.2016**
DWG NO **A202**

BUILDING 1 UPPER FLOOR PLAN
1:100 @ A1



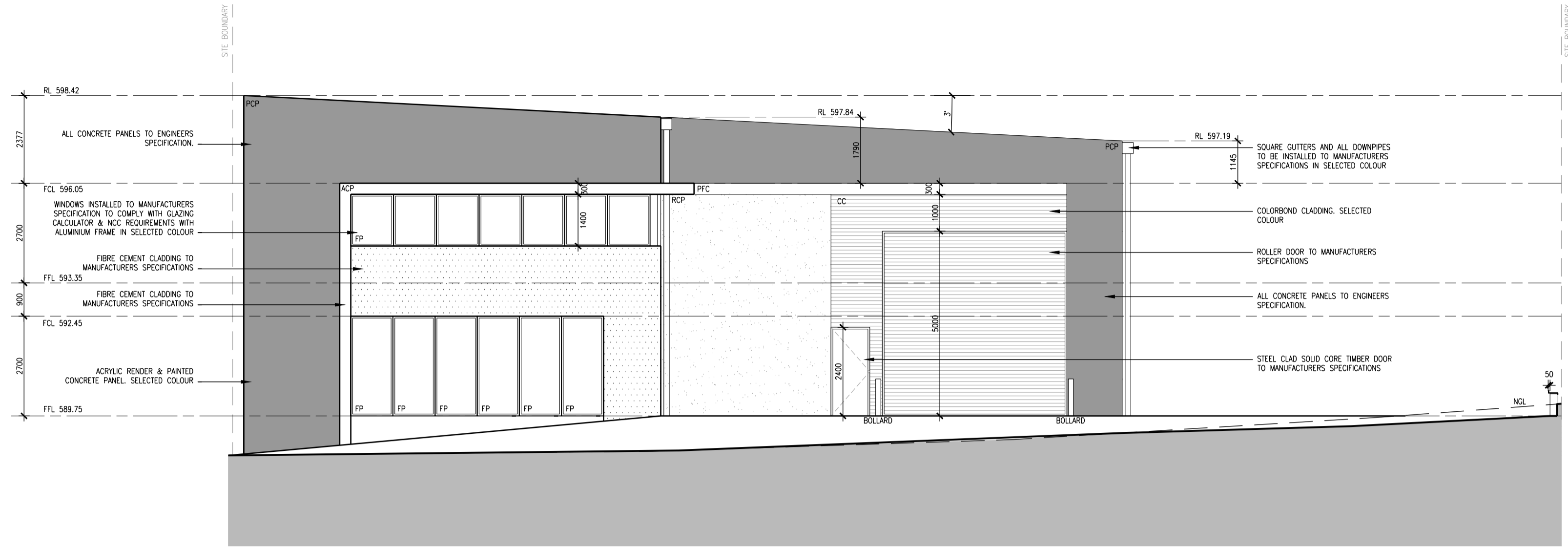
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REV	DESCRIPTION	DATE
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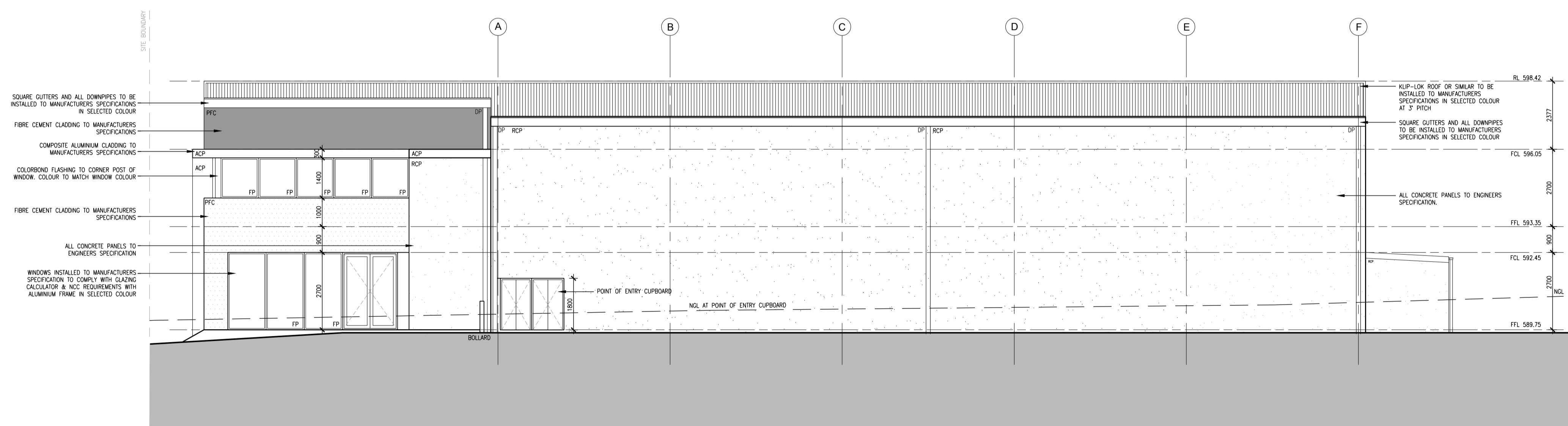
DA SUBMISSION
NOT FOR CONSTRUCTION

BLOCK **7**
 SECTION **6**
 ADDRESS **14 SPONGOLITE STREET**
 SUBURB **BEARD**
 STATE **ACT**
 SCALE **1:100 @ A1**
 DRAWING **ROOF PLAN**
 PROJECT **CUDA - BEARD**
 CLIENT **MARIO CUDA**

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 DRAWN **GD/JW**
 REVISION **A**
 REVISION DATE **10.11.2016**
 DATE PROJECT NO **1605**
 PRINT DATE **22.11.2016**
 DWG No **A203**



B1 NORTH WEST ELEVATION
 1:100 @ A1



B1 SOUTH WEST ELEVATION
 1:100 @ A1

AMENDMENTS:

REV	DESCRIPTION	DATE
A	BUILDING 1 REVISED, SECOND DRIVEWAY REMOVED, BIN ENCLOSURE & PARKING ADJUSTED, INTERNAL FITOUT REMOVED FROM BUILDING 2 UNIT 2.	10.11.2016

DA SUBMISSION
 NOT FOR CONSTRUCTION

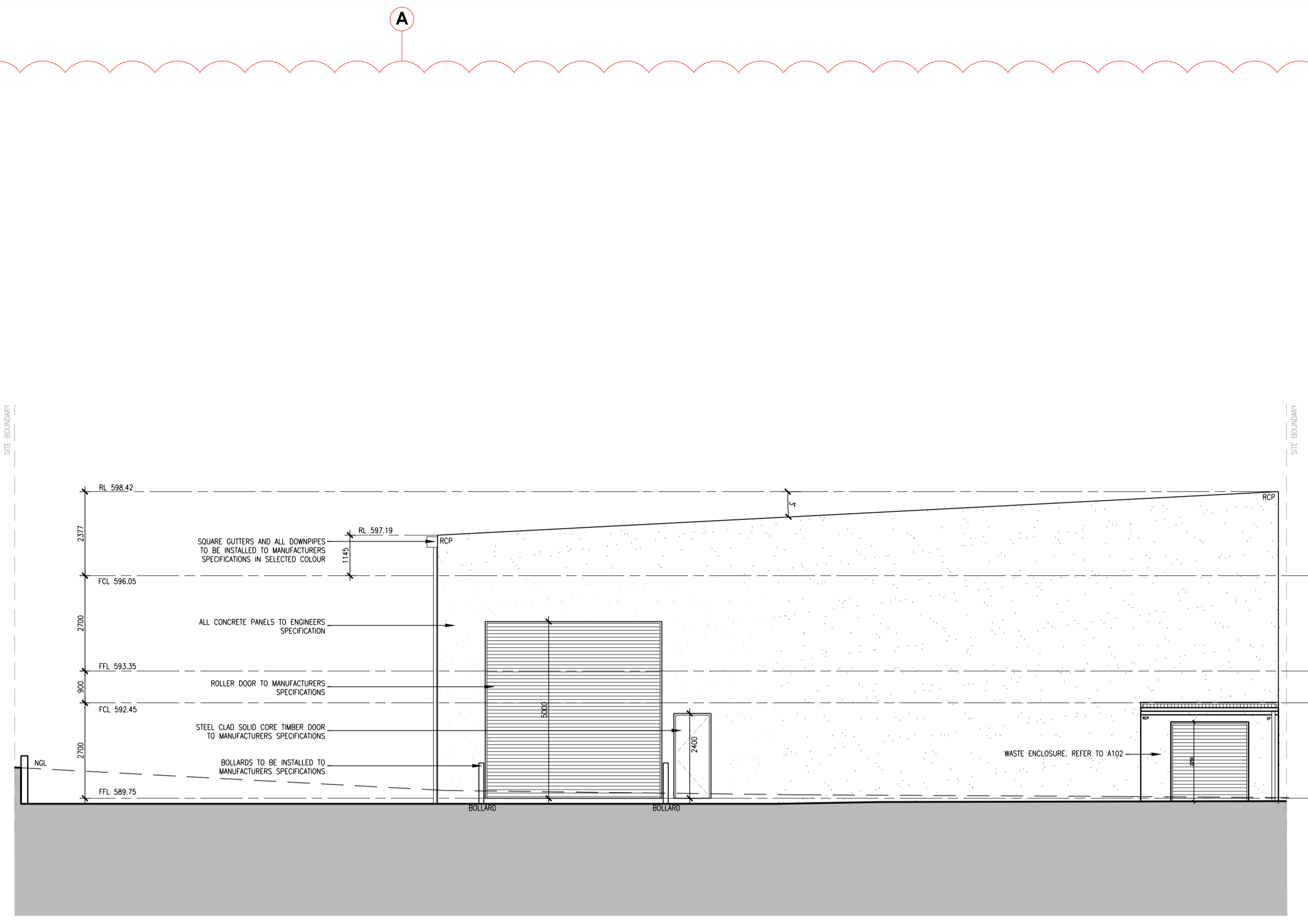
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 SECTION **6**
 ADDRESS **14 SPONGOLITE STREET**
 SUBURB **BEARD**
 STATE **ACT**
 SCALE **1:100 @ A1**
 DRAWING **BUILDING 1 ELEVATIONS**
 PROJECT **CUDA - BEARD**
 CLIENT **MARIO CUDA**

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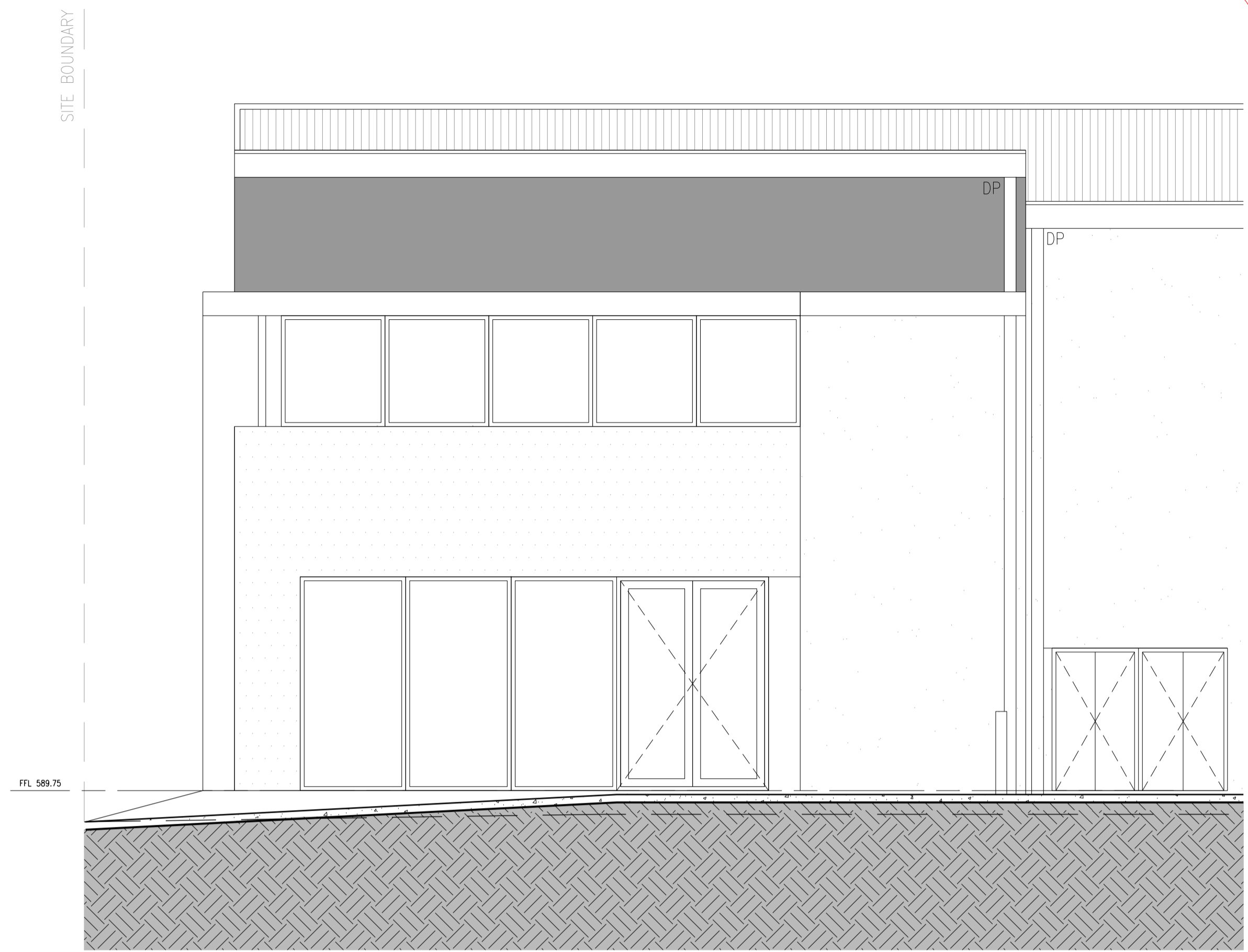
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 REVISION DATE **10.11.2016**
 PROJECT No **1605**
 PRINT DATE **22.11.2016**
 DWG No **A204**

LEGEND:

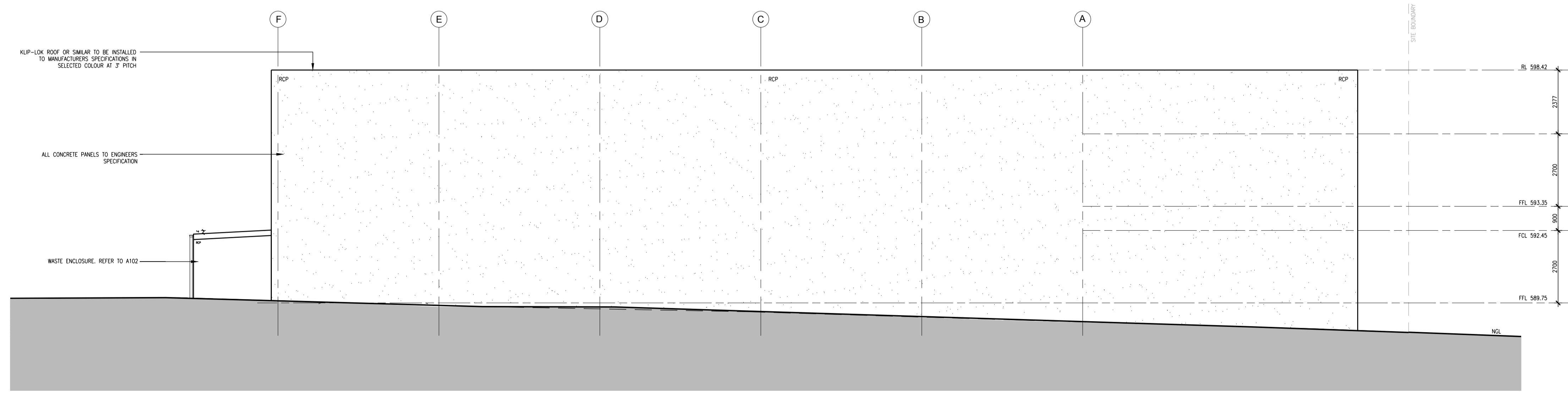
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RCP	CONCRETE PANEL - RAW FINISH
PFC	FIBRE CEMENT SHEET - PAINTED FINISH
RFC	FIBRE CEMENT SHEET - RAW FINISH
CC	COLORBOND CLADDINGS
ACP	ALUMINIUM COMPOSITE PANEL



B1 SOUTH EAST ELEVATION
 1:100 @ A1



DRIVEWAY SECTION
 1:50 @ A1



B1 NORTH EAST ELEVATION
 1:100 @ A1

LEGEND:

PCP	CONCRETE PANEL - PAINTED FINISH
RCP	CONCRETE PANEL - RAW FINISH
PFC	FIBRE CEMENT SHEET - PAINTED FINISH
RFC	FIBRE CEMENT SHEET - RAW FINISH
CC	COLORBOND CLADDING
ACP	ALUMINIUM COMPOSITE PANEL

AMENDMENTS:

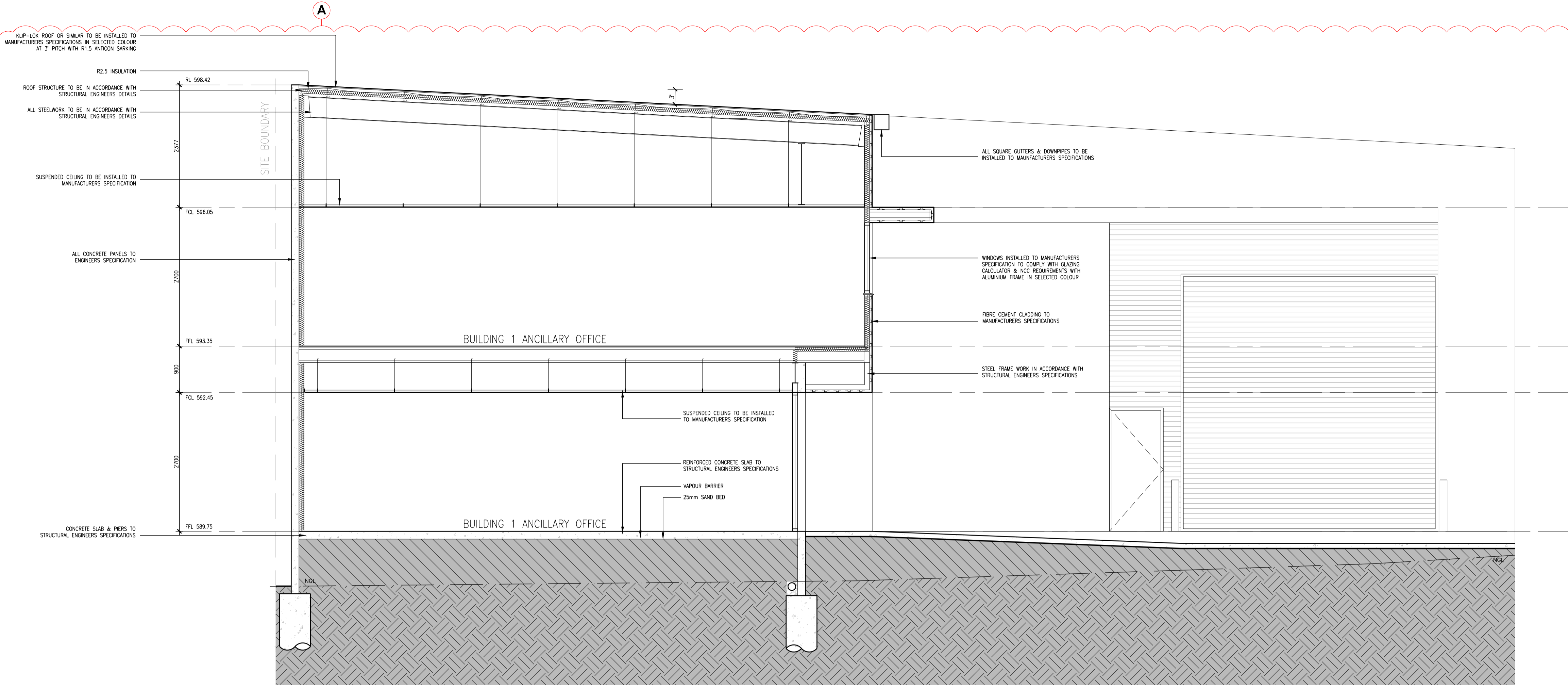
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DA SUBMISSION
 NOT FOR CONSTRUCTION

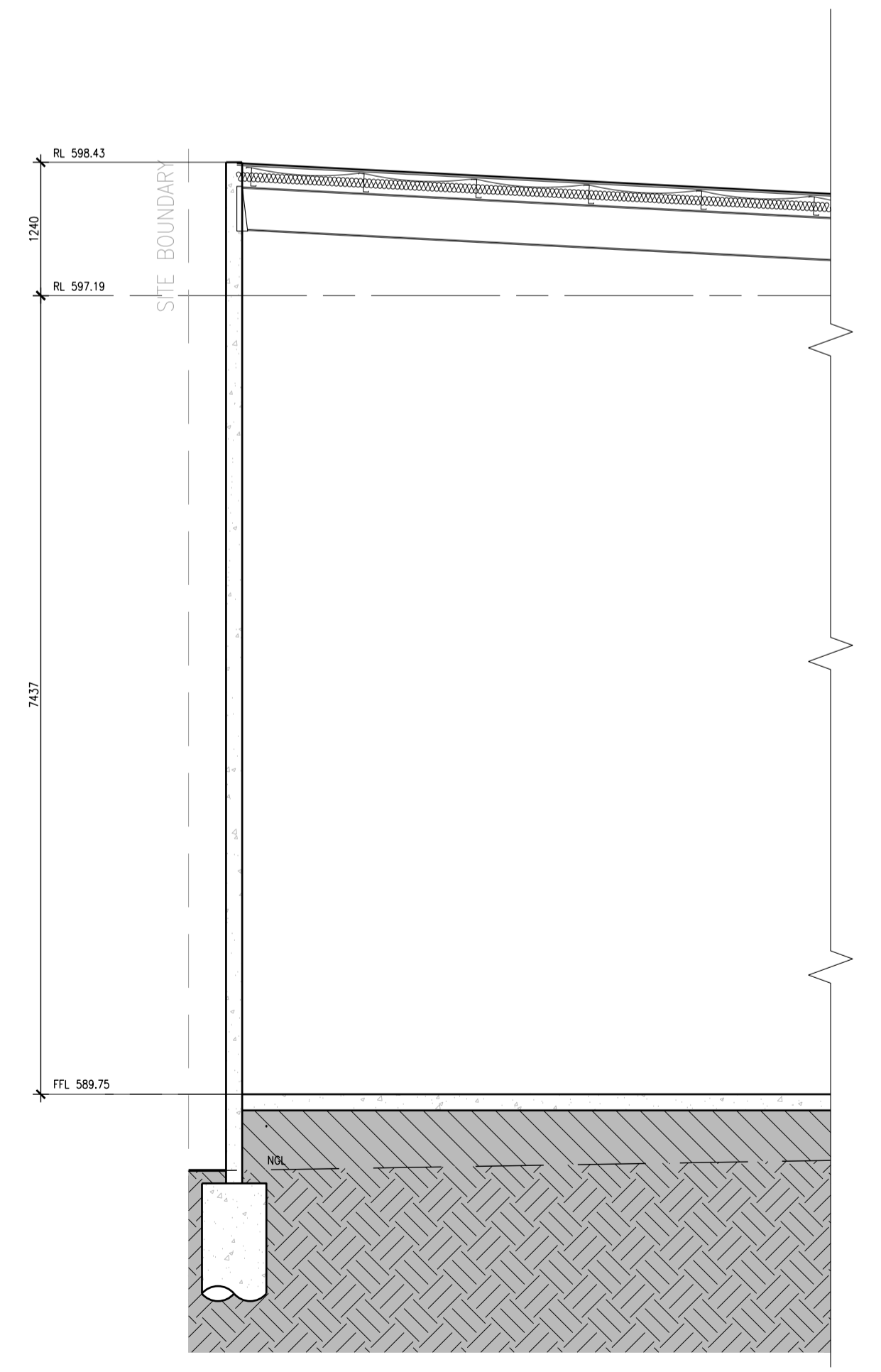
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SECTION	6
ADDRESS	14 SPONGOLITE STREET
SUBURB	BEARD
STATE	ACT
SCALE	AS SHOWN
DRAWING	BUILDING 1 ELEVATIONS & SECTION
PROJECT	CUDA - BEARD
CLIENT	MARIO CUDA

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DRAWN	GD/JW
REVISION	A
DATE	10.11.2016
PROJECT No	1605
PRINT DATE	22.11.2016
DWG No	A205



BUILDING 1 SECTION B
 1:50 @ A1



BUILDING 1 SECTION C
 1:50 @ A1

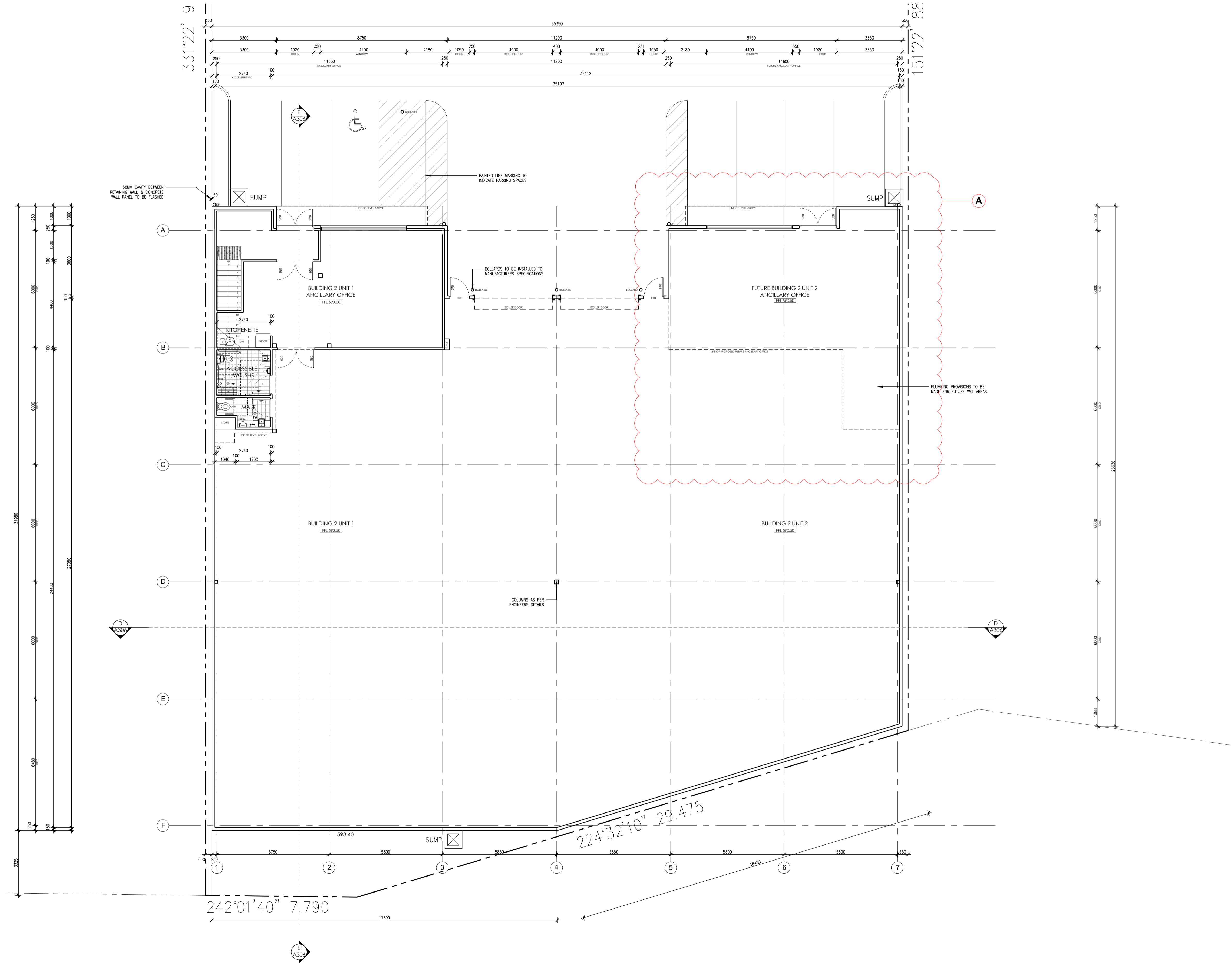
AMENDMENTS:

REV	DESCRIPTION	DATE
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DA SUBMISSION
 NOT FOR CONSTRUCTION

BLOCK **7**
 SECTION **6**
 ADDRESS **14 SPONGOLITE STREET**
 SUBURB **BEARD**
 STATE **ACT**
 SCALE **1:50 @ A1**
 DRAWING **BUILDING 1 SECTIONS**
 PROJECT **CUDA - BEARD**
 CLIENT **MARIO CUDA**

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 DRAWN **GD/JW**
 REVISION **A**
 REVISION **10.11.2016**
 DATE **1605**
 PROJECT No **22.11.2016**
 PRINT DATE **A206**
 DWG No



AMENDMENTS:

REV	DESCRIPTION	DATE
A	BUILDING 1 REVISED, SECOND DRIVEWAY REMOVED, BIN ENCLOSURE & PARKING ADJUSTED, INTERNAL FITOUT REMOVED FROM BUILDING 2 UNIT 2.	10.11.2016

DA SUBMISSION
NOT FOR CONSTRUCTION

BLOCK 7
 SECTION 6
 ADDRESS 14 SPONGOLITE STREET
 SUBURB BEARD
 STATE ACT
 SCALE 1:100 @ A1
 DRAWING BUILDING 2 GROUND FLOOR PLAN
 PROJECT CUDA - BEARD

CLIENT MARIO CUDA

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DRAWN GD/JW
 REVISION A
 REVISION 10.11.2016
 DATE 10.11.2016
 PROJECT No 1605
 PRINT DATE 22.11.2016
 DWG No A301

BUILDING 2 GROUND FLOOR PLAN
1:100 @ A1

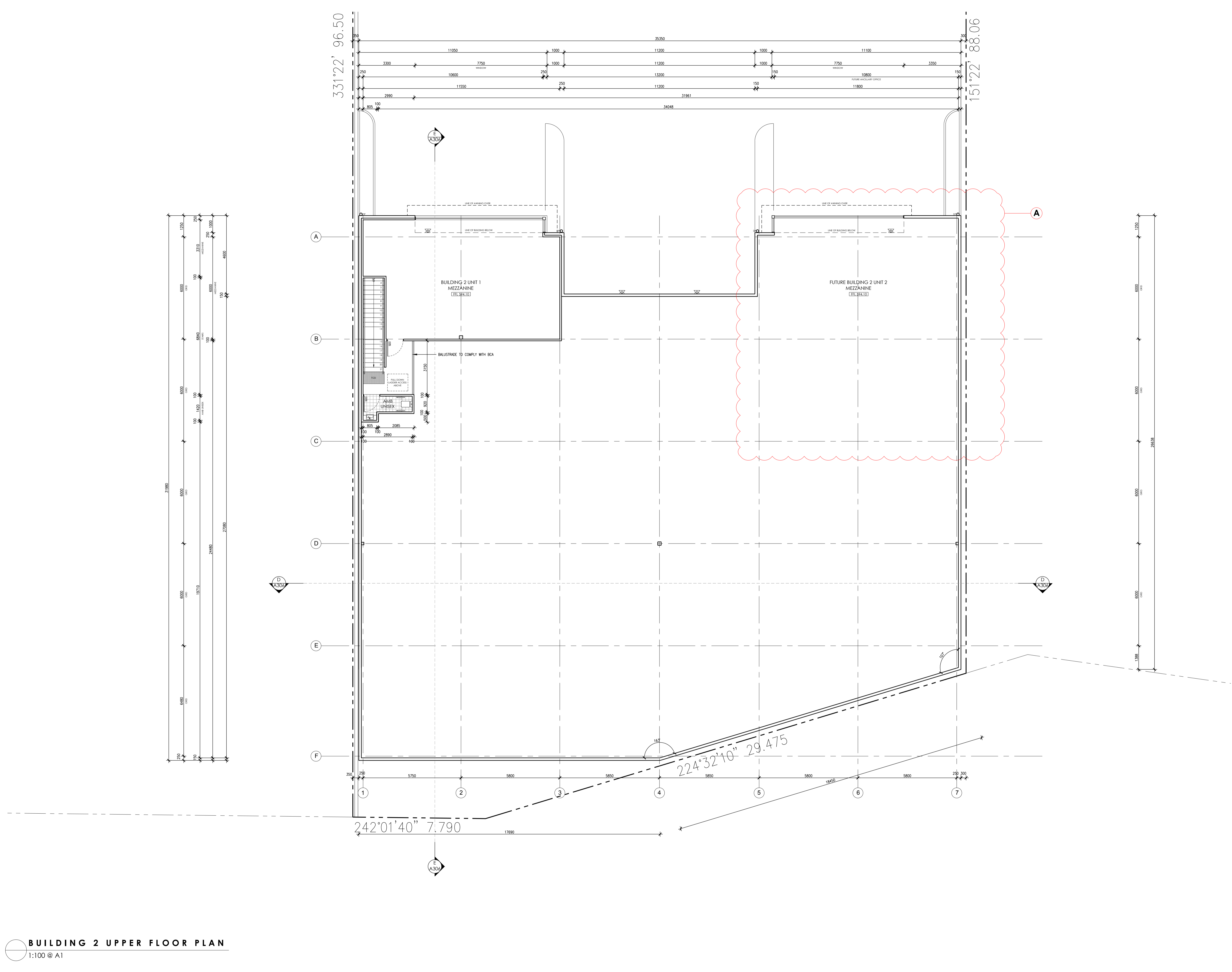
AMENDMENTS:

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A	BUILDING 1 REVISED, SECOND DRIVEWAY REMOVED, BIN ENCLOSURE & PARKING ADJUSTED, INTERNAL FITOUT REMOVED FROM BUILDING 2 UNIT 2.	10.11.2016


DA SUBMISSION
 NOT FOR CONSTRUCTION

BLOCK **7**
 SECTION **6**
 ADDRESS **14 SPONGOLITE STREET**
 SUBURB **BEARD**
 STATE **ACT**
 SCALE **1:100 @ A1**
 DRAWING **BUILDING 2 UPPER FLOOR PLAN**
 PROJECT **CUDA - BEARD**
 CLIENT **MARIO CUDA**

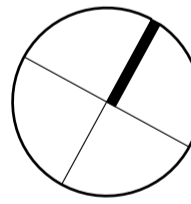
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 DRAWN **GD/JW**
 REVISION **A**
 DATE **10.11.2016**
 PROJECT No **1605**
 PRINT DATE **22.11.2016**
 DWG No **A302**




BUILDING 2 UPPER FLOOR PLAN
 1:100 @ A1

AMENDMENTS:

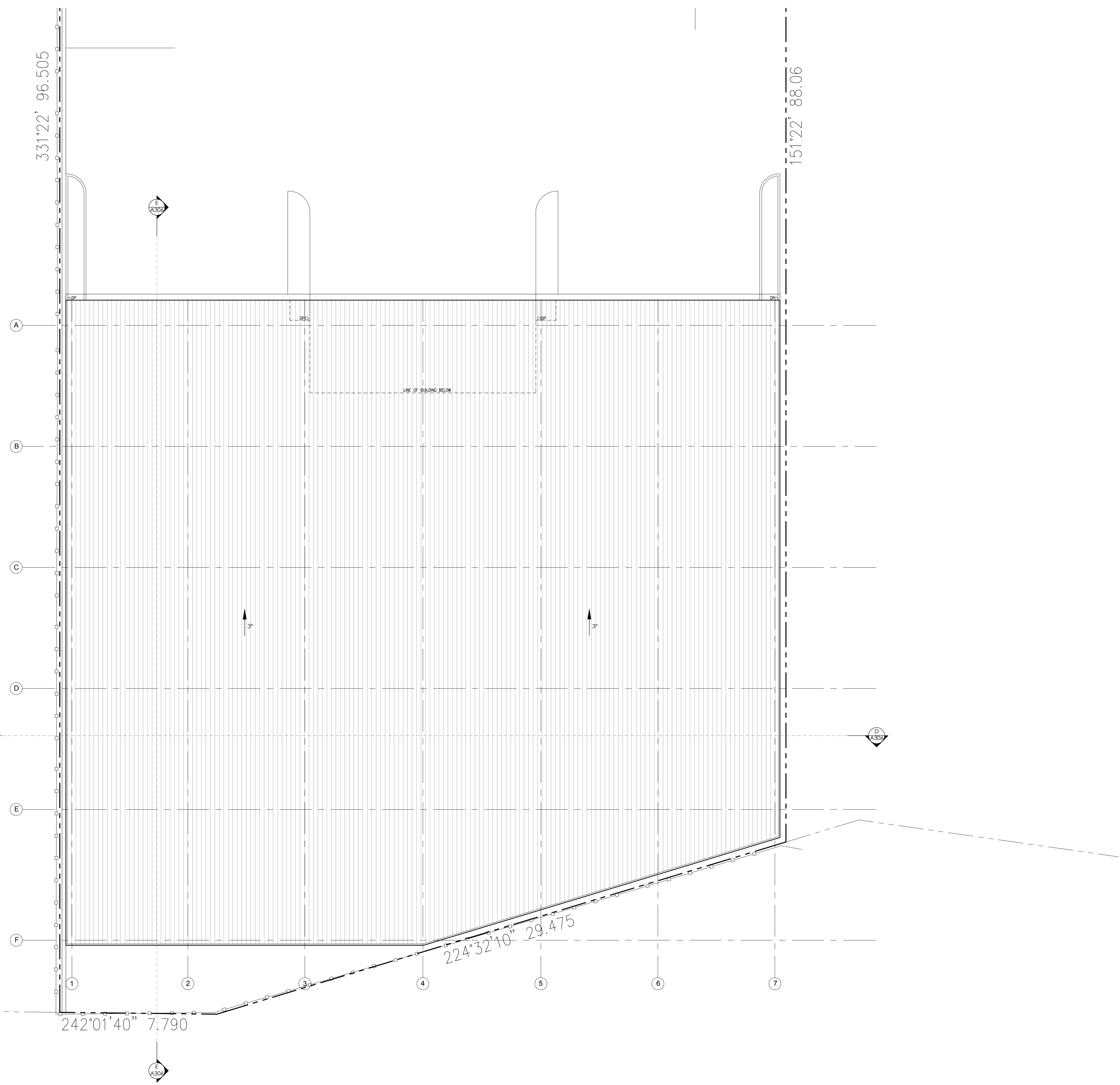
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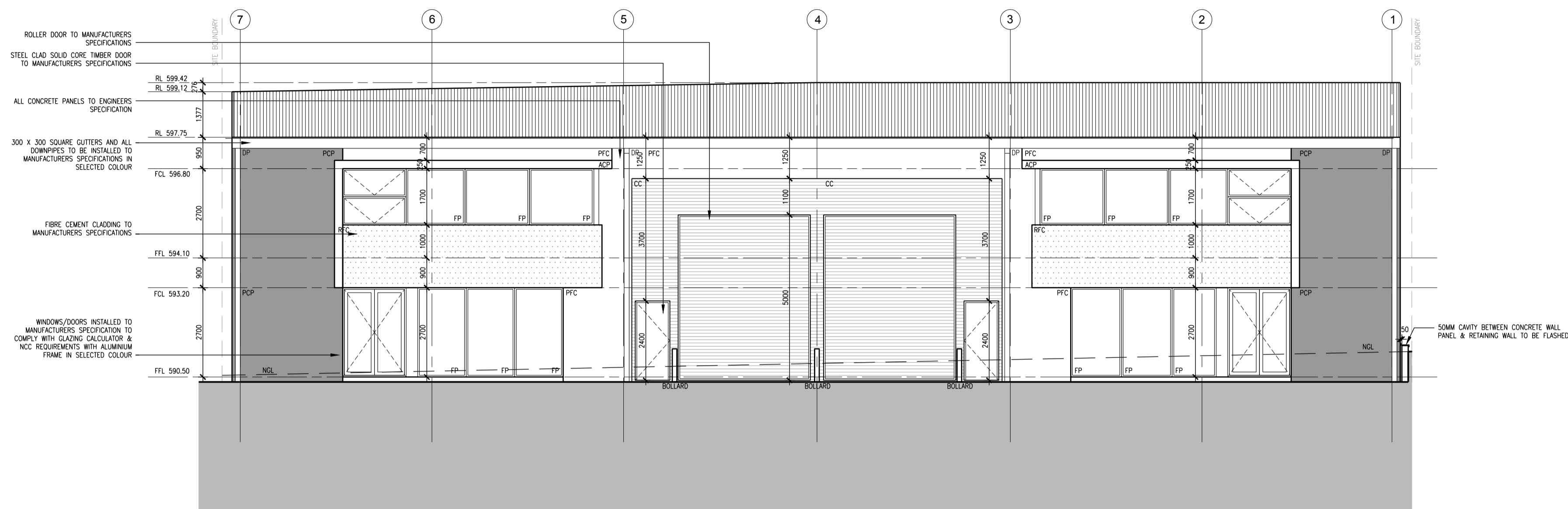
DA SUBMISSION
NOT FOR CONSTRUCTION

BLOCK **7**
 SECTION **6**
 ADDRESS **14 SPONGOLITE STREET**
 SUBURB **BEARD**
 STATE **ACT**
 SCALE **1:100 @ A1**
 DRAWING **ROOF PLAN**
 PROJECT **CUDA - BEARD**
 CLIENT **MARIO CUDA**

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 DRAWN **GD/JW**
 REVISION
 DATE
 PROJECT No **1605**
 PRINT DATE **22.11.2016**
 DWG No **A303**



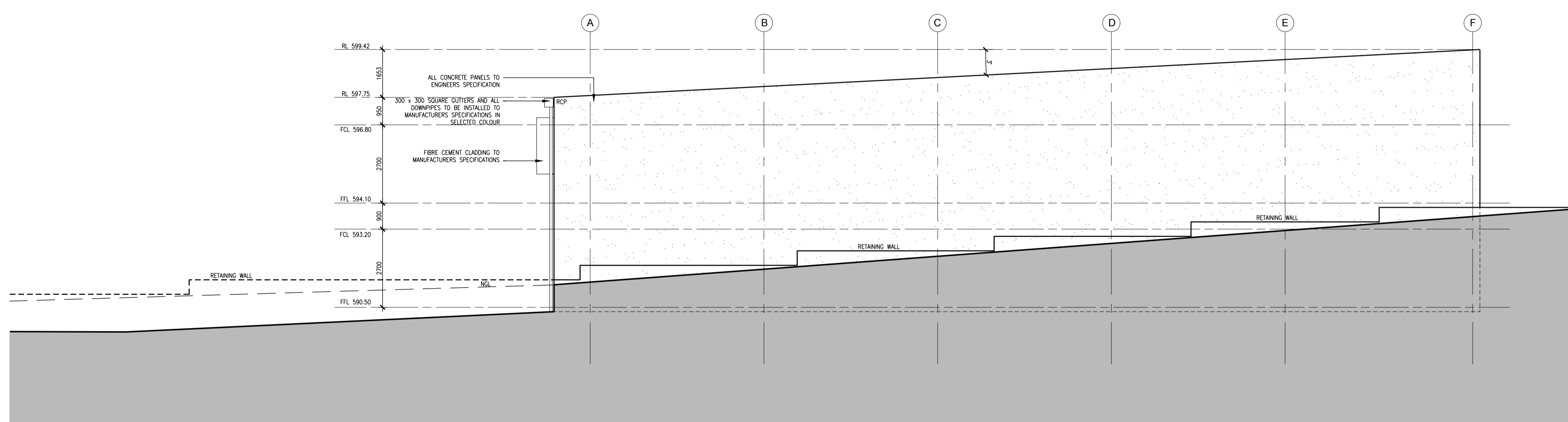
ROOF PLAN
1:100 @ A1




B2 NORTH WEST ELEVATION
 1:100 @ A1

AMENDMENTS:

REV	DESCRIPTION	DATE
A	BUILDING 1 REVISED, SECOND DRIVEWAY REMOVED, BIN ENCLOSURE & PARKING ADJUSTED, INTERNAL FITOUT REMOVED FROM BUILDING 2 UNIT 2.	10.11.2016




B2 SOUTH WEST ELEVATION
 1:100 @ A1

LEGEND:

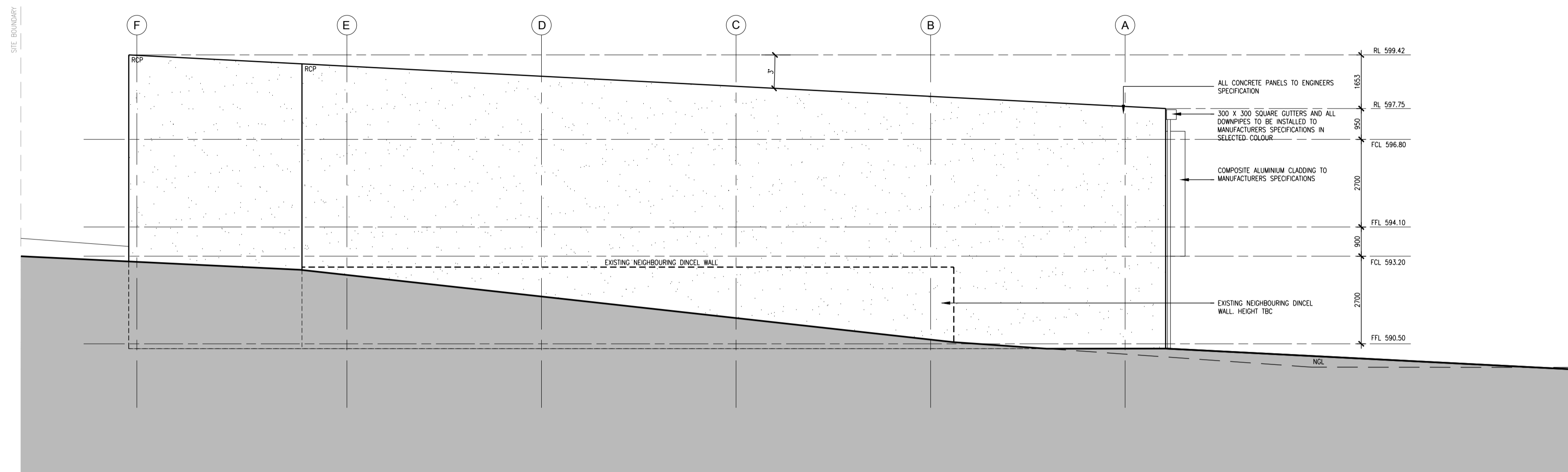
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RCP	CONCRETE PANEL - RAW FINISH
PFC	FIBRE CEMENT SHEET - PAINTED FINISH
RFC	FIBRE CEMENT SHEET - RAW FINISH
CC	COLORBOND CLADDING
ACP	ALUMINIUM COMPOSITE PANEL

DA SUBMISSION
 NOT FOR CONSTRUCTION

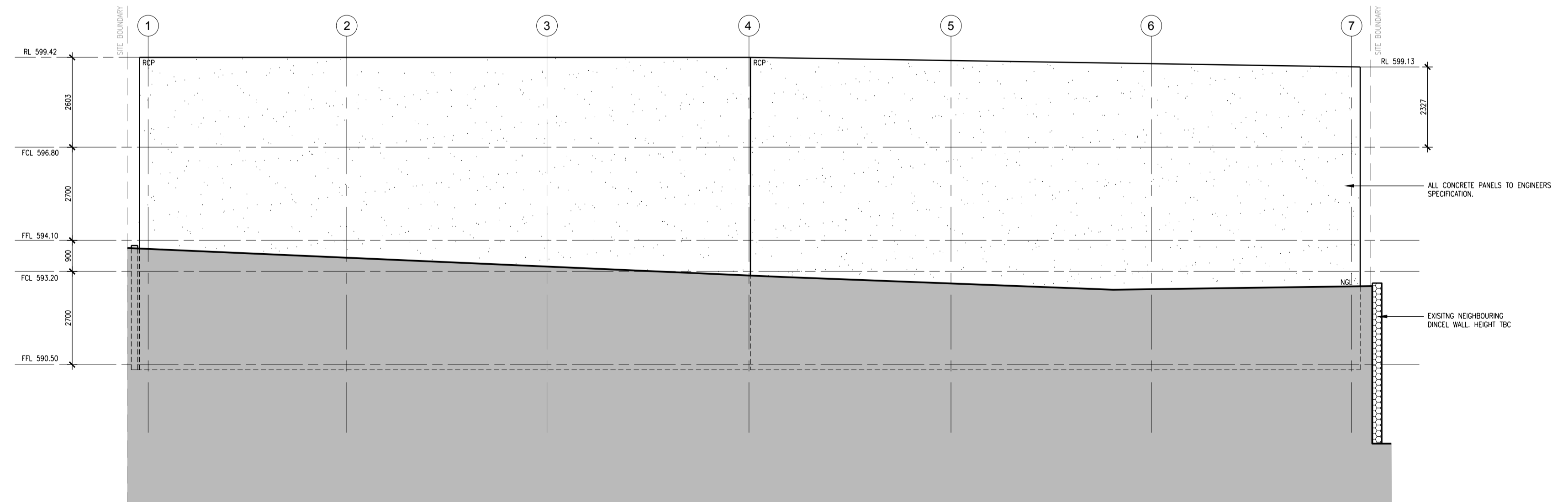
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 SECTION **6**
 ADDRESS **14 SPONGOLITE STREET**
 SUBURB **BEARD**
 STATE **ACT**
 SCALE **1:100 @ A1**
 DRAWING **BUILDING 2 ELEVATIONS**
 PROJECT **CUDA - BEARD**
 CLIENT **MARIO CUDA**

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DRAWN **GD/JW**
 REVISION
 DATE
 PROJECT No **1605**
 PRINT DATE **22.11.2016**
 DWG No **A304**




B2 NORTH EAST ELEVATION
 1:100 @ A1




B2 SOUTH EAST ELEVATION
 1:100 @ A1

AMENDMENTS:

REV	DESCRIPTION	DATE
A	BUILDING 1 REVISED, SECOND DRIVEWAY REMOVED, BIN ENCLOSURE & PARKING ADJUSTED, INTERNAL FITOUT REMOVED FROM BUILDING 2 UNIT 2.	10.11.2016

DA SUBMISSION
 NOT FOR CONSTRUCTION

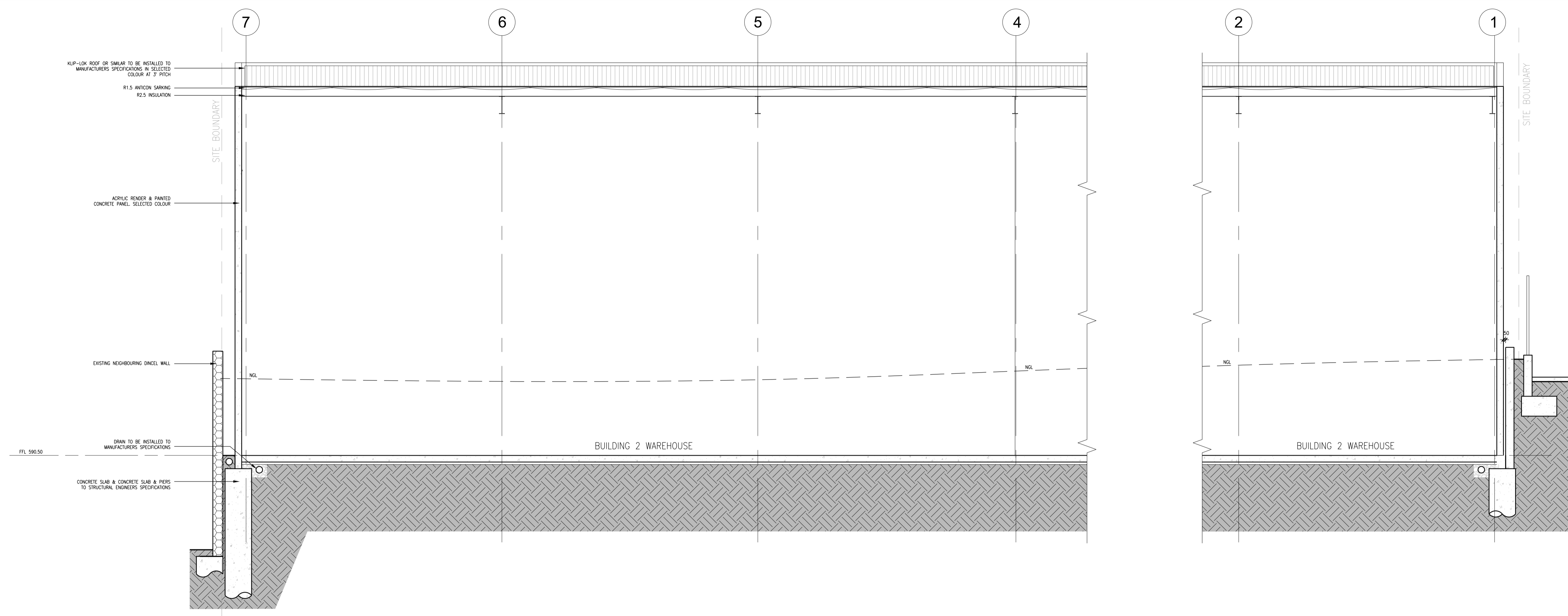
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 SUBURB **BEARD**
 STATE **ACT**
 SCALE **1:100 @ A1**
 DRAWING **BUILDING 2 ELEVATIONS**
 PROJECT **CUDA - BEARD**
 CLIENT **MARIO CUDA**

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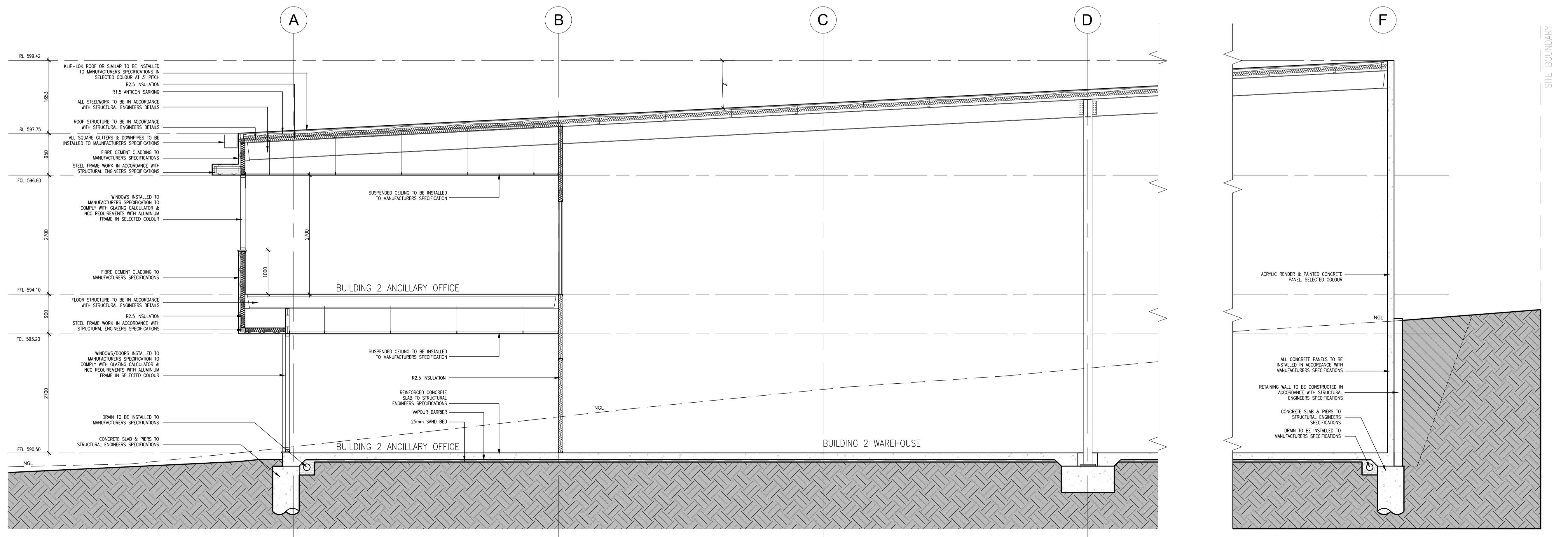
DRAWN **GD/JW**
 REVISION
 DATE
 PROJECT No **1605**
 PRINT DATE **22.11.2016**
 DWG No **A305**

LEGEND:

PCP	CONCRETE PANEL - PAINTED FINISH
RCP	CONCRETE PANEL - RAW FINISH
FFC	FIBRE CEMENT SHEET - PAINTED FINISH
RFC	FIBRE CEMENT SHEET - RAW FINISH
CC	COLORBOND CLADDING
ACP	ALUMINIUM COMPOSITE PANEL



BUILDING 2 SECTION D
1:50 @ A1



BUILDING 2 SECTION E
1:50 @ A1

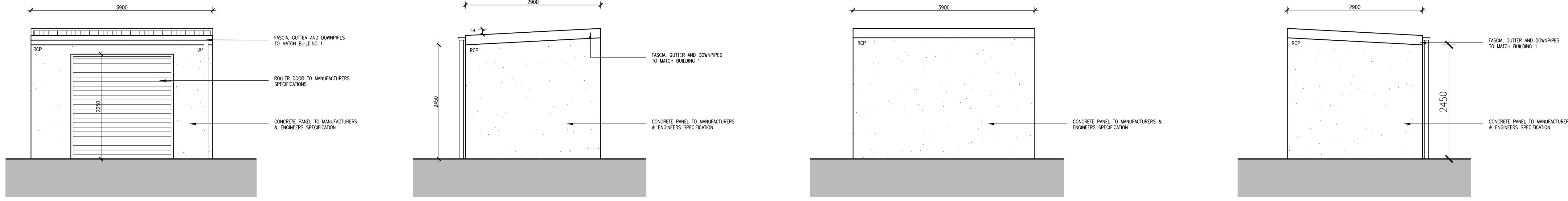
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REV	DESCRIPTION	DATE
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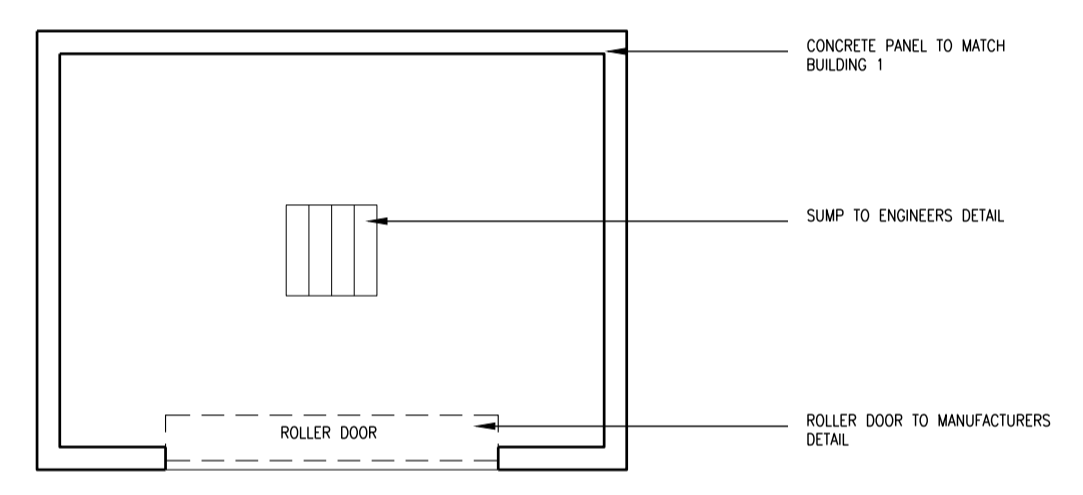
DA SUBMISSION
NOT FOR CONSTRUCTION

BLOCK **7**
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 SUBURB **BEARD**
 STATE **ACT**
 SCALE **1:50 @ A1**
 DRAWING **BUILDING 2 SECTIONS**
 PROJECT **CUDA - BEARD**
 CLIENT **MARIO CUDA**

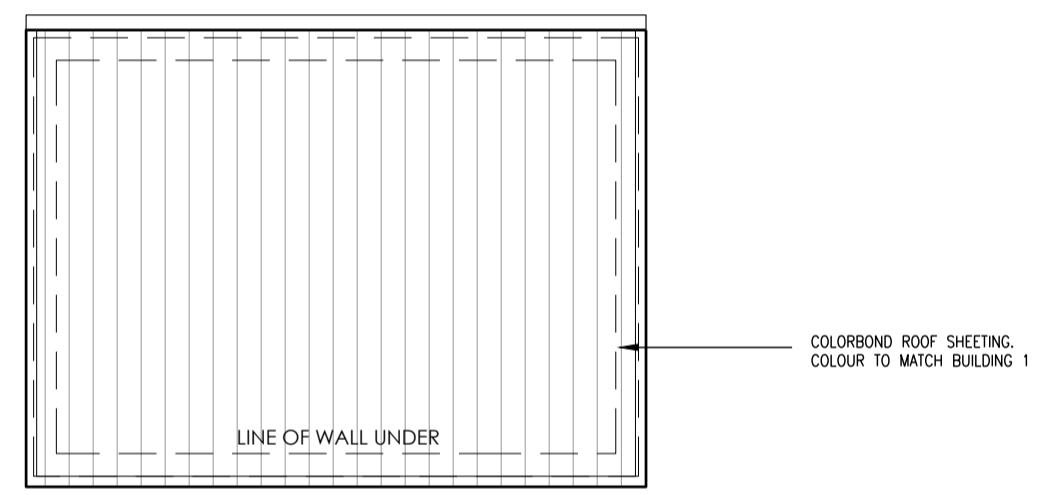
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 REVISION
 REVISION
 DATE
 PROJECT No **1605**
 PRINT DATE **22.11.2016**
 DWG No **A306**



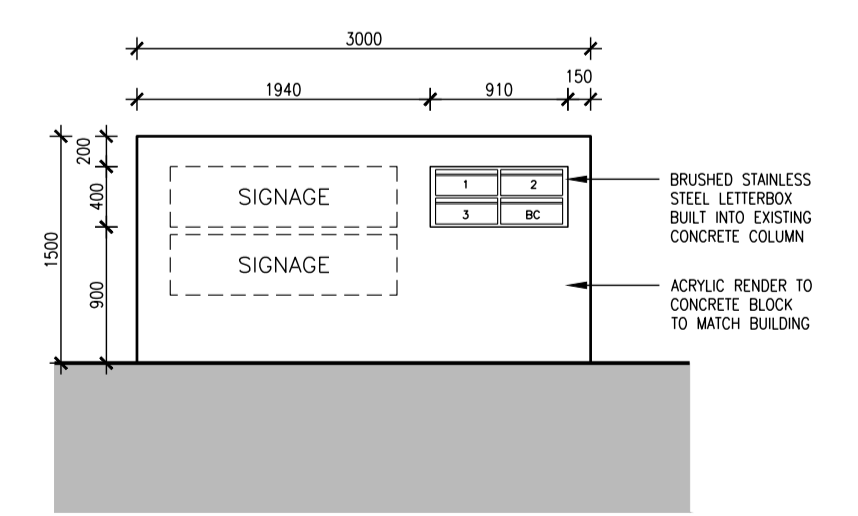

BIN ENCLOSURE ELEVATION
 1:50 @ A1




BIN ENCLOSURE PLAN
 1:50 @ A1




BIN ENCLOSURE ROOF PLAN
 1:50 @ A1




LETTERBOX DETAIL
 1:50 @ A1

AMENDMENTS:

REV	DESCRIPTION	DATE
A	BUILDING 1 REVISED, SECOND DRIVEWAY REMOVED, BIN ENCLOSURE & PARKING ADJUSTED, INTERNAL FITOUT REMOVED FROM BUILDING 2 UNIT 2.	10.11.2016

DA SUBMISSION
 NOT FOR CONSTRUCTION

BLOCK **7**
 SECTION **6**
 ADDRESS **14 SPONGOLITE STREET**
 SUBURB **BEARD**
 STATE **ACT**
 SCALE **1:50 @ A1**
 DRAWING **BIN ENCLOSURE AND LETTER BOX DETAIL**
 PROJECT **CUDA - BEARD**

CLIENT **MARIO CUDA**

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 DRAWN **GD/JW**
 REVISION **A**
 REVISION **10.11.2016**
 PROJECT No **1605**
 PRINT DATE **22.11.2016**
 DWG No **A401**

1 ON-SITE MANAGEMENT OF VERGES AND OPEN SPACE

1.1 GENERAL

BEFORE COMMENCING WORKS, THE APPLICANT OR THEIR REPRESENTATIVE MUST ADVISE ASSET ACCEPTANCE IN WRITING THAT THE PROTECTIVE MEASURES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED LMP. RANDOM AUDITS WILL BE ARRANGED BY AA TO ENSURE COMPLIANCE. ALL DEVELOPMENT WORK MUST BE CONTAINED WITHIN THE SITE EXCEPT FOR APPROVED SERVICE CONNECTIONS IN THE VERGE. NOTE THAT THE WORKS MAY REQUIRE THE PROVISION OF AN APPROVED TEMPORARY TRAFFIC MANAGEMENT PLAN, WHICH WILL INFLUENCE THE LANDSCAPE MANAGEMENT AND PROTECTION PLAN (LMP) REQUIREMENTS.

DURING THE PROJECT, ALL EXISTING VERGE GRASS COVER MUST BE RETAINED IN ITS PRE-EXISTING CONDITION. WATERING MAY BE REQUIRED TO RETAIN GRASS AND TREES IN GOOD CONDITION.

1.2 SUPERVISION

FOR ALL PROJECTS, OTHER THAN MINOR WORKS (I.E. MINOR IN COMPLEXITY AND / OR SCOPE OF WORKS) A SUITABLY QUALIFIED LANDSCAPE ARCHITECT OR HORTICULTURIST MUST BE EMPLOYED TO OVERSEE WORK IN THE VERGE TO ENSURE ALL REQUIREMENTS ARE FOLLOWED. THEY MUST BE PRESENT DURING ANY CULTIVATION / RESTORATION OF THE VERGE WHICH AFFECTS PLANT MATERIAL.

1.3 STORAGE OF CONSTRUCTION MATERIALS

NO CONSTRUCTION MATERIAL IS TO BE STORED ON VERGES OR PUBLIC OPEN SPACES. NO CAR PARKING OR EQUIPMENT PARKING PERMITTED ON VERGES OR ADJACENT PARKLAND.

1.4 SITE ACCOMMODATION

GENERALLY, SITE SHEDS, STORAGE SHEDS, SITE AMENITIES OR BILLBOARDS ARE NOT TO BE ERRECTED ON VERGES OR PUBLIC OPEN SPACES. HOWEVER, AN APPLICATION MAY BE LODGED TOGETHER WITH THE LMP, WITH THE MANAGER, ASSET ACCEPTANCE (AA) FOR THE USE OF VERGES, PUBLIC OPEN SPACES OR UNLEASED TERRITORY LAND AREA. APPROVAL MAY BE GRANTED SUBJECT TO THE DEVELOPER'S AGREEMENT TO COMPLY WITH THE TERMS AND CONDITIONS, AS SPECIFIED BY ASSET ACCEPTANCE ON APPLICATION, FOR A SPECIFIC SITE.

1.5 PROTECTIVE FENCING

1.5.1 EXTENT

ALL TEMPORARY PROTECTIVE FENCES ERRECTED TO PROTECT EXISTING PUBLICLY OWNED LANDSCAPE ASSETS ARE TO BE IN ACCORDANCE WITH THE APPROVED LMP DRAWING. FENCE OFF EXISTING TREES, PLANTINGS AND GRASS TO ENCLOSE THE STREET VERGE, PUBLIC OPEN SPACE OR UNLEASED TERRITORY LAND AREA. THE LOCATION OF PROTECTIVE FENCING WILL BE:
- FENCE EACH TREE ALONG ITS DRIP-LINE (AT A MINIMUM).
- 1.2M FROM THE BACK OF THE KERB FOR THE FULL FRONTAGE OF THE LEASE, ALONG THE PROPERTY BOUNDARY AND ALONG APPROVED DRIVEWAY ACCESS TO ENSURE THAT THE VERGE IS COMPLETELY ENCLOSED
FENCING MUST BE ERRECTED BEFORE THE COMMENCEMENT OF ANY SITE WORKS AND REMOVED AT COMPLETION OF ALL CONSTRUCTION AND COMMENCEMENT OF VERGE RESTORATION. THE FENCE IS TO REMAIN CONTINUOUS THROUGHOUT THE PROJECT.

1.5.2 MATERIALS

USE OF TEMPORARY 1800-MM TALL CONTINUOUS MESH FENCE SUPPORTED BY STEEL POSTS WITH CONCRETE BASES IS MANDATORY. VARIATION FROM THIS REQUIREMENT MUST BE ACCOMPANIED BY WRITTEN AGREEMENT FROM ASSET ACCEPTANCE.

1.5.3 PEDESTRIAN AND TRAFFIC CONSIDERATIONS

EXISTING VERGE FOOTPATHS TO BE MAINTAINED AND MUST REMAIN UNOBSTRUCTED THROUGHOUT THE CONSTRUCTION PERIOD, TO PROVIDE SAFE PEDESTRIAN MOVEMENT AT ALL TIMES. WHERE A CONSTRUCTED FOOTPATH OR CYCLEWAY EXISTS WITHIN THE VERGE, PROTECTIVE FENCING MUST IN ALL CASES BE SET BACK 0.6M FROM EACH SIDE OF THE FOOTPATH / CYCLEWAY TO ENSURE SAFE PASSAGE FOR CYCLISTS AND PEDESTRIANS.

IF THERE IS NO CONSTRUCTED PUBLIC FOOTPATH ON THE VERGE A FENCED CLEARWAY OF 1.8M IN WIDTH MUST BE MAINTAINED FOR THE ENTIRE FRONTAGE OF THE LEASE TO ALLOW FOR PEDESTRIANS AND CYCLISTS.

ACCESS GATES INTO THE SITE MUST SWING INTO THE SITE. THEY MUST NOT BE CAPABLE OF BLOCKING PEDESTRIAN ACCESS ALONG THE VERGE OR VEHICULAR TRAFFIC ON THE ROAD.

1.5.4 ACCESS FOR SERVICE INSTALLATIONS

FENCING MUST NOT BE REMOVED FOR SERVICE INSTALLATION ACROSS THE VERGE UNLESS AA APPROVES THE SERVICE INSTALLATION. REALIGN FENCE TO PROVIDE LANE FOR SERVICE TRENCHING, BUT RE-ERECT FENCE TO ENCLOSE TREES BEFORE TRENCHING COMMENCES. UPON COMPLETION OF TRENCHING, RETURN THE FENCE TO ITS ORIGINAL ALIGNMENT.

1.6 EXISTING TREES

1.6.1 GENERAL

ALL TREES LOCATED IN THE ROAD RESERVE, VERGE, PUBLIC OPEN SPACE AND ON UNLEASED TERRITORY LAND, ARE TO BE RETAINED AND REMAIN UNDAMAGED. WRITTEN AUTHORISATION FROM AA IS REQUIRED IF ANY PLANT MATERIAL IS TO BE DISTURBED AS A PART OF CONSTRUCTION. THIS APPROVAL WILL BE GIVEN AS A PART OF THE LMP EXISTING CANOPY CLEARANCE IS NOT TO BE ALTERED. CROWNS AND APEX OF CANOPIES ARE NOT TO BE ALTERED OR REDUCED. ENSURE LIFTING EQUIPMENT AND LOAD CAN CLEAR HEIGHT AND WIDTH OF TREE CANOPY WITHOUT DAMAGE TO CROWN. ENSURE CONSTRUCTION EQUIPMENT CAN PASS BENEATH LOWEST LIMB, THROUGH DRIVEWAY ACCESS.

1.6.2 TREE ROOT PROTECTION

THE MAJORITY OF TREE ROOTS GROW IN THE TOP 300MM OF SOIL. THESE ARE THE FEEDER ROOTS, OFTEN VERY FINE ROOTS THAT PROVIDE THE TREE WITH WATER, OXYGEN AND NUTRIENTS. THESE ROOTS TYPICALLY GROW BETWEEN THE TREE'S TRUNK TO WELL BEYOND ITS 'DRIP-LINE' (THE CANOPY EDGE). EXCAVATION WITHIN THE DRIP ZONE OF A TREE DOES CONSIDERABLE DAMAGE TO ITS ROOT SYSTEM. IT CAN AFFECT TREE STABILITY AND TREE HEALTH TO SUCH AN EXTENT THAT IT WILL LEAD TO THE DECLINE AND POSSIBLE DEATH OF THE TREE OVER A PERIOD OF YEARS.

EXCAVATION THAT OCCURS WITHIN THE DRIP ZONE OF A TREE MUST BE APPROVED AND IS TO BE RESTRICTED TO ONE SIDE OF THE TREE ONLY. APPROVAL CAN BE SOUGHT BY CONTACTING THE ASSET ACCEPTANCE OFFICER. WHERE EXCAVATION IS APPROVED, THE FOLLOWING MEASURES ARE TO BE ADOPTED FOR TREE PROTECTION:

- DO NOT SEVER LARGE ROOTS (>30 MM DIAMETER) CLOSER THAN HALFWAY FROM THE DRIP-LINE TO THE TRUNK, HAND TRENCHING TO A DEPTH OF 300MM IS REQUIRED TO LOCATE THESE ROOTS BEFORE ANY MECHANICAL TRENCHING IS UNDERTAKEN.
- ALL ROOTS MUST BE CUT CLEANLY WITH EQUIPMENT SPECIFICALLY DESIGNED TO CUT ROOTS CLEANLY OR OTHER SUITABLE PRUNING EQUIPMENT.
- ROOTS EXPOSED DURING EXCAVATION MUST BE PROTECTED FROM DESICCATION. KEEP LIGHTLY WATERED OR COVER WITH HESSIAN, WHICH MUST BE KEPT MOIST.
- WATER TREES THAT HAVE HAD DISTURBANCE IN THEIR ROOT ZONE. THE AMOUNT AND FREQUENCY OF WATER NEEDS TO BE ADAPTED TO THE TREES' REQUIREMENT, BASED ON SEASONAL CONDITIONS.

1.7 SITE ACCESS

SITE ACCESS MUST INITIALLY BE BY THE EXISTING DRIVEWAY ACCESS POINTS FOR THE NEW DEVELOPMENT. IN SOME CASES, CONSIDERATION MAY BE GIVEN TO ALLOWING NEW ACCESS POINTS ACROSS PUBLIC LAND. APPROVAL FOR ALTERNATIVE OR ADDITIONAL ACCESS POINTS MUST BE OBTAINED THROUGH ASSET ACCEPTANCE. IN SUCH CASES, THE SITE ACCESS MUST BE POSITIONED MIDWAY BETWEEN EXISTING TREE TRUNKS. THIS, HOWEVER, IS DEPENDENT ON THE DISTANCE BETWEEN TREES. IN SOME CASES TREES MAY BE TOO CLOSE TO ALLOW ACCESS. ACCESS IS NOT TO OCCUR ON TWO SIDES OF A TREE. CONSTRUCTION TECHNIQUE SHOULD MINIMISE THE NEED FOR EXCAVATION ACROSS THE VERGE. ACCESS ACROSS ADJOINING PUBLIC OPEN SPACES, PARKS, RECREATIONAL RESERVES, ADJOINING PROPERTIES, E.G. SCHOOL PLAYGROUNDS, COMMUNITY HALLS ETC. IS PROHIBITED WITHOUT WRITTEN AUTHORISATION FROM ASSET ACCEPTANCE.

1.8 SERVICES AND UTILITIES

1.8.1 SERVICE CONNECTION TO SITE

THE DEVELOPER MUST COORDINATE ALL SERVICE APPROVALS THAT ARE PROPOSED WITHIN THE ROAD RESERVE, PUBLIC OPEN SPACE AND UNLEASED TERRITORY LAND. APPROVAL FOR TRENCH LOCATIONS MUST BE OBTAINED THROUGH ASSET ACCEPTANCE AND THE RELEVANT CITY MANAGEMENT AGENCIES AT THE PLANNING AND DESIGN STAGES. IN MOST SITUATIONS, EXCAVATION MUST NOT OCCUR WITHIN THE VERGE. WHERE EXCAVATION IS ALLOWED THE FOLLOWING REQUIREMENTS APPLY:
- BORING OR TUNNELING BELOW THE ROOT ZONE MUST BE UNDERTAKEN IF THE EXCAVATION IS WITHIN THE CANOPY SPREAD OF ANY TREE.
- SHARED TRENCHING FOR SERVICES IS MANDATORY.
- NUMBER OF VERGE CROSSINGS TO BE MINIMISED.
- EXCAVATION FOR SERVICES ACROSS VERGE (I.E. AT RIGHT ANGLES TO KERB, PROPERTY LINE) IS TO BE MIDWAY BETWEEN THE TREE TRUNKS.
- ANY SERVICE INSTALLATION WITHIN 5.0M OF AN EXISTING TREE TRUNK, OR WITHIN THE TREE CANOPY REQUIRES PRIOR APPROVAL.
NOTE: A TEMPORARY TRAFFIC MANAGEMENT PLAN (TTM) AND A ROADS AND PUBLIC PLACES OPENING PERMIT (RPOP) MUST BE OBTAINED FROM ROADS ACT BEFORE ANY EXCAVATION IS UNDERTAKEN ON TERRITORY LAND.

1.8.2 SERVICES AND UTILITIES ALONG ROAD RESERVES

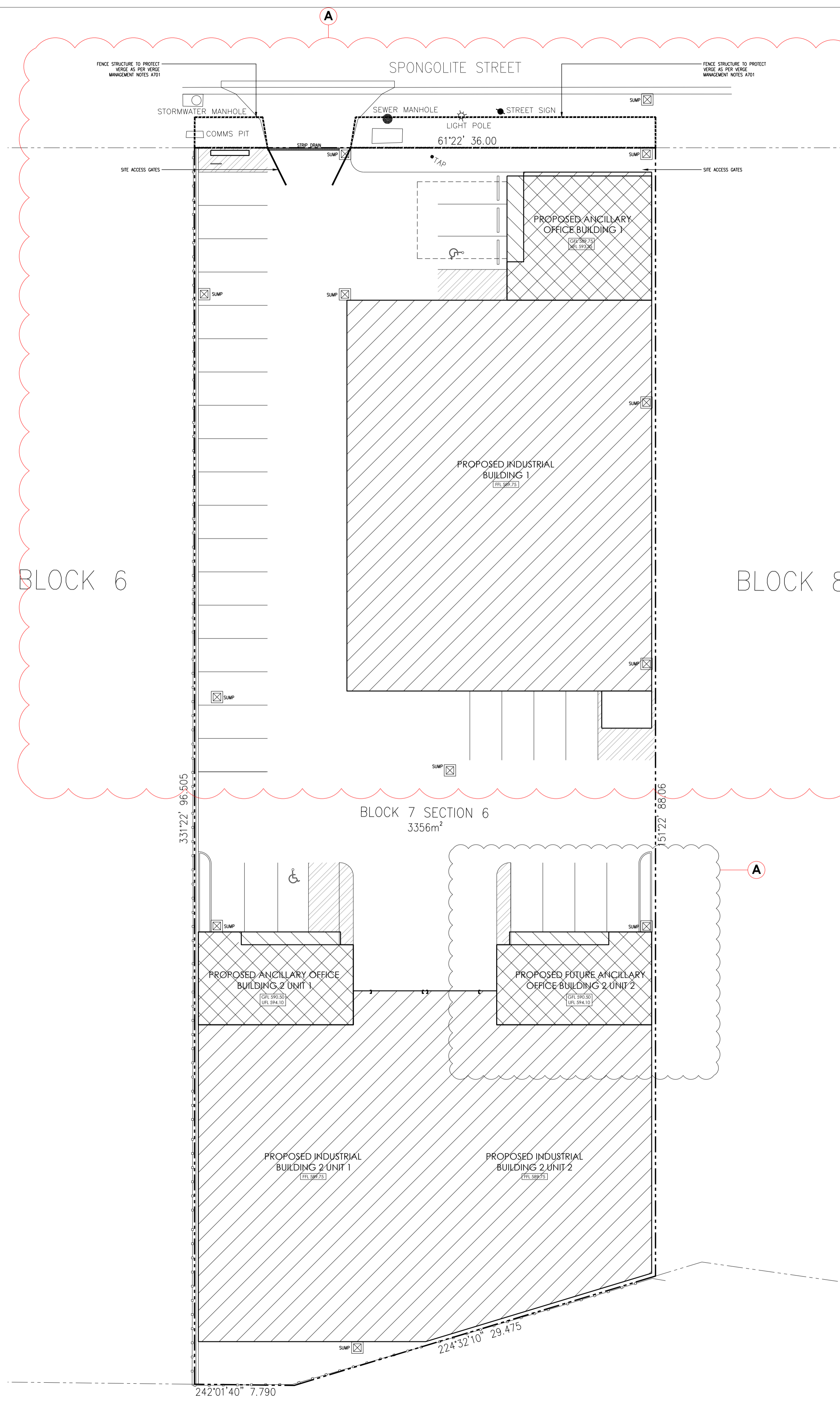
THE DEVELOPER MUST COORDINATE ALL SERVICE APPROVALS. AA APPROVAL FOR TRENCH LOCATIONS MUST BE OBTAINED AT THE PLANNING AND DESIGN STAGE. NEW OR UPGRADED SERVICES PARALLEL TO KERB OR PROPERTY LINE ARE TO BE INSTALLED ON THE FOLLOWING ALIGNMENTS (SUBJECT TO APPROVAL) TO MINIMISE DAMAGE/DISTURBANCE TO ROOTS/ROOT ZONE.
- WITHIN ROAD PAVED AREA.
- BORING OR TUNNELING BELOW THE ROOT ZONE IS TO BE UNDERTAKEN IF THE EXCAVATION REQUIRED IS WITHIN THE CANOPY SPREAD OF ANY TREE.
- BELOW EXISTING FOOTPATH ON THE PROPERTY LINE.
- IMMEDIATELY BEHIND KERB.

1.9 IRRIGATION

CUPP ACTIVELY DISCOURAGES THE USE OF IN-GROUND IRRIGATION SYSTEMS, AND GENERALLY DOES NOT ENDORSE THEIR INSTALLATION IN THE VERGE. HOWEVER, A SYSTEM OF QUICK COUPLERS AT THE LEASE EDGE OF THE VERGE MAY BE INSTALLED, SUBJECT TO CUPP'S APPROVAL OF THE IRRIGATION PLAN.

1.10 VERGE INFRASTRUCTURE CONDITION AND RESTORATION

CONTACT THE ASSET ACCEPTANCE OFFICER TO NOTIFY COMMENCEMENT OF VERGE RESTORATION AND AT THE COMPLETION OF WORK. AT THE COMPLETION OF CONSTRUCTION, VERGES SHOULD HAVE ESTABLISHED DRYLAND GRASS COVER. TOPSOIL IS NOT TO BE REMOVED AND THE SOIL LEVEL MUST NOT BE CHANGED. IF THE STANDARD OF GRASS COVER ON THE VERGE IS TO BE IMPROVED, THE FOLLOWING REQUIREMENTS APPLY:
- LIGHTLY CULTIVATE THE SOIL TO 25 MM TO 50 MM DEPTH (50 MM MAXIMUM TO MINIMISE DAMAGE TO TREE ROOTS). CULTIVATE ONLY IN ONE DIRECTION. AVOID MAJOR ROOTS, AND KEEP A MINIMUM OF 1M AWAY FROM TREE TRUNKS.
- ADD 'B TYPE' TOPSOIL AT 25 MM TO 50 MM DEPTH. LEVEL THE TOPSOIL AND ADD NPK FERTILISER (EQUIVALENT TO MULTIGRO) AT 40G/M2.
- LAY TURF OR SOW SEED OF SUITABLE DROUGHT TOLERANT SPECIES AS SPECIFIED IN THE DEPARTMENT OF URBAN SERVICES (DUS) STANDARDS AND SPECIFICATIONS FOR URBAN INFRASTRUCTURE. KEEP MOIST DURING ESTABLISHMENT.
IF DAMAGE DOES OCCUR TO TREES OR OTHER PLANTINGS ON STREET VERGES OR PUBLIC OPEN SPACES, THEY ARE TO BE REPLACED OR REHABILITATED TO CUPP'S SATISFACTION AT THE DEVELOPER'S EXPENSE. RESTORATION WORK IS TO BE APPROVED BY CUPP AND CARRIED OUT BY APPROVED OPERATORS.



AMENDMENTS:

REV	DESCRIPTION	DATE
A	BUILDING 1 REVISED, SECOND DRIVEWAY REMOVED, BIN ENCLOSURE & PARKING ADJUSTED, INTERNAL FITOUT REMOVED FROM BUILDING 2 UNIT 2.	10.11.2016

DA SUBMISSION
 NOT FOR CONSTRUCTION

BLOCK	7
SECTION	6
ADDRESS	14 SPONGOLITE STREET
SUBURB	BEARD
STATE	ACT
SCALE	1:200 @ A1
DRAWING	VERGE MANAGEMENT PLAN
PROJECT	CUDA - BEARD
CLIENT	MARIO CUDA

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DRAWN	GD/JW
REVISION	A
DATE	10.11.2016
PROJECT No	1605
PRINT DATE	22.11.2016
DWG No	A701

MAINTENANCE SCHEDULE MONTHLY

- TURN OVER STABILISED CONSTRUCTION ENTRY MATERIAL AND TOP UP AS REQUIRED.

WEEKLY

- CHECK AND REINSTATE SILT CONTROL FENCES.

DAILY

- SWEEP AND REMOVE ANY DIRT TRACKED ONTO PUBLIC ROADS BY VEHICLES. ALL NECESSARY STEPS SHOULD BE TAKEN THAT ARE PRACTICAL AND REASONABLE TO MINIMISE DUST POLLUTION ON LAND DEVELOPMENT AND CONSTRUCTION SITE.

DURING/AFTER WET WEATHER

- LIMIT CONSTRUCTION VEHICLE ACCESS TO SITE DURING AND IMMEDIATELY FOLLOWING WET WEATHER.

DUST MANAGEMENT

- A WATER CART OR SUFFICIENT WATER SPRAYS SHALL BE MADE AVAILABLE IN DRY AND WINDY CONDITIONS TO MAINTAIN DUST SUPPRESSION.
- WATER SHALL BE APPLIED TO SUPPRESS DUST FROM OPEN EARTHWORKS AS WELL AS UNPROTECTED STOCKPILES.
- STOCKPILES SHALL BE EITHER COVERED OR SEEDED TO PREVENT DUST.
- AREAS OF COMPLETED EARTHWORKS SHALL BE PROGRESSIVELY REHABILITATED WITH DRYLAND GRASS AND FENCED OFF AS SOON AS PRACTICABLE TO PREVENT FURTHER EROSION.
- THE CONTRACTOR SHALL CONTACT ACTEWAGL TO OBTAIN AN EXEMPTION TO USE WATER ON THE SITE.

ACCESS

ACCESS POINT SHOULD BE STABILISED TO THE FOLLOWING CRITERIA:

- STABILISED PAD OF AGGREGATE UNDERLAIN WITH FILTER CLOTH.
- AGGREGATE SIZE 50mm AGGREGATE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- THICKNESS: NOT LESS THAN 150mm.
- WIDTH: 3M MINIMUM BUT NOT LESS THAN THE FULL WIDTH OF VEHICLE ACCESS.
- LENGTH: AS REQUIRED, BUT NOT LESS THAN 1.5M
- FILTER CLOTH: TO BE PLACED OVER THE ENTIRE AREA TO BE COVERED WITH AGGREGATE.

THE LOCATION OF ANY WASH DOWN AND BRICK/PAVING CUTTING AREAS ARE LOCATED UPSTREAM OF THE SEDIMENT FENCE WITH TRENCHING OR SMALL PONDS TO COLLECT WASTE WATER. THE KERB IS TO BE SWEEP DAILY, AND THE SEDIMENT IS TO BE COLLECTED AND RETURNED TO SITE. THE DUST FROM THE SITE IS TO BE MANAGED TO PREVENT SIGNIFICANT ADVERSE IMPACT ON NEIGHBOURING SITES. REGULAR MONITORING AND MAINTENANCE OF THE ABOVE POLLUTION CONTROLS ARE TO BE UNDERTAKEN.

GENERAL NOTES

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE ENGINEERS DETAILS. CONFIRM STEEL SIZES PRIOR TO CONSTRUCTION. ALL MATERIALS AND FINISHES SHALL BE APPROVED BY THE OWNERS. VARIATIONS TO PLAN AND SPECIFICATION SHALL NOT BE MADE WITHOUT THE CONSENT OF THE OWNERS. ALL DIMENSIONS SHALL BE VERIFIED ON SITE. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BCA. DO NOT SCALE OFF DRAWINGS. FIRE PRECAUTIONS DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH SECTION E CLAUSE E1.6 OF THE BCA. PROVIDE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH SECTION E CLAUSE E1.6 OF THE BCA. FIRE EXTINGUISHERS SHALL COMPLY WITH AS 2444. ALL MATERIALS AND ASSEMBLIES SHALL COMPLY WITH C1.10 OF THE BCA. ALL WET AREA FLOORS SHALL BE GRADED AND DRAINED TO FLOOR WASTES TO PLUMBING CODES AND THE BCA. PROVIDE IMPERVIOUS WALL TO FLOOR JOINT TO THE PERIMETER OF ALL WET AREAS. WATERPROOFING SHALL COMPLY WITH C1.11.7 OF THE BCA. CONFIRM LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION.

EGRESS

REQUIRED PATHS OF EXIT BE IN ACCORDANCE WITH PART D1.4 OF THE BCA. THE UNOBSTRUCTED HEIGHT MUST BE NO LESS THAN 2.0M EXCEPT AT DOORWAYS WHERE THE HEIGHT MAY BE REDUCED TO 1.98M. THE UNOBSTRUCTED WIDTH OF EACH EXIT OR PATH OF TRAVEL TO AN EXIT, EXCEPT AT DOORWAYS MUST BE 1.0M MINIMUM. REQUIRED EXIT SIGNS SHALL BE IN ACCORDANCE WITH PART E4 OF THE BCA. PROVIDE EMERGENCY ILLUMINATED EXIT SIGNS TO REQUIRED EXITS TO AS 2293.1. EXITS MUST NOT BE BLOCKED AT THE POINT OF DISCHARGE, AND WHERE NECESSARY SUITABLE BARRIERS MUST BE PROVIDED TO PREVENT VEHICLES FROM BLOCKING EXITS. OPERATION OF LATCHES MUST BE IN ACCORDANCE WITH PART D2.1 OF THE BCA. A REQUIRED EXIT DOOR MUST BE READILY OPENABLE WITHOUT A KEY FROM THE SIDE THAT FACES THE PERSON SEEKING EGRESS BY A SINGLE HAND DOWNWARD ACTION OR PUSHING ACTION ON A SINGLE DEVICE WHICH IS LOCATED BETWEEN 900MM AND 1200MM FROM THE FLOOR.

LIGHTING

INSTALL EMERGENCY LIGHTING IN ACCORDANCE WITH AS 2293.1 AND PART E4.2 OF THE BCA INCLUDING DIRECTIONAL SIGNAGE (NOT SHOWN ON PLANS) TO BCA REQUIREMENTS. PROVIDE ARTIFICIAL LIGHTING TO AS 1680.

ACCESSIBILITY

ACCESS FOR PEOPLE WITH DISABILITIES SHALL COMPLY WITH PART D3 OF THE BCA AND AS 1428.1. DISABLED PERSON TOILETS SHALL COMPLY WITH AS 1428.1. DISABLED PERSON WC SHALL HAVE ADEQUATE FACILITIES FOR THE DISPOSAL OF SANITARY TOWELS AND A SHELF MUST ALSO BE PROVIDED. DISABLED PERSON CAR PARKING SHALL BE IN ACCORDANCE WITH D3.5.

TACTILE INDICATORS

PROVIDE TACTILE INDICATORS IN ACCORDANCE WITH D3.8 OF THE BCA AND AS 1428.1 AT THE ENTRANCE TO THE CARPARK AREA AND AT THE APPROACH TO THE STAIRWAY. THE BUILDING ACCESS SHALL HAVE A SLIP RESISTANT SURFACE. PROVIDE BRAILLE AND TACTILE SIGNS TO IDENTIFY SANITARY FACILITIES.

SARKING

INSTALL ROOF SARKING TO AS/NZS 4200 PARTS 1 AND 2.

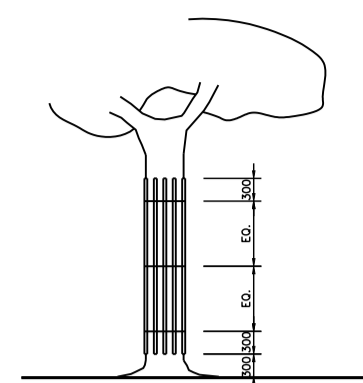
IMPORTANT NOTE

THIS PLAN IS PREPARED FOR THE CLIENT FROM A COMBINATION OF FIELD SURVEYS AND EXISTING RECORDS PROVIDED BY THE CLIENT. SERVICES AND INFORMATION SHOWN HEREON HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. IF NOT ABLE TO BE LOCATED, SERVICES HAVE BEEN PLOTTED FROM RECORDS OF RELEVANT AUTHORITIES WHERE AVAILABLE AND HAVE BEEN NOTED ACCORDINGLY ON THIS PLAN. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, RELEVANT AUTHORITY SHOULD BE CONTACTED FOR THE POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES AND DETAILED LOCATION OF ALL SERVICES. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

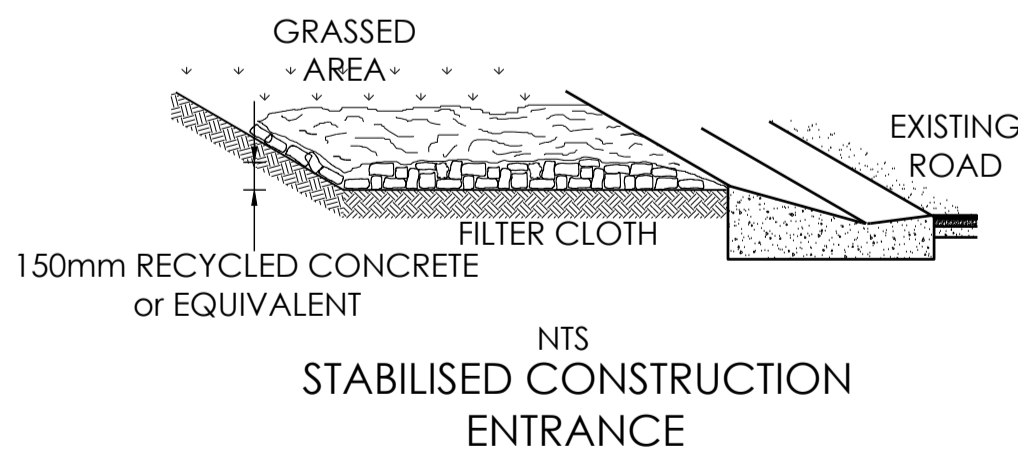
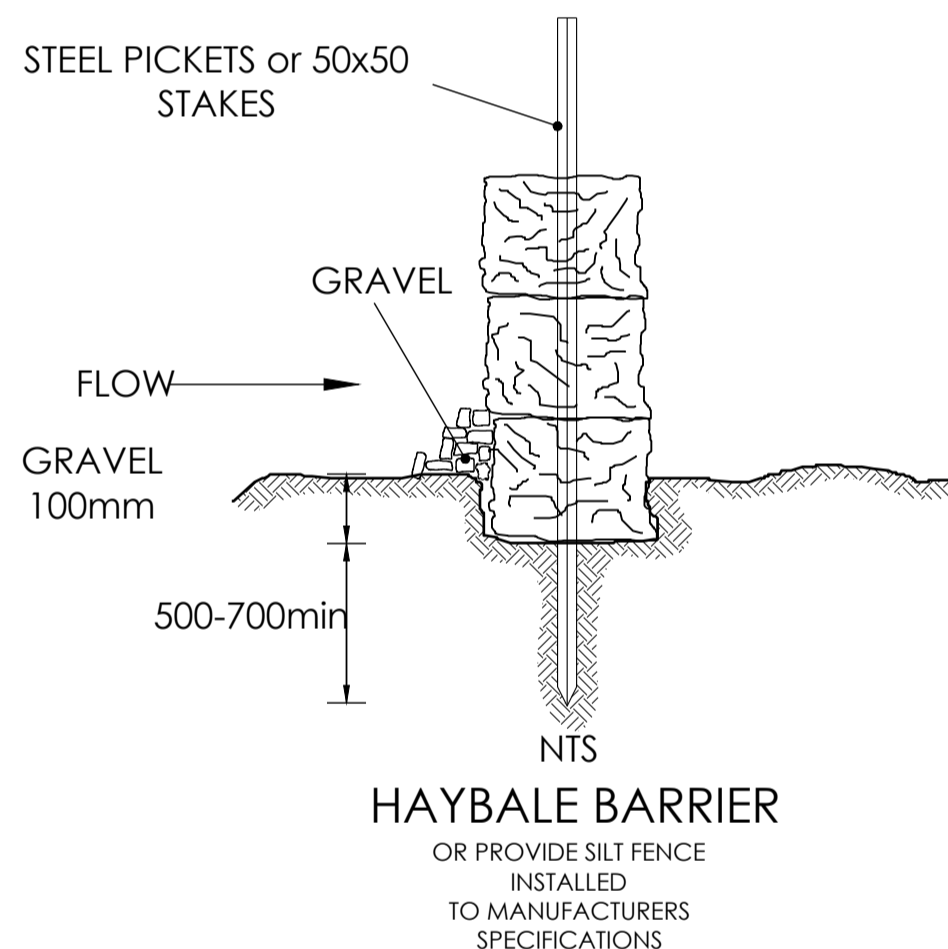
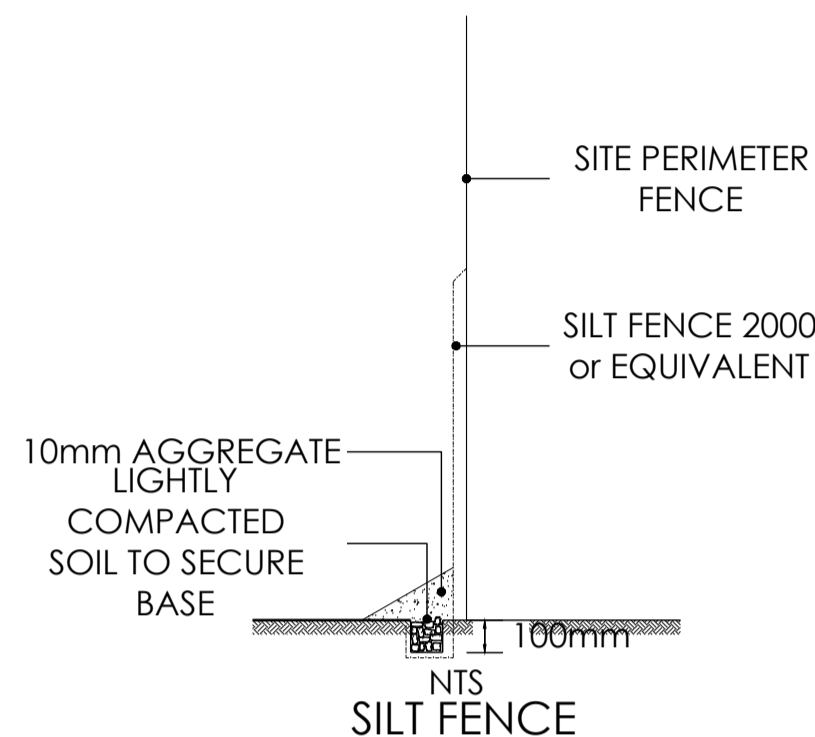
STAIRS

GOINGS AND RISERS SHALL BE IN ACCORDANCE WITH PART D OF THE BCA. NOMINAL DIMENSIONS OF RISERS AND TREAD MUST CONSISTANT FOR EACH FLIGHT OF STAIRS AND THERE MUST BE NO MORE THAN 18 RISERS PER FLIGHT. RISER AND GOINGS SHALL BE IN ACCORDANCE WITH THE BCA. RISER 190 MAX, 115 MIN. GOINGS 355 MAX 250 MIN. QUANTITY (2xRISER+GOING) 700MAX, 550 MIN. STAIR SHALL BE BALUSTRADED WHERE HEIGHT TO FINISHED GROUND LEVEL EXCEEDS 1.0M. BALUSTRADE SHALL BE 1000 HIGH AND NOT LESS THAN 865MM ABOVE STAIR NOSINGS. NO OPENING IN BALUSTRADE MUST ALLOW A 125MM SPHERE TO PASS THROUGH. LOADING FORCES MUST BE IN ACCORDANCE WITH AS 1170.1 WHERE HEIGHT OF STAIR IS GREATER THAN 570 ABOVE FINISHED GROUND LEVEL. A LANDING IN ACCORDANCE WITH CLAUSE 3.9.1.3 SHALL BE PROVIDED.

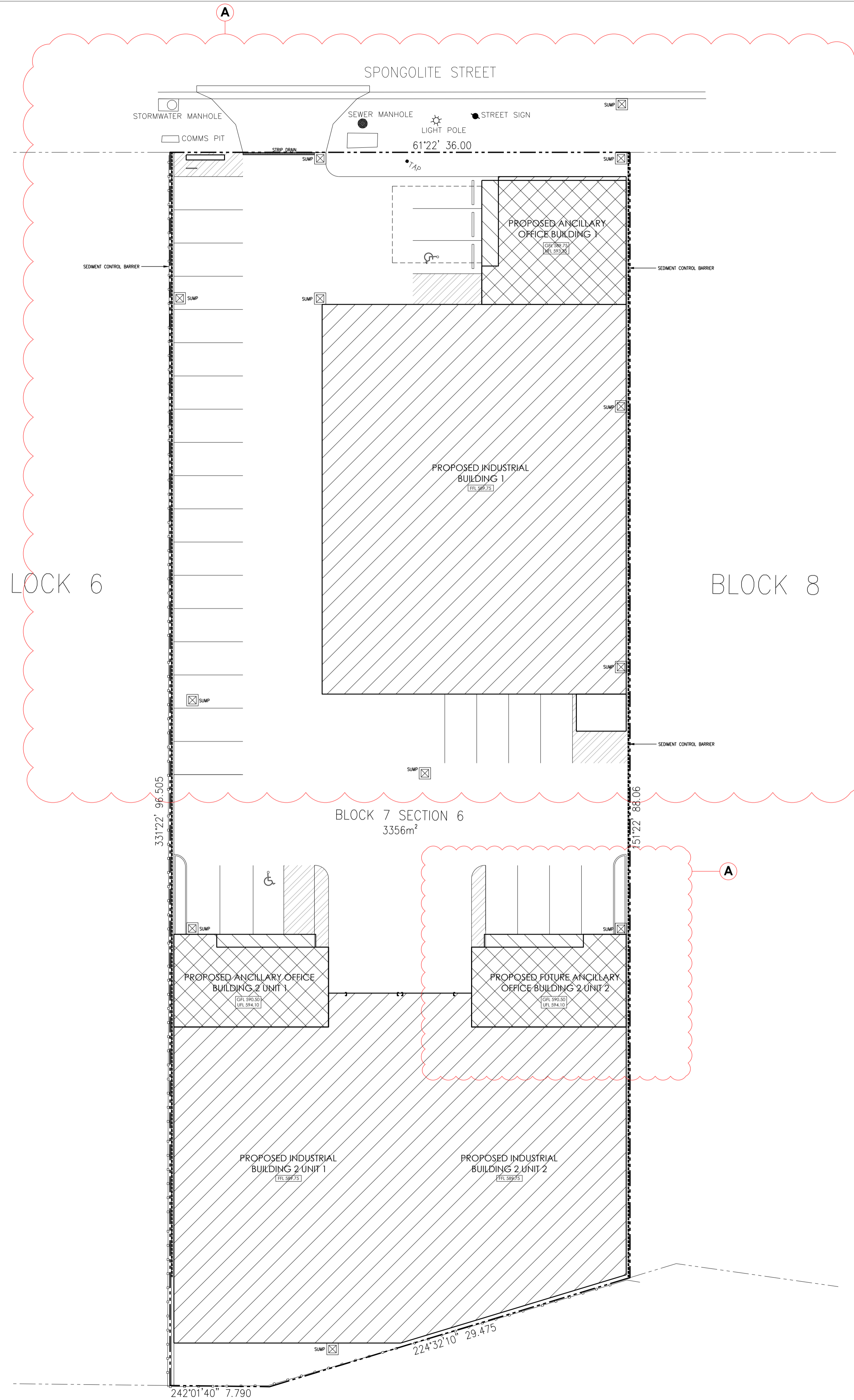
SEDIMENT & EROSION CONTROL PLAN
1:200 @ A1



- PROTECTIVE BATTEN FOR EXISTING TREES
- NO SITE SHEDS, BUILDINGS OR VEHICLE PARKING WITHIN THE ROOT ZONE (DRP ZONE +2)
 - TEMPORARY PROTECTIVE ENCLOSURE IS REQUIRED AROUND THE ROOT ZONE OF THE TREE. PROTECTIVE ENCLOSURE SHOULD CONSIST OF 50MM PICKETS WITH ORANGE PLASTIC WOUND TRENCHING MATERIALS.
 - WHERE PLANT OPERATIONS IN CLOSE PROXIMITY TO TREES IS UNAVOIDABLE, PROTECTIVE LEADING WITH TRENCH BATTENS SHOULD BE PLACED AROUND TRUNK OF TREES. REFER TO D3.9.1.4
 - THERE SHOULD BE NO EXCAVATION FOR SERVICES OR FOOTINGS WITHIN 2.8m OF THE TREE TRUNK.
 - EXCAVATION REQUIRED WITHIN THE DRP ZONE OF TREES MUST BE COMPLETED BY HAND.

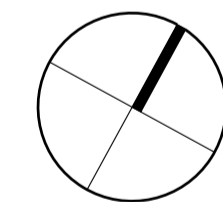


DESIGN CRITERIA
AGGREGATE SIZE-USE 50mm AGGREGATE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT
THICKNESS - NOT LESS THAN 150mm
WIDTH - 6mm MINIMUM BUT NOT LESS THAN THE FULL WIDTH OF VEHICLE ACCESS
LENGTH - AS REQUIRED BUT NOT LESS THAN 1.5m
FILTER CLOTH TO BE PLACED OVER THE ENTIRE AREA TO BE COVERED WITH AGGREGATE
BIDIM U14 OR EQUIVALENT FILTER CLOTH TO BE USED



AMENDMENTS:

REV	DESCRIPTION	DATE
A	BUILDING 1 REVISED, SECOND DRIVEWAY REMOVED, BIN ENCLOSURE & PARKING ADJUSTED, INTERNAL FITOUT REMOVED FROM BUILDING 2 UNIT 2.	10.11.2016



DA SUBMISSION
NOT FOR CONSTRUCTION

BLOCK	7
SECTION	6
ADDRESS	14 SPONGOLITE STREET
SUBURB	BEARD
STATE	ACT
SCALE	1:200 @ A1
DRAWING	SEDIMENT & EROSION CONTROL
PROJECT	CUDA - BEARD
CLIENT	MARIO CUDA

DRAWN	GD/JW
REVISION	A
REVISION	10.11.2016
DATE	PROJECT NO. 1605
PRINT DATE	22.11.2016
DWG NO.	A702

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