



DURRELL DESIGN GROUP, PLLC

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JACKSON, MISSISSIPPI 39216

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ADDENDUM NUMBER TWO (2)

**2018 BOND PROJECT: RESTROOM IMPROVEMENTS FOR
LANIER HIGH SCHOOL**

JACKSON PUBLIC SCHOOL DISTRICT
JACKSON, MISSISSIPPI



January 17, 2020

TITLE SHEET	1
ADDENDUM	4
ATTACHMENTS	32
TOTAL NUMBER OF PAGES	37

THIS ADDENDUM, WHICH CONTAINS REVISIONS TO THE WORK CONTAINED IN THE ORIGINAL DRAWINGS AND SPECIFICATIONS DATED **DECEMBER 02, 2019** SHALL BECOME A PART OF SUCH DRAWINGS AND SPECIFICATIONS AS IF BOUND THEREIN, OTHER REQUIREMENTS OF DRAWINGS AND SPECIFICATIONS RELATING TO ITEMS INVOLVED SHALL REMAIN AS SPECIFIED.

THE ABOVE NAMED CONTRACT DOCUMENTS ARE HEREBY MODIFIED, CORRECTED AND/OR SUPPLEMENTED BY THIS ADDENDUM AS FOLLOWS:

FOR INFORMATION ONLY

1. The Bid Opening is at 2pm on **January 23, 2020** at the Business Office of the Jackson Public School District, 662 South President Street, Jackson, Mississippi, 39201.

PERTAINING TO THE SPECIFICATIONS:

Item 1: TABLE OF CONTENTS - APPENDIX

ADD Attached Owner provided report – Lanier High School Sewer Inspection Report.

ADD Attached Owner provided Existing Foundation Plan.

Item 2: SECTION 003000 – PROPOSAL FORM

DELETE Section in its entirety and **REPLACE** with Attached Section 003000 – Proposal Form.

Item 3: SECTION 005000 – JPS ADDENDUM

DELETE wording that reads as “Jim Hill” **REPLACE** with “Lanier”.

Item 4: SECTION 011000 – SUMMARY OF WORK

1. Paragraph 1.03 Description of Work. **DELETE** Items 1 and 2 in its entirety and **REPLACE** with the following:
 1. Field Verification and visual inspection of existing project conditions;
 2. Scope of Work (See plans and specifications for additional information)
 - a. Selective Demolition of Existing Walls, Finishes Fixtures and the provision of new work that includes, but may not be limited to, new walls, finishes with plumbing and electrical improvements.
2. Paragraph 1.06.A.1.c. Critical work Sequence. **DELETE** items “a through e” in its entirety and **REPLACE** with the following:
 - a. Notice to Proceed April 1, 2020
 - b. Substantial Completion July 17, 2020
 - c. Phasing of Work. It is the Owner’s intent to have all base bid work as first priority, assuming alternate scopes are approved. In base bid scope, Toilet Rooms 101 and 104 are the highest priority. All work related to Alternates, Section 012300 should be completed once high priority items are completed. Contractor to provide an action plan that highlights project execution and performance approach for Architect’s and Owner review.

Item 5: SECTION 012100 – ALLOWANCE. Paragraph 1.05

In paragraph 1.04 Allowance Schedule, **ADD** the following:

“B. Janitorial Allowance: Include the stipulated sum/price of \$12,000.00 for the use or Additional hours for the district’s custodial staff.”

Item 6: SECTION 012300 – ALTERNATES

DELETE Section in its entirety and **REPLACE** with Attached Section 012300 – Alternates.

Item 7: SECTION 015000 – TEMPORARY FACILITIES AND CONTROLS

CLARIFICATION. JPS will provide water and electrical at no charge, within reason, as long as the Contractor conveys said water and power from the outlet to the point of use. Power other than normal line voltage must be provided by the Contractor’s generator.

Item 8: SECTION 048100 – UNIT MASONRY ASSEMBLIES. PART 2 PRODUCT

ADD the following,

“2.04 STRUCTURAL GLAZED BLOCK

A. Manufacturers:

1. Elgin Butler www.elginbutler.com
2. Substitutions: See section 01630 - Substitutions and Product Options.

B. Structural Glazed Block

1. Color, Texture and Size: Match Existing.”

Item 9: SECTION 093000 – TILE

In Paragraph 2.01 TILE

DELETE word that read “POR” and **REPLACE** CT

DELETE word that read “POR1” and **REPLACE** CT1

DELETE word that read “POR2” and **REPLACE** CT2

ADD the following:

“C. Glass Tile (CT3) Manufacturer Basis of design: Crossville

1. Glass Blox 1”x1” mounted on 12”x12” sheet
2. Color: G107 Sherry”.

Item 10: SECTION 096700 – RESINOUS FLOORING

DELETE Section in its entirety and **REPLACE** with Attached Section 096700 – Resinous Flooring.

Item 11: SECTION 099000 – PAINTS AND COATINGS.

In Paragraph 2.04 PAINT SYSTEM - INTERIOR

ADD the following:

“A. Glazed Block- Eggshell Finish, 3 Coats, Pre-Catalyzed Water based epoxy over adhesion primer.

1. One coat Primer
 - a. Sherwin Williams; Extreme Bond Primer, B51W00150, (3 mils wet, 1 mil dry).
2. Epoxy: Two coats
 - a. Sherwin Williams; Pro Industrial Pre-Catalyzed Water Based Epoxy, K45 W 151, (4 mils wet, 1.5 mils dry per coat).”

Item 12: SECTION 10400 – IDENTIFICATION DEVICES. Paragraph 2.00 ROOM SIGN TYPES

1. **DELETE** wording that read “Quantity 6” **REPLACE** with “Quantity 14”.

Item 13: SECTION 10800 – TOILET ACCESSORIES. Paragraph 2.05A

1. **CLARIFICATION** GB-1 is to be 18” long GB-3 to be 42” long.
2. **ADD** wording that read “M2 Mirror 24”X72” Bobrick B-290 2476

3. **DELETE** wording that read “TTD Toilet Tissue Dispenser Bobrick B-2730 **REPLACE** with “TPH Toilet Paper Holder B-2740”.
4. **DELETE** wording that reads as “B-818615” and **REPLACE** with “B-2112”.
5. **DELETE** wording that reads as “B-2620” and **REPLACE** with “B-262”.
6. **ADD** wording that read “SND Sanitary Napkins Disposal Bobrick B-270”.

PERTAINING TO THE DRAWINGS:

ARCHITECTURAL

Item 14: SHEET R101 – FIRST FLOOR - EXISTING

DELETE Drawing R101 in its entirety and **REPLACE** with attached R101R.

Item 15: SHEET R102 – SECOND FLOOR- EXISTING

DELETE Drawing R102 in its entirety and **REPLACE** with attached R102R.

Item 16: SHEET R103 – EXISTING PLANS AND PHOTOS – FIRST FLOOR

DELETE Drawing R103 in its entirety and **REPLACE** with attached R103R.

Item 17: SHEET R104 – EXISTING PLANS AND PHOTOS – SECOND FLOOR

DELETE Drawing R104 in its entirety and **REPLACE** with attached R104R.

Item 18: SHEET AD101 – ENLARGED DEMOLITION PLANS

DELETE Drawing AD101 in its entirety and **REPLACE** with attached AD101R.

Item 19: SHEET AD102 – ENLARGED DEMOLITION PLANS

DELETE Drawing AD102 in its entirety and **REPLACE** with attached AD102R.

Item 20: SHEET A101 – ENLARGED NEW PLANS

DELETE Drawing A101 in its entirety and **REPLACE** with attached A101R.

Item 21: SHEET A102 – ENLARGED NEW PLANS

DELETE Drawing A102 in its entirety and **REPLACE** with attached A102R.

Item 22: SHEET A103 – FINISH SCHEDULE

DELETE Drawing A103 in its entirety and **REPLACE** with attached A103R.

Item 23: SHEET A104 – INTERIOR ELEVATIONS

DELETE Drawing A104 in its entirety and **REPLACE** with attached A104R.

PLUMBING

Item 24: SHEET P101 – EXISTING 1ST FLOOR PLAN PLUMBING

DELETE Drawing P101 in its entirety and **REPLACE** with attached P101.

Item 25: SHEET P102 – EXISTING 2ND FLOOR PLAN PLUMBING

DELETE Drawing P102 in its entirety and **REPLACE** with attached P102.

Item 26: SHEET P401 – ENLARGED NEW 1ST FLOOR PLANS PLUMBING

DELETE Drawing P401 in its entirety and **REPLACE** with attached P401.

Item 27: SHEET P402 – ENLARGED NEW 2ND FLOOR PLANS PLUMBING

DELETE Drawing P402 in its entirety and **REPLACE** with attached P402.

ELECTRICAL

Item 28: SHEET E101 – ELECTRICAL SYMBOLS, LIGHTING SCHEDULE

DELETE Drawing E101 in its entirety and **REPLACE** with attached E101.

Item 29: SHEET E201 – OVERALL FIRST AND SECOND FLOOR LOCATION PLANS

DELETE Drawing E201 in its entirety and **REPLACE** with attached E201.

Item 30: SHEET E202 – ELECTRICAL FLOOR PLANS ADA TOILET RENOVATIONS

DELETE Drawing E202 in its entirety and **REPLACE** with attached E202.

END OF ADDENDUM ITEMS

BUFORD PLUMBING COMPANY, INC.

MECHANICAL CONTRACTORS
P.O. BOX 8601
JACKSON, MISSISSIPPI 39284-8601



(601) 372-7676
Fax 373-4014

30 September, 2019

Re: Lanier High School Sewer Inspection Report

General Observations

1. All Water Closet Carriers are rusted beyond refurbishment and need to be replaced. Carriers are horizontal type with waste piping running above the floor.
2. The 4" sanitary sewer piping serving the kitchen area is misaligned in the crawlspace where it penetrates the grade beam and a Fernco coupling is busted (see note 1 on the plans). Sewage is running into the crawlspace. The busted piping needs to be fixed so that the crawlspace can dry out before reworking the back-falling sewer through the grade beam.
3. A portion of the sanitary sewer piping under the building has been replaced with PVC. Most of the drain piping in the crawlspace is in serviceable condition.
4. The 6" sanitary sewer piping outside of the building and to the manhole has been replaced with PVC and is in good condition.
6. The Cast Iron piping in the plumbing chases serving the toilet areas is very deteriorated and in some cases leaking and broken. Most, if not all of this piping needs to be replaced.
7. All lavatory and urinal arms need to be replaced.
8. Wall cleanouts need to be installed in accessible plumbing chases.

Toilet Area 1

1. Plumbing piping in crawl space serving the restrooms is intact.
2. All water closet carriers need to be replaced.
3. Waste piping at lavatories is broken inside the wall. The wall will have to be cut to repair or replace the piping.

Toilet Area 2

1. Plumbing piping in crawl space serving the restrooms is intact.
2. All water closet carriers need to be replaced.

Toilet Area 3 & 4

1. Plumbing waste piping serving the restrooms is intact.
2. All water closet carriers need to be replaced
3. No crawlspace access to this location. May be a slab on grade.

Toilet Area 5

1. Plumbing piping in crawl space serving the restrooms is intact.
2. All water closet carriers need to be replaced.

Toilet Area 6

1. Above grade waste & vent piping serving restroom is intact.
2. All water closet carriers need to be replaced.
3. Far left lavatory not working, and far right lavatory is missing.
4. Water closet in single restroom is floor mount.

Toilet Area 7

1. Above grade waste & vent piping serving restroom is intact with the exception of a hole in a waste stack. It looks to have been made for cleanout purposes.
2. All water closet carriers need to be replaced.
3. Far left and far right lavatories are missing.
4. Water closet 2nd from left is missing.
5. Single restroom water closet and lavatory not working.

Toilet Area 8

1. Above grade waste & vent piping serving restroom needs to be replaced. Cast iron piping serving toilets in chase is badly deteriorated and leaking.
2. All water closet carriers need to be replaced.

Toilet Area 9

1. Above grade waste & vent piping serving restroom needs to be replaced. Cast iron piping serving toilets in chase is badly deteriorated and leaking.
2. All water closet carriers need to be replaced.
3. Far left water closet does not work.
4. Single restroom water closet does not work.

NOT FOR
 CONSTRUCTION

Project
**JPS 2018 BOND PROJECTS
 LANIER HIGH SCHOOL RESTROOM
 IMPROVEMENTS**
 833 MAPLE STREET
 JACKSON, MS 39203

Project Number: 19.003
 Date: 2019.08.21
 Drawn by: AS
 Checked by: GD
 Revisions
 1 _____
 2 _____
 3 _____

Sheet Title

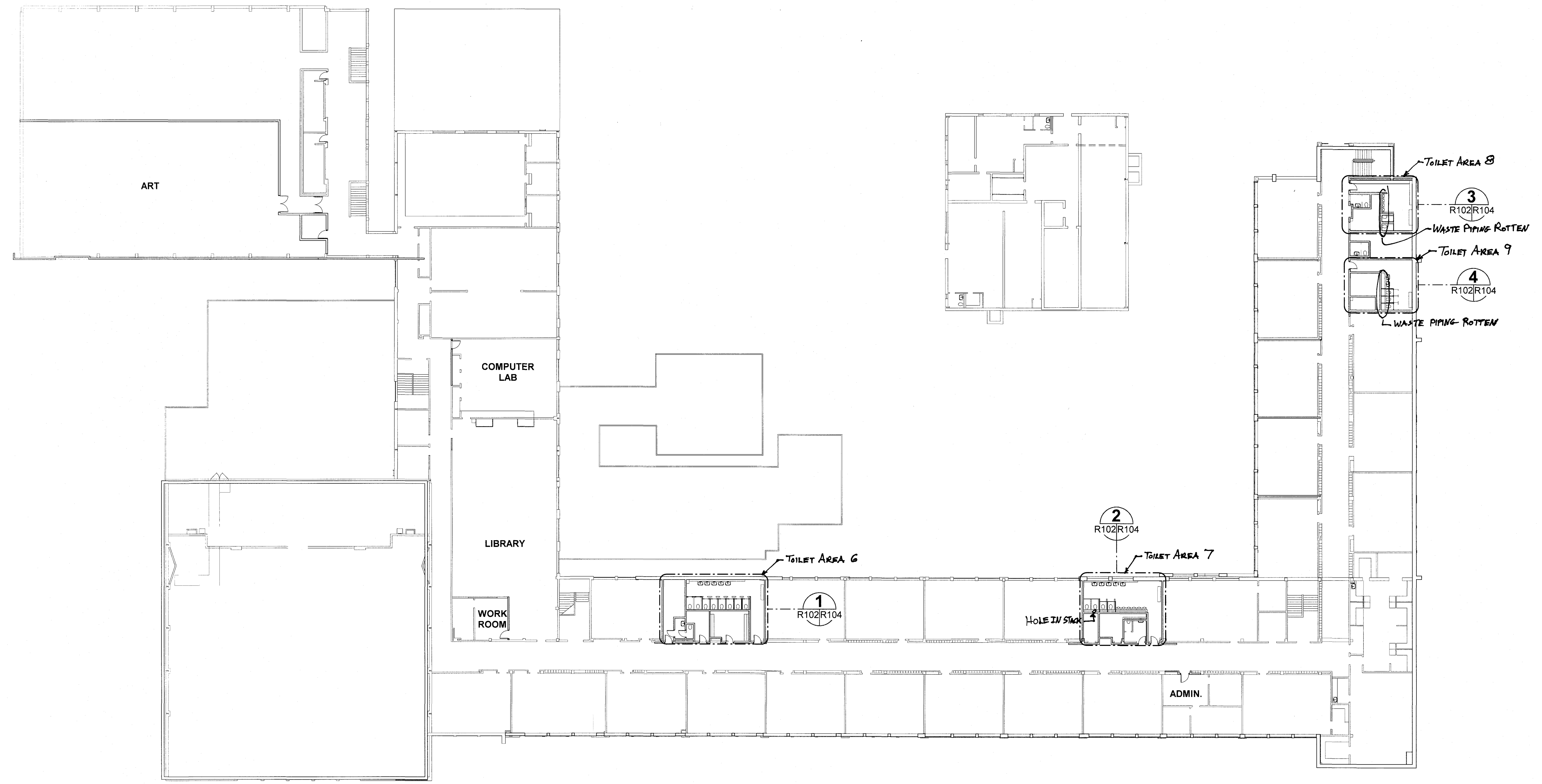
SECOND FLOOR
 - EXISTING

Sheet Number Designer's 6

R102

GENERAL NOTES

IT IS THE INTENT OF THESE DRAWINGS TO AID THE CONTRACTOR IN BIDDING THE PROJECT BY PROVIDING INFORMATION ABOUT MATERIALS AND THEIR REMOVAL. HOWEVER, DEMOLITION IS EXTENSIVE AND ALL POSSIBLE ITEMS/ CONDITIONS MAY NOT BE ADDRESSED. ACTUAL CONDITIONS MAY VARY FROM THOSE SHOWN IN THESE DRAWINGS. CONTRACTOR IS ADVISED TO VISIT THE SITE PRIOR TO SUBMITTING HIS BID.

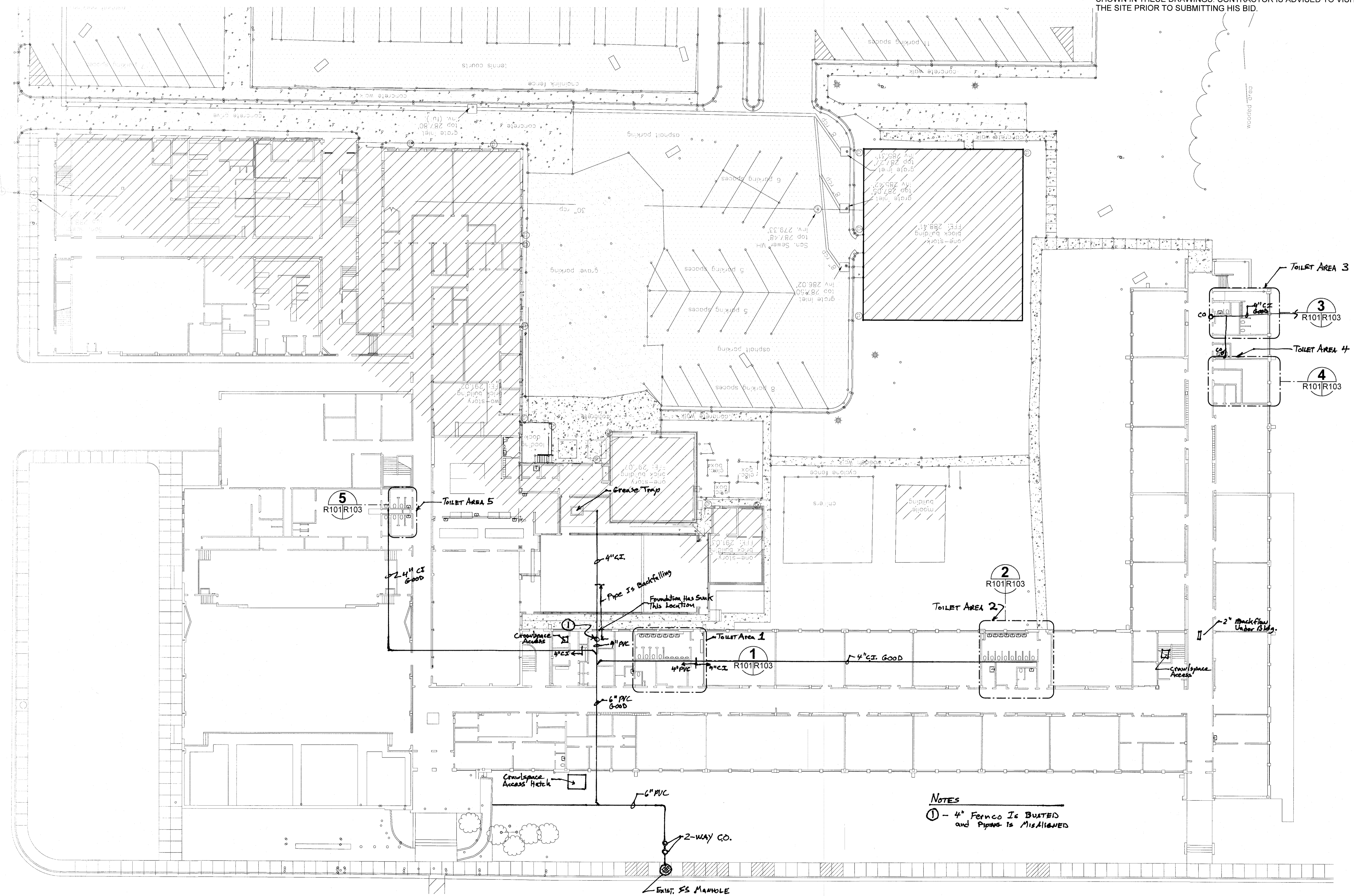


1 EXISTING CLASSROOM - 2ND FLOOR
 NOT R102 USE A201 1" = 20'-0"

NOT FOR CONSTRUCTION

GENERAL NOTES

IT IS THE INTENT OF THESE DRAWINGS TO AID THE CONTRACTOR IN BIDDING THE PROJECT BY PROVIDING INFORMATION ABOUT MATERIALS AND THEIR REMOVAL. HOWEVER, DEMOLITION IS EXTENSIVE AND ALL POSSIBLE ITEMS/ CONDITIONS MAY NOT BE ADDRESSED. ACTUAL CONDITIONS MAY VARY FROM THOSE SHOWN IN THESE DRAWINGS. CONTRACTOR IS ADVISED TO VISIT THE SITE PRIOR TO SUBMITTING HIS BID.



1 EXISTING - 1ST FLOOR
 R101 1" = 20'-0"

SECTION 003000

PROPOSAL FORM

Date: _____

To: **Board of Trustees, Jackson Public School District, Jackson, Mississippi**

RE: **2018 BOND PROJECT FOR LANIER HIGH SCHOOL: RESTROOM IMPROVEMENTS PROJECT**

(the "Project")

Prepared by: **Durrell Design Group, PLLC, 500-G E. Woodrow Wilson Avenue, Jackson, MS 39216; Greg L. Durrell, AIA - Principal**

Ladies and Gentlemen:

I/We, having carefully examined the bid specifications and all addenda issued prior to the bid opening date, having visited the Project site and apprised myself/ourselves of the conditions affecting the work to be performed, and having obtained and correlated any other information deemed necessary by me/us to submit this bid, hereby propose to furnish all services and labor, and all supplies, materials and equipment required to complete the work at the cost indicated hereinbelow. I/We will not withdraw this bid for forty-five (45) days from the date of bid opening. If written notice of acceptance of this bid is received by me/us from JPSD within forty-five (45) days after the date of the bid opening, I/we shall submit to the Project Administrator, within ten (10) working days after receipt of such notice, an executed contract and all other documentation required by the bid specifications. **I/We understand and agree that neither the award of this bid to me/us by the District's Board of Trustees nor receipt by me/us of a notice of acceptance of this bid shall constitute the making of a contract between JPSD and me/us, which shall be conditioned upon the execution by BOTH JPSD and me/us of a formal, written AGREEMENT**

Respectfully submitted,

CONTRACTOR NAME: _____

ADDRESS: _____

PHONE NUMBER: _____

SIGNATURE: _____

PRINT NAME: _____

TITLE: _____

DATE: _____

CONTRACTOR'S CERTIFICATE OF RESPONSIBILITY NUMBER, IF REQUIRED:

CONTRACTOR'S LICENSE NUMBER AND EXPIRATION DATE

SURETY NAME AND ADDRESS: _____

Contractor shall indicate the address to which notice of acceptance, notice to proceed and all other written communications relative to the Project shall be transmitted by JPSD.

Address if **mailed**:

Address if **Hand-Delivered**:

State Contractor's form of business organization, i.e. corporation, partnership, limited liability company, etc. If Contractor is a corporation, indicate the state of incorporation. Also, indicate Contractor's domicile. If Contractor is a partnership or form thereof, list the names of all partners:

Contractor is a: Resident Contractor Non-Resident Contractor

Non-Resident Contractors: pursuant to Miss. Code Section 31-3-21, a non-resident contractor must submit with its bid a copy of its resident state's statute pertaining to such state's treatment of non-resident contractors. Failure to submit this information may result in rejection of Contractor's bid or termination of Contractor's contract with the District.

Please select one of these options to help us track minority contractor ownership.

Contractor is: Non-Minority Minority Woman & Minority Woman

Indicate if Contractor Has Made Good Faith Efforts to Obtain MBE/WBE Participation

_____ Yes

_____ No

Describe Efforts to Obtain MBE/WBE Participation

(Attach Additional Pages if Necessary)

Acknowledgment of Receipt of Addenda

Contractor shall acknowledge receipt of all addenda issued during the course of this bid process. In addition to acknowledging receipt of addenda, the addenda may require additional information from Contractor (e.g., additional or modified pricing information), in which case the addenda shall not only be acknowledged below but shall be completed and attached to Contractor's bid at the time of submission. Receipt of the following addenda issued during the course of this bid is hereby acknowledged:

	Number	YES	NO	(check yes or no if received)	
Addendum				Date	
Addendum				Date	
Addendum				Date	
Addendum				Date	

COST PROPOSAL

BASE BID: Renovation of restrooms: BOY TLT A 101, GIRL TLT A 104, STAFF ADA 102, STUDENT ADA 105, BOY TLT D 203, GIRL TLT D 204, STUDENT ADA 207, and STAFF ADA 208.

Numerical Amount: \$ _____

Written Amount: \$ _____

ALTERNATES: See section 012300 for complete description of each alternate

ADD ALTERNATE 01: Renovation of restrooms: BOY TLT B 107, GIRL TLT B 108, BOY TLT E 208, and GIRL TLT E 206).

Numerical Amount: \$ _____

Written Amount: \$ _____

ADD ALTERNATE 02: Provide new tile full-height on all walls as indicated on drawings.

(BASE BID SCOPE)

Numerical Amount: \$ _____

Written Amount: \$ _____

(ADD ALTERNATE 01 SCOPE)

Numerical Amount: \$ _____

Written Amount: \$ _____

END OF PROPOSAL FORM

SECTION 012300

ALTERNATES

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Description of Alternates.

1.02 RELATED REQUIREMENTS

- A. Section 001000 - Instruction to Bidders: Instructions for preparation of pricing alternates.
- B. Section 003000 - Proposal Form

1.03 ACCEPTANCE OF ALTERNATES

- A. Alternates quoted on Bid Forms will be reviewed and accepted or rejected at Owner's option. Accepted alternates will be identified in the Owner-Contractor Agreement.
- B. Coordinate related work and modify surrounding work to integrate the work of each alternate.

1.04 SCHEDULE OF ALTERNATES

- A. Add Alternate No. 01: Provide all labor and material for the selective demolition and renovation of the restrooms in West Wing as indicated on drawings. All work, including plumbing, mechanical and electrical, related to these restrooms will be included in this alternate.
- B. Add Alternate No. 02: Provide all labor and material for the installation of wall tiles on all walls, excluding base bid scope of work. Refer to drawings for locations and heights.

PART 2 PRODUCTS - NOT USED

PART 3 EXECUTION - NOT USED

END OF SECTION

SECTION 096700

RESINOUS FLOORING

PART 1 – GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This section includes the following:
 - 1. Quartz flooring system as shown on the drawings and in schedules.

1.3 SYSTEM DESCRIPTION

- A. The work shall consist of preparation of the substrate, the furnishing and application of an epoxy based multi roller applied flooring system with Q 28 colored quartz aggregate and urethane topcoat. The system shall have the color and texture as specified by the Owner with a nominal thickness of 1/8 inch. It shall be applied to the prepared area(s) as defined in the plans strictly in accordance with the Manufacturer's recommendations.
- B. Cove base (if required) to be applied where noted on plans and per manufacturers standard details unless otherwise noted.

1.4 SUBMITTALS

- A. Product Data: Latest edition of Manufacturer's literature including performance data and installation procedures.
- B. Manufacturer's Safety Data Sheet (SDS) for each product being used.
- C. Samples: A 3 inch square sample of the proposed system. Color, texture, and thickness shall be representative of overall appearance of finished system.
- D. See section 01300 (013000) – Administrative Requirements for submittal procedures.

1.5 QUALITY ASSURANCE

- A. The Manufacturer shall have a minimum of 10 years experience in the production, sales, and technical support of epoxy and urethane industrial flooring and related materials.
- B. The Applicator shall have been approved by the flooring system manufacturer in all phases of surface preparation and application of the product specified.
- C. No requests for substitutions shall be considered that would change the generic type of the specified System.
- D. A pre-installation conference shall be held between Applicator, General Contractor and the Owner to review and clarification of this specification, application procedure, quality control, inspection and acceptance criteria and production schedule.

1.6 PRODUCT DELIVERY, STORAGE, AND HANDLING

- A. Packing and Shipping

1. All components of the system shall be delivered to the site in the Manufacturer's packaging, clearly identified with the product type and batch number.

B. Storage and Protection

1. Proper storage area must be provided for all components. The area shall be between 60 F and 90 F, dry, out of direct sunlight and in accordance with the Manufacturer's recommendations and relevant health and safety regulations.
2. Copies of Safety Data Sheets (SDS) for all components shall be kept on site for review by the Engineer or other personnel.

C. Waste Disposal

1. Dispose all for non-hazardous waste generated during installation of the system.

1.7 PROJECT CONDITIONS

A. Site Requirements

1. Application may proceed while air, material and substrate temperatures are between 60 F and 90 F providing the substrate temperature is above the dew point. Outside of this range, the Manufacturer shall be consulted.
2. The relative humidity in the specific location of the application shall be less than 85 % and the surface temperature shall be at least 5 F above the dew point.
3. Provide adequate ventilation for the work area.
4. Provide adequate lighting equal to the final lighting level during the preparation and installation of the system.

B. Conditions of new concrete to be coated with epoxy material.

1. Concrete shall be moisture cured for a minimum of 7 days and have fully cured a minimum of twenty eight days in accordance with ACI-308 prior to the application of the coating system pending moisture tests.
2. Concrete shall have a flat rubbed finish, float or light steel trowel finish (a hard steel trowel finish is neither necessary or desirable).
3. Sealers and curing agents should not to be used.
4. Concrete surfaces on grade shall have been constructed with a vapor barrier to protect against the effects of vapor transmission and possible delamination of the system.

C. Safety Requirements

1. All open flames and spark-producing equipment shall be removed from the work area prior to commencement of application.
2. "No Smoking" signs shall be posted at the entrances to the work area.
3. The Owner shall be responsible for the removal of foodstuffs from the work area.
4. Non-related personnel in the work area shall be kept to a minimum.

1.8 WARRANTY

- A. Dur-A-Flex, Inc. warrants that material shipped to buyers at the time of shipment substantially free from material defects and will perform substantially to Dur-A-Flex, Inc. published literature if used in accordance with the latest prescribed procedures and prior to the expiration date.**

- B. Dur-A-Flex, Inc. liability with respect to this warranty is strictly limited to the value of the material purchase.

PART 2 – PRODUCTS

2.1 FLOORING

- A. Dur-A-Flex, Inc, Dur-A-Quartz, Epoxy-Based seamless flooring system. Contact: Robert Jongema 615-585-2004 robertj@dur-a-flex.com.
 - 1. System Materials:
 - a. Primer: Dur-A-Flex, Inc, Dur-A-Glaze #4 resin and WB hardener.
 - b. Broadcast Coats: Dur-A-Flex, Inc, Dur-A-Glaze #4 resin and hardener.
 - c. The quartz aggregate shall be Dur-A-Flex, Inc. Q-28 colored quartz aggregate.
 - d. Grout coat: Dur-A-Flex, Inc. Dur-A-Glaze #4 resin and Water Clear hardener.
 - e. 2ND Grout coat: Dur-A-Flex, Inc. Dur-A-Glaze #4 resin and Water Clear hardener.
 - f. Topcoat: Dur-A-Flex, Inc. Armor Top resin and hardener.
 - 2. Patch Materials
 - a. Shallow Fill and Patching: Use Dur-A-Flex, Inc. Dur-A-Glaze #4 Cove Rez.
 - b. Deep Fill and Sloping Material (over ¼ inch): Use Dur-A-Flex, Inc. Dur-A-Crete.

2.2 MANUFACTURER

- A. Dur-A-Flex, Inc., 95 Goodwin Street, East Hartford, CT 06108, Phone: (860) 528-9838, Fax: (860) 528-2802
- B. Manufacturer of Approved System shall be single source and made in the USA.

2.3 PRODUCT REQUIREMENTS

<ul style="list-style-type: none"> A. Primer <ul style="list-style-type: none"> 1. Percent Solids 2. VOC 3. Bond Strength to Concrete ASTM D 4541 4. Hardness, ASTM D 3363 5. Elongation, ASTM D 2370 6. Flexibility (1/4: Cylindrical mandrel), ASTM D 1737 7. Impact Resistance, MIL D-2794 6. Abrasion Resistance ASTM D 4060, CS 17 wheel, 1,000 g Load B. Broadcast Coat and Grout Coat <ul style="list-style-type: none"> 1. Percent Solids 2. VOC 3. Compressive Strength, ASTM D 695 4. Tensile Strength, ASTM D 638 5. Flexural Strength, ASTM D 790 6. Abrasion Resistance, ASTM D 4060 C-10 Wheel, 1,000 gm load, 1,000 cycles 7. Flame Spread/NFPA-101, ASTM E 84 8. Impact Resistance MIL D-24613 delamination 	<p>Dur-A-Glaze #4 WB</p> <p>56 %</p> <p>2 g/L</p> <p>550 psi, substrates fails 3H</p> <p>9 %</p> <p>Pass</p> <p>>160</p> <p>30 mg loss</p> <p>Dur-A-Glaze #4</p> <p>100 %</p> <p>0 g/L</p> <p>11,200 psi</p> <p>2,100 psi</p> <p>5,100 psi</p> <p>29 mg loss</p> <p>Class A</p> <p>0.0007 inches, no cracking or delamination</p>
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9. Water Absorption. MIL D-24613		Nil
10. Potlife @ 70 F		20 minutes
C. Topcoat		Armor Top
1. Percent Solids		95 %
2. VOC		0 g/L
3. Tensile Strength, ASTM D 2370		7,000 psi
4. Adhesion, ASTM 4541		Substrate Failure
5. Hardness, ASTM D 3363		>4H
6. 60° Gloss ASTM D 523		Gloss 70+/-10 / Satin 50+/-10
7. Abrasion Resistance, ASTM D4060	Gloss	Satin
CS 17 wheel (1,000 g load) 1,000 cycles	4	8
	10	12
		mg loss with grit
		mg loss without grit
8. Pot Life, 70 F, 50% RH		45 mins
9. Full Chemical Resistance		7 days

PART 3 – EXECUTION

3.1 EXAMINATION

- A. Examine substrates, areas and conditions, with Applicator present, for compliance with requirements for maximum moisture content, installation tolerances and other conditions affecting flooring performance.
1. Verify that substrates and conditions are satisfactory for flooring installation and comply with requirements specified.

3.2 PREPARATION

A. General

1. The substrate is existing floor tile, the floor must be shallow patched with Dura- Flex Cove Rez product to fill in tile grout lines. New and existing surfaces shall be free of oil, grease, curing compounds, loose particles, moss, algae growth, laitance, friable matter, dirt, and bituminous products.
2. Moisture Testing: Perform tests recommended by manufacturer and as follows.
 - a. Perform relative humidity test using in situ probes, ASTM F 2170. Proceed with installation only after substrates have a maximum 75% relative humidity level measurement.
 - b. If the vapor emission exceeds 75 % relative humidity or 3 lbs/1,000 sf/24 hrs then Dur-A-Flex, Inc Dur-A-Glaze MVP Primer moisture mitigation system must be installed prior to resinous flooring installation. Slab-on grade substrates without a vapor barrier may also require the moisture mitigation system.
3. There shall be no visible moisture present on the surface at the time of application of the system. Compressed oil-free air and/or a light passing of a propane torch may be used to dry the substrate.
4. Mechanical surface preparation
 - a. Shot blast all surfaces to receive flooring system with a mobile steel shot, dust recycling machine (Blastrac or equal). All surface and embedded accumulations of paint, toppings hardened concrete layers, laitance, power trowel finishes and other similar surface characteristics shall be completely removed leaving a bare concrete surface having a minimum profile of CSP 4-5 as described by the International Concrete Repair Institute.

- b. Floor areas inaccessible to the mobile blast machines shall be mechanically abraded to the same degree of cleanliness, soundness and profile using diamond grinders, needle guns, bush hammers, or other suitable equipment.
 - c. Where the perimeter of the substrate to be coated is not adjacent to a wall or curb, a minimum 1/4 inch key cut shall be made to properly seat the system, providing a smooth transition between areas. The detail cut shall also apply to drain perimeters and expansion joint edges.
 - d. Cracks and joints (non-moving) greater than 1/8 inch wide are to be chiseled or chipped-out and repaired per manufacturer's recommendations.
5. At spalled or worn areas, mechanically remove loose or delaminated concrete to a sound concrete and patch per manufactures recommendations.

3.3 APPLICATION

A. General

- 1. The system shall be applied in six distinct steps as listed below:
 - a. Substrate preparation
 - b. Priming
 - c. First broadcast coat application with first aggregate broadcast
 - d. Second broadcast coat with second aggregate broadcast
 - e. Grout coat application, sand floor (if required)
 - f. Topcoat application
- 2. Immediately prior to the application of any component of the system, the surface shall be dry and any remaining dust or loose particles shall be removed using a vacuum or clean, dry, oil-free compressed air.
- 3. The handling, mixing and addition of components shall be performed in a safe manner to achieve the desired results in accordance with the Manufacturer's recommendations.
- 4. The system shall follow the contour of the substrate unless pitching or other leveling work has been specified by the Architect.
- 5. A neat finish with well-defined boundaries and straight edges shall be provided by the Applicator.

B. Primer

- 1. The primer shall consist of a liquid resin and hardener that is mixed at the ratio of 1 part resin to 4 parts hardener per the manufacturer's instructions.
- 2. The primer shall be applied by 1/8 inch notched squeegee and back rolled at the rate of 200 sf/gal to yield a dry film thickness of 4 mils.

C. Broadcast Coat

- 1. The broadcast coat shall be applied as a double broadcast system as specified by the Architect.
- 2. The broadcast coat shall be comprised of two components, a resin, and hardener as supplied by the Manufacturer and mixed in the ratio of 2 parts resin to 1 part hardener.
- 3. The resin shall be added to the hardener and thoroughly mixed by suitably approved mechanical means.
- 4. The broadcast coat shall be applied over horizontal surfaces using a 3/16 inch "v" notched squeegee and back rolled at the rate of 90-100 sf/gal for first broadcast.
- 5. Colored quartz aggregate shall be broadcast to excess into the wet material at the rate of 0.5 lbs/sf.
- 6. Allow material to fully cure. Vacuum, sweep and/or blow to remove all loose aggregate.
- 7. Apply a second coat of resin with a coverage rate of 90-100 sf/gal and broadcast aggregate to excess at the rate of 0.5 lbs/sf using a flat squeegee

8. Allow material to fully cure. Vacuum, sweep and/or blow to remove all loose aggregate.

D. Grout Coat

1. The grout coat shall be comprised of a liquid resin and a liquid hardener that is mixed in the ratio of 1 part hardener to 2 parts resin and installed per the manufacturer's recommendations.
2. The grout coat shall be flat squeegee applied and back rolled with a coverage rate of 90-100 sf/gal.

E. Topcoat

1. The topcoat of Armor Top shall be roller applied at the rate of 500 sf/gal to yield a dry film thickness of 3 mils.
2. The topcoat shall be comprised of a liquid resin, hardener and grit that is mixed per the manufacturer's instructions.
3. The finish floor will have a nominal thickness of 1/8 inch.

3.4 FIELD QUALITY CONTROL

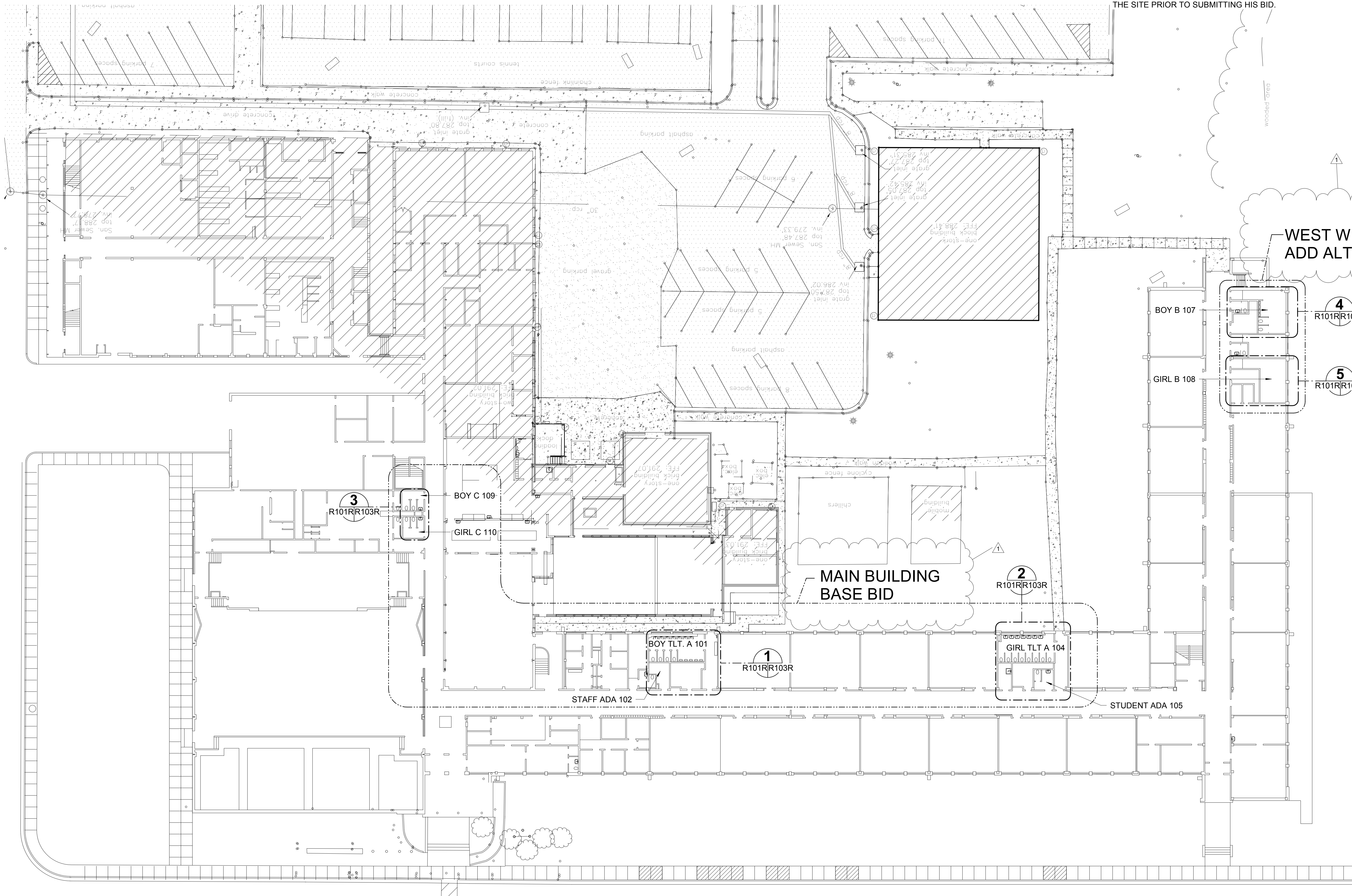
A. Tests, Inspection

1. The following tests shall be conducted by the Applicator:
 - a. Temperature
 1. Air, substrate temperatures and, if applicable, dew point.
 - b. Coverage Rates
 1. Rates for all layers shall be monitored by checking quantity of material used against the area covered.

3.5 CLEANING AND PROTECTION

- A. Cure flooring material in compliance with manufacturer's directions, taking care to prevent their contamination during stages of application and prior to completion of the curing process.
- B. Remove masking. Perform detail cleaning at floor termination, to leave cleanable surface for subsequent work of other sections.

END OF SECTION



1 EXISTING - 1ST FLOOR
 R101R 1" = 20'-0"

GENERAL NOTES

IT IS THE INTENT OF THESE DRAWINGS TO AID THE CONTRACTOR IN BIDDING THE PROJECT BY PROVIDING INFORMATION ABOUT MATERIALS AND THEIR REMOVAL. HOWEVER, DEMOLITION IS EXTENSIVE AND ALL POSSIBLE ITEMS/ CONDITIONS MAY NOT BE ADDRESSED. ACTUAL CONDITIONS MAY VARY FROM THOSE SHOWN IN THESE DRAWINGS. CONTRACTOR IS ADVISED TO VISIT THE SITE PRIOR TO SUBMITTING HIS BID.

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WEST WING
 ADD ALT #1

Project
JPS 2018 BOND PROJECTS
LANIER HIGH SCHOOL RESTROOM
IMPROVEMENTS
 833 MAPLE STREET
 JACKSON, MS 39203

Project Number: 19.003
 Date: 2019.12.02
 Drawn by: AS
 Checked by: GD
 Revisions
 1 1/17/2020
 2
 3

Sheet Title

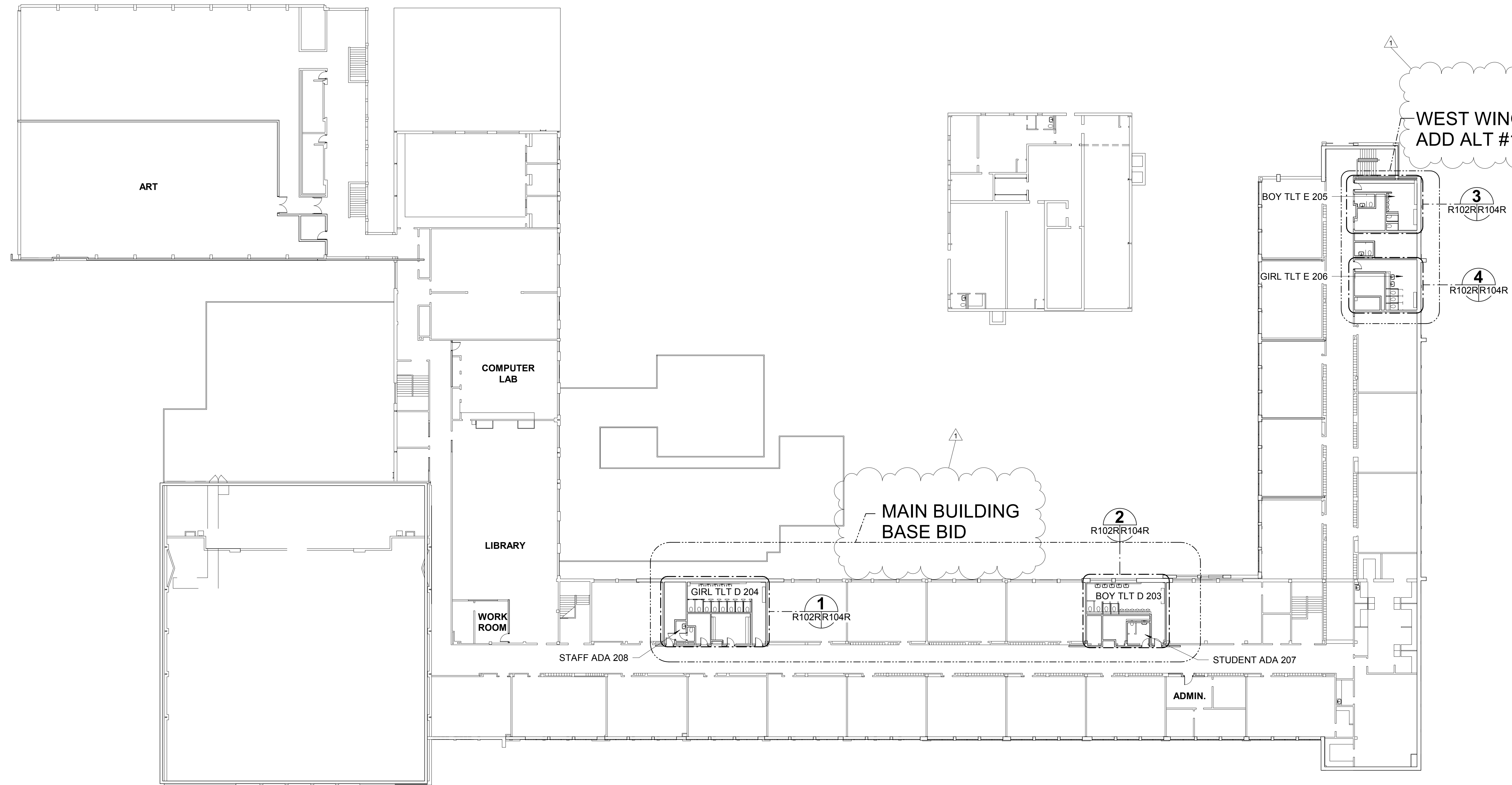
FIRST FLOOR -
 EXISTING

Sheet Number 2 of 20

R101R

GENERAL NOTES

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1 EXISTING CLASSROOM - 2ND FLOOR
 NOT TO SCALE
 USE A201 1" = 20'-0"

Project
JPS 2018 BOND PROJECTS
LANIER HIGH SCHOOL RESTROOM
IMPROVEMENTS
 833 MAPLE STREET
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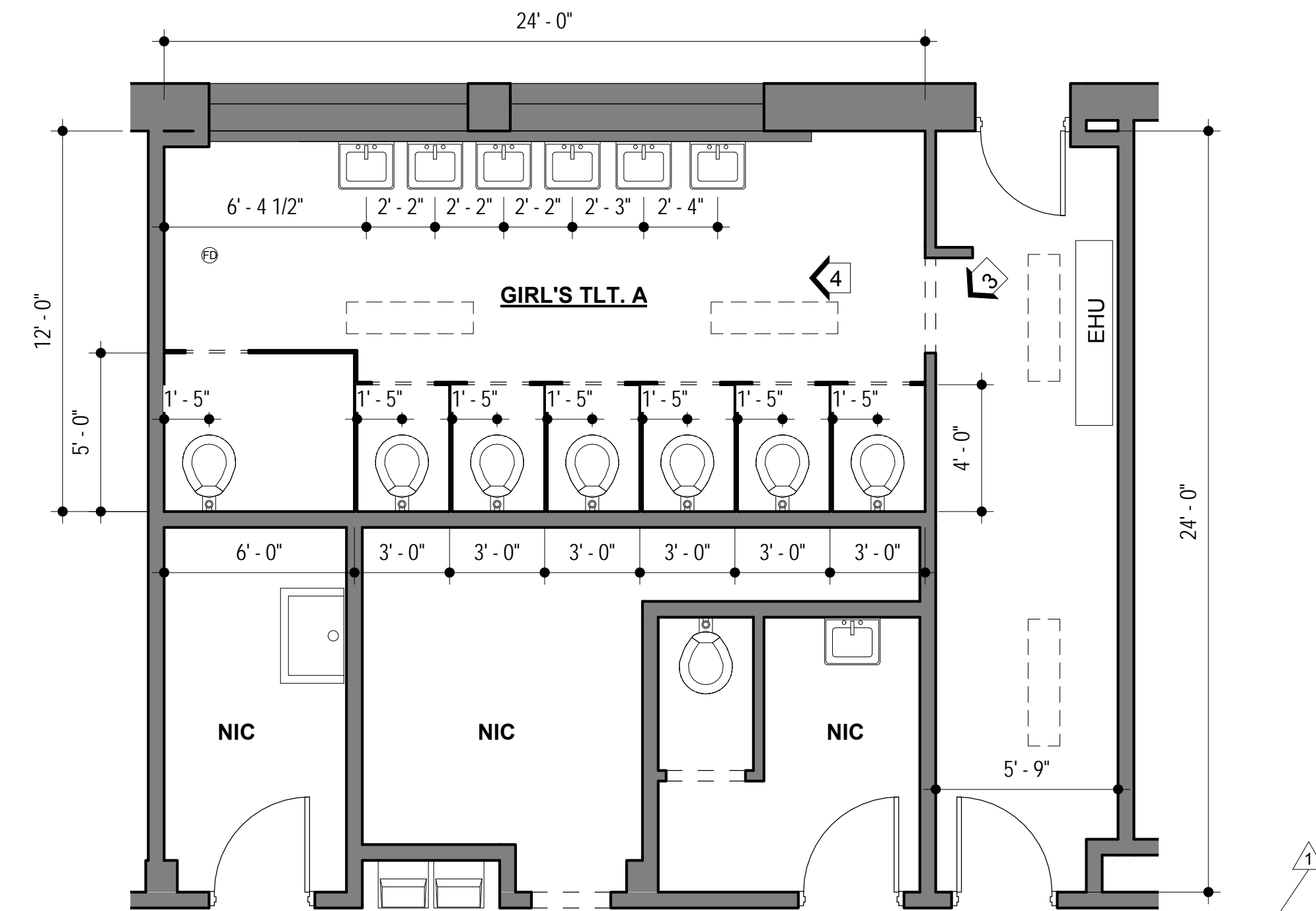
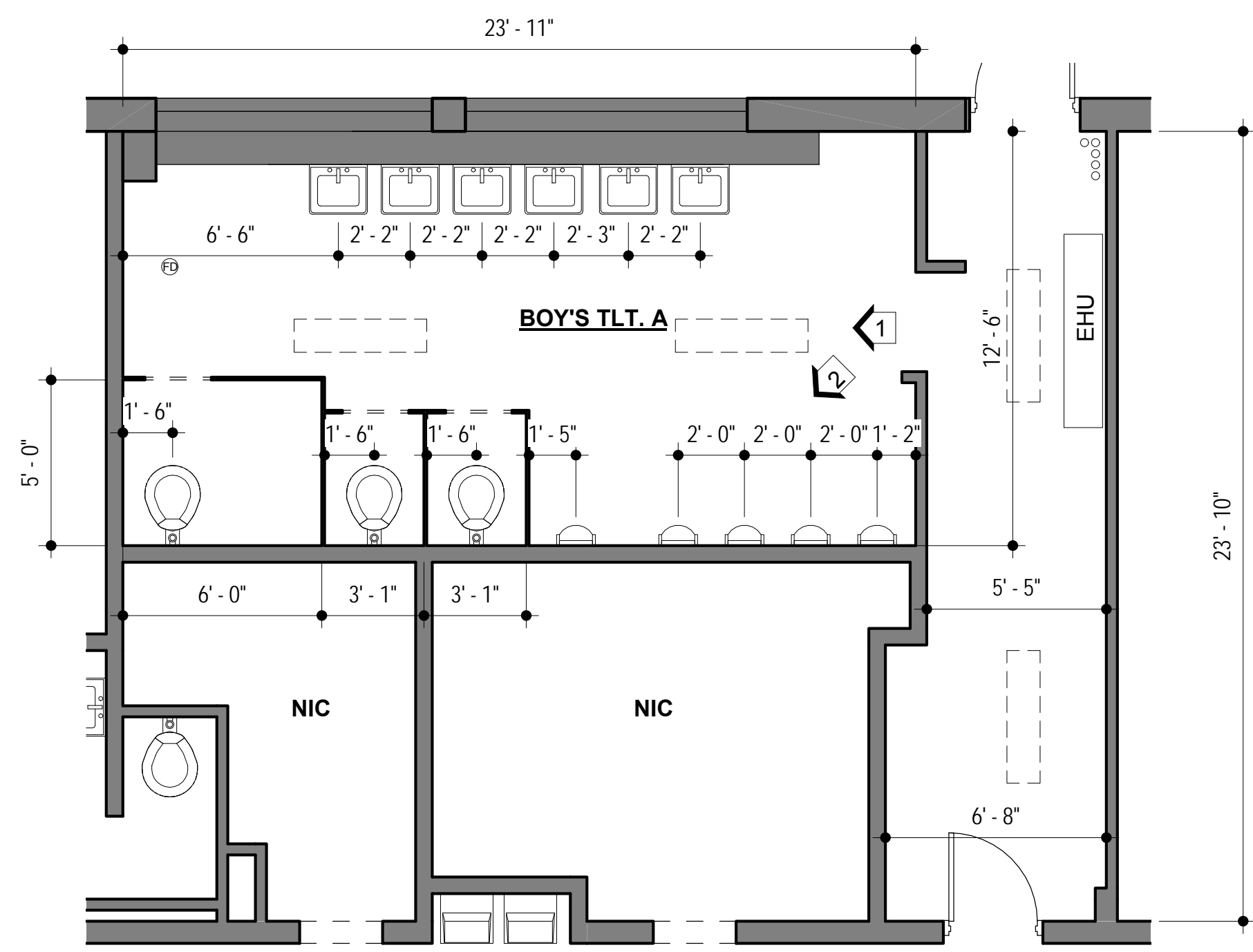
Project Number: 19.003
 Date: 2019.12.02
 Drawn by: AS
 Checked by: GD
 Revisions
 1 1/17/2020
 2
 3

Sheet Title

SECOND FLOOR
 - EXISTING

Sheet Number 3 of 20

R102R



LEGEND: EXISTING

- FD FLOOR DRAIN
- EHU EXISTING HVAC UNIT
- NIC NOT IN CONTRACT
- PHOTOGRAPH
- EXISTING SURFACE
- MOUNT LIGHT FIXTURE

GENERAL NOTES

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PHOTO NOTES:

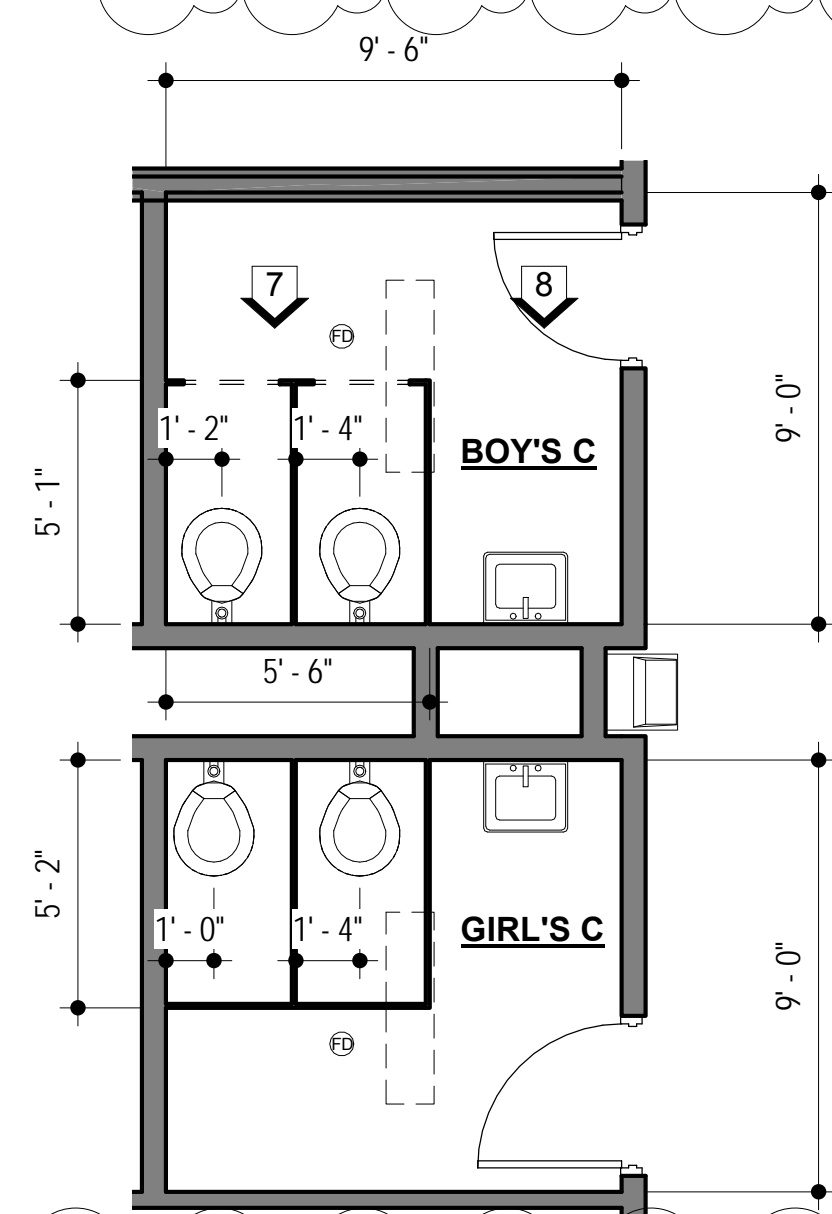
THESE EXISTING PHOTOGRAPHS ARE TO PROVIDE THE CONTRACTOR AND HIS SUBCONTRACTORS WITH VISUAL REPRESENTATION OF THE EXISTING CONDITIONS, MATERIALS AND FINISHES. THE PHOTOGRAPHS ARE NOT INTENDED TO BE A SUBSTITUTE FOR THE CONTRACTOR OR HIS SUBCONTRACTORS TO PERFORM THEIR OWN ONSITE REVIEW OF THE EXISTING CONDITIONS PRIOR TO BIDDING THE PROJECT.

1 ENLARGED PLAN - BASE BID

R101R|R103R 1/4" = 1'-0"

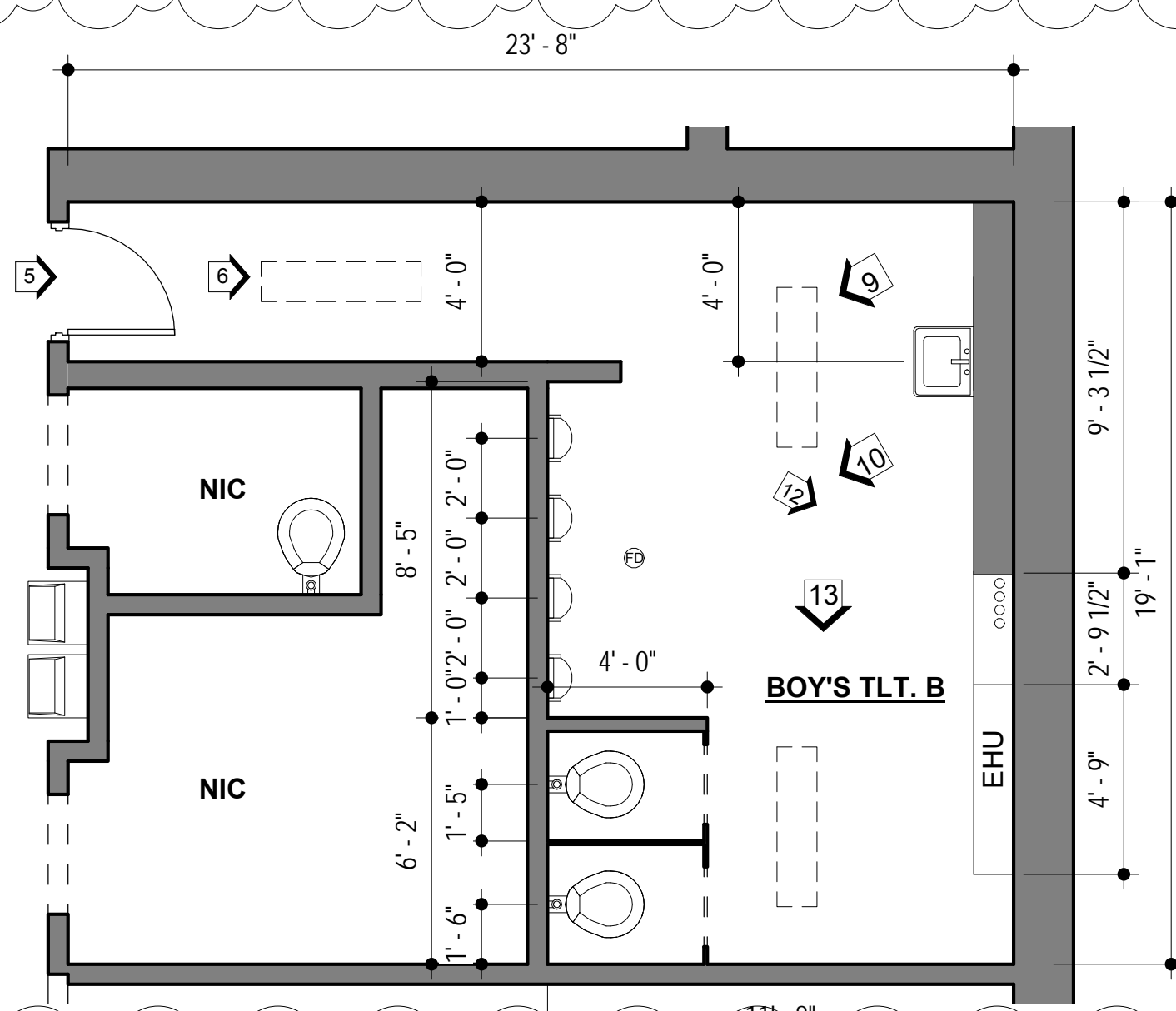
2 ENLARGED PLAN - BASE BID

R101R|R103R 1/4" = 1'-0"



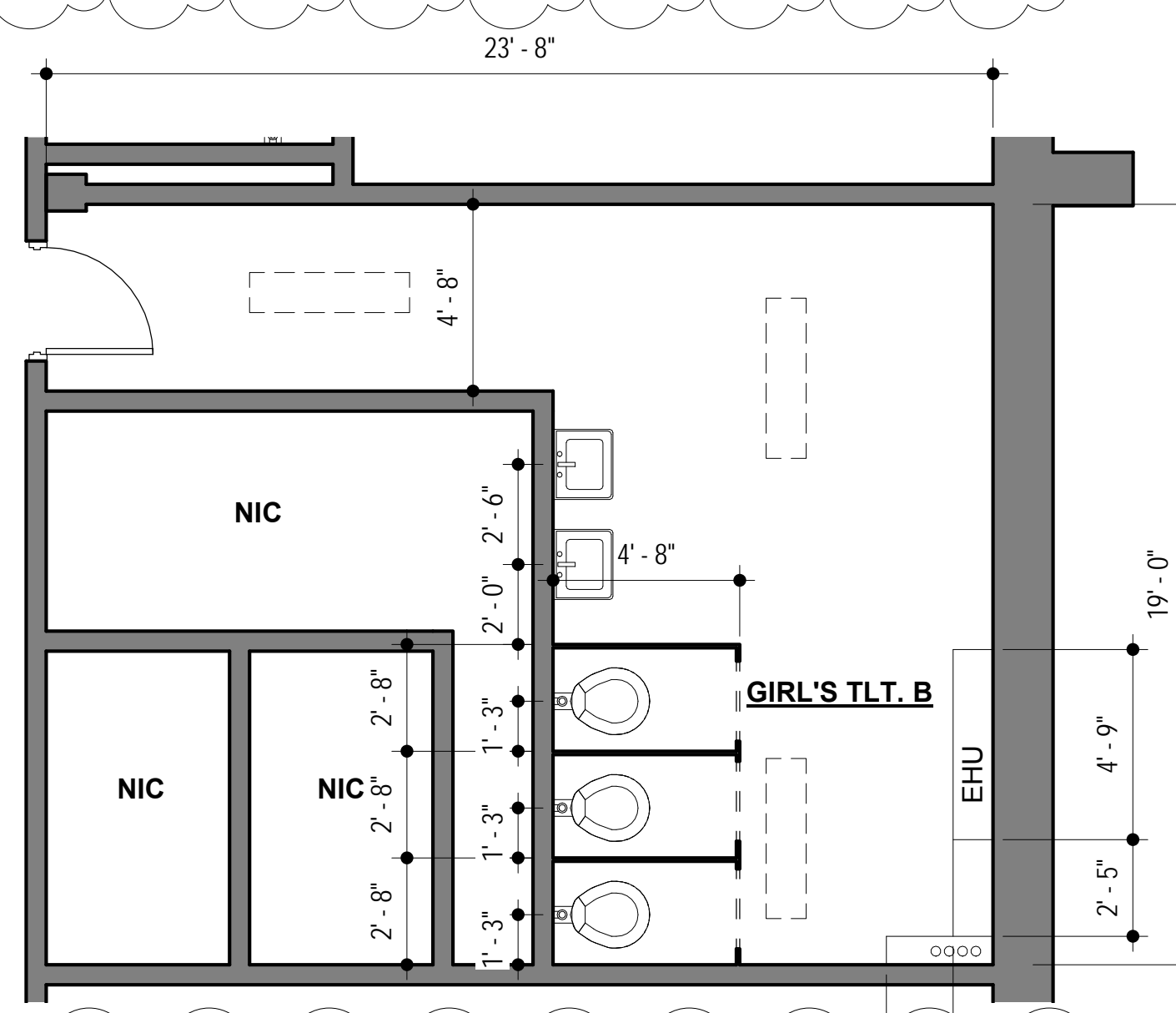
3 ENLARGED PLAN - BASE BID

R101R|R103R 1/4" = 1'-0"



4 ENLARGED PLAN - ALT01

R101R|R103R 1/4" = 1'-0"



5 ENLARGED PLAN - ALT01

R101R|R103R 1/4" = 1'-0"



1.



2.



3.



4.



5.



6.



7.



8.



9.



10.

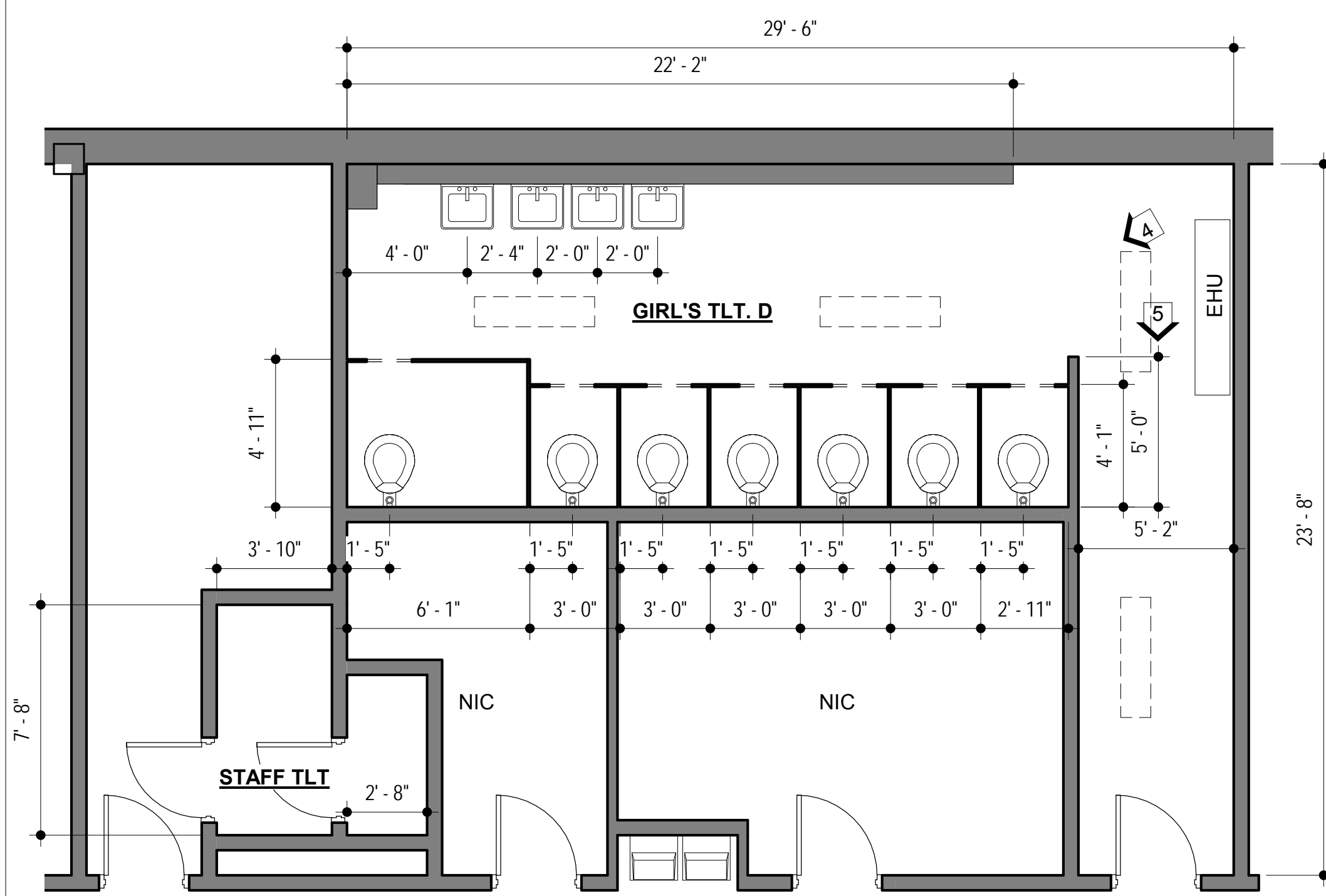


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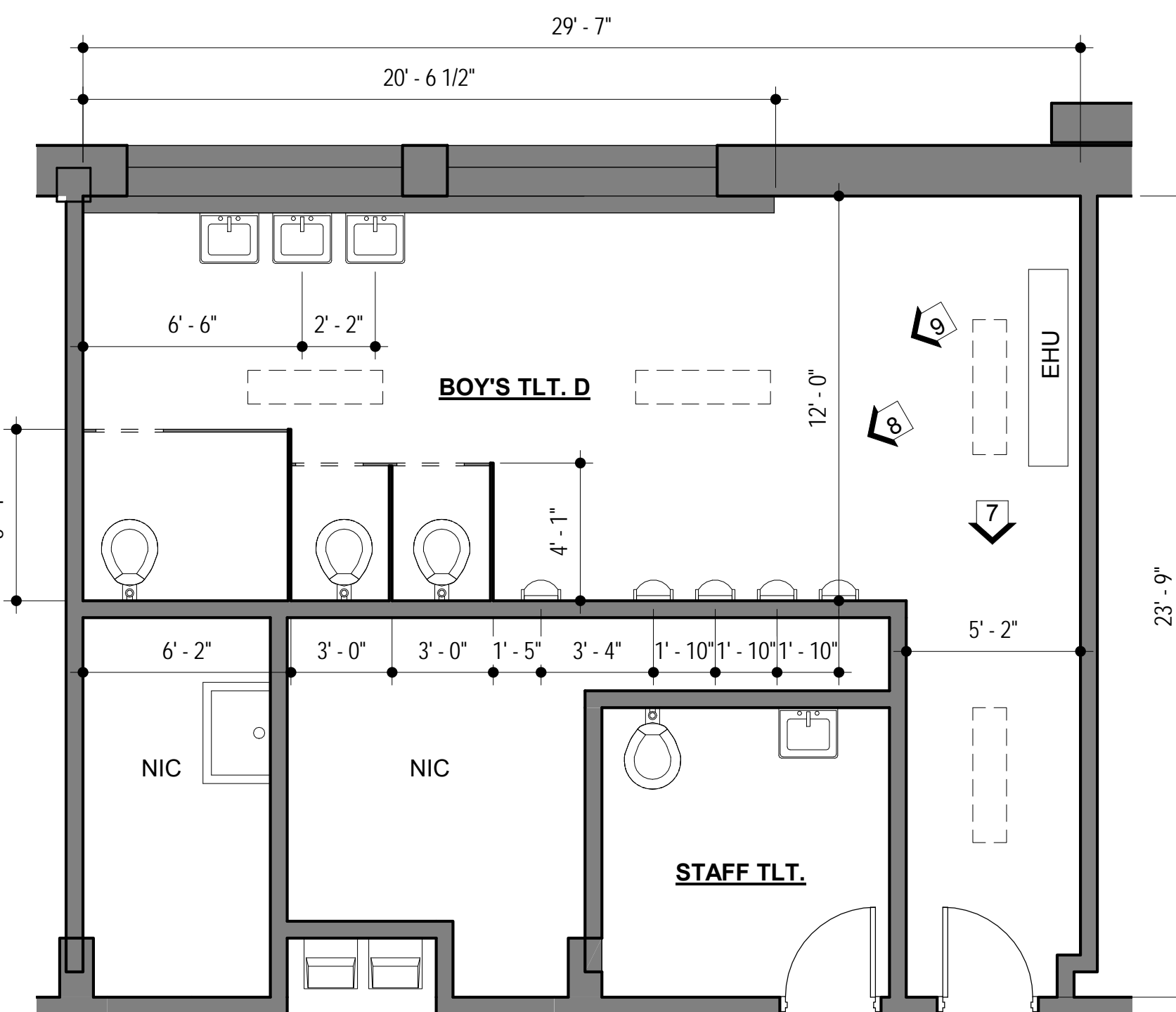
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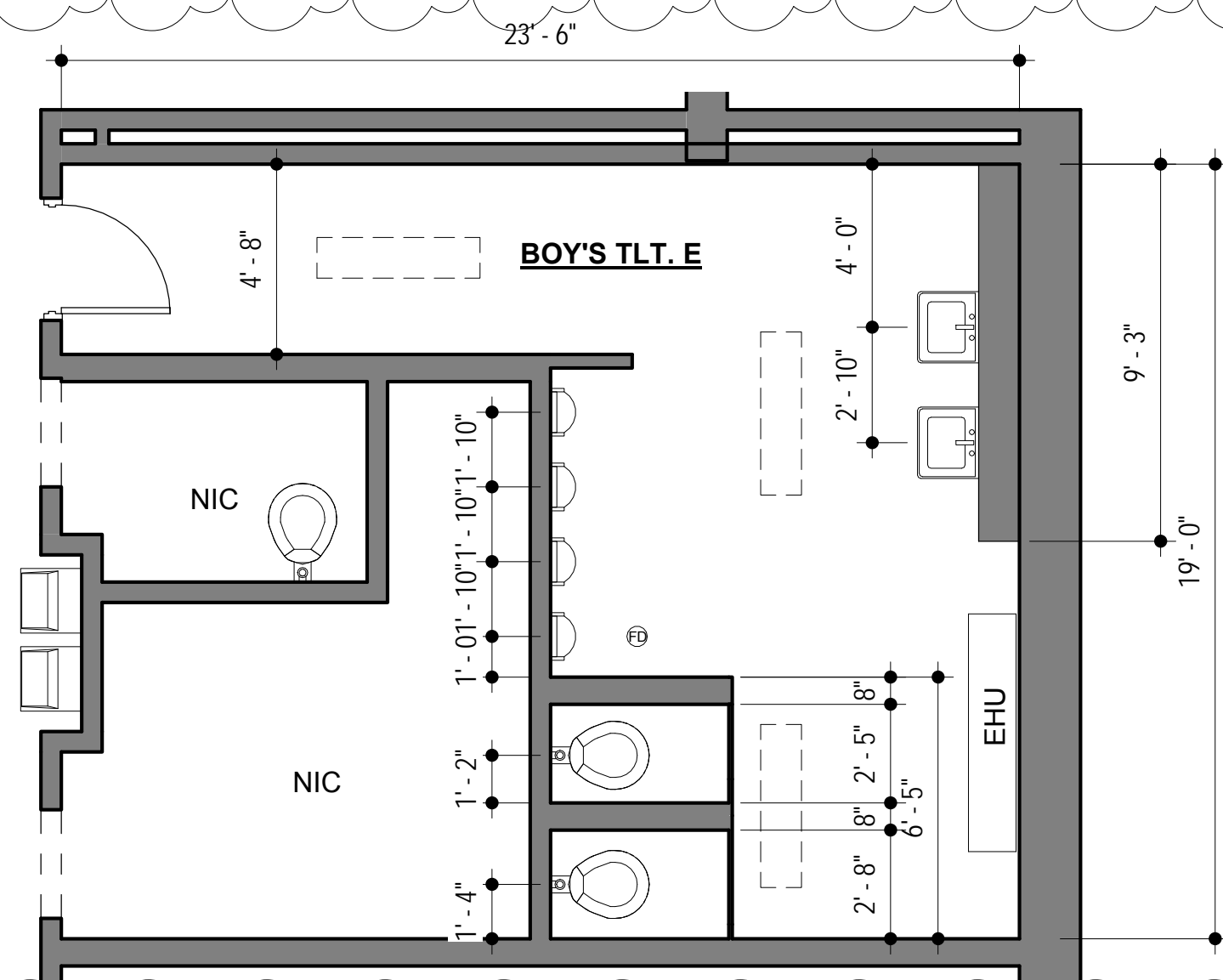
1 ENLARGED PLAN - BASE BID

R102R/R104R 1/4" = 1'-0"



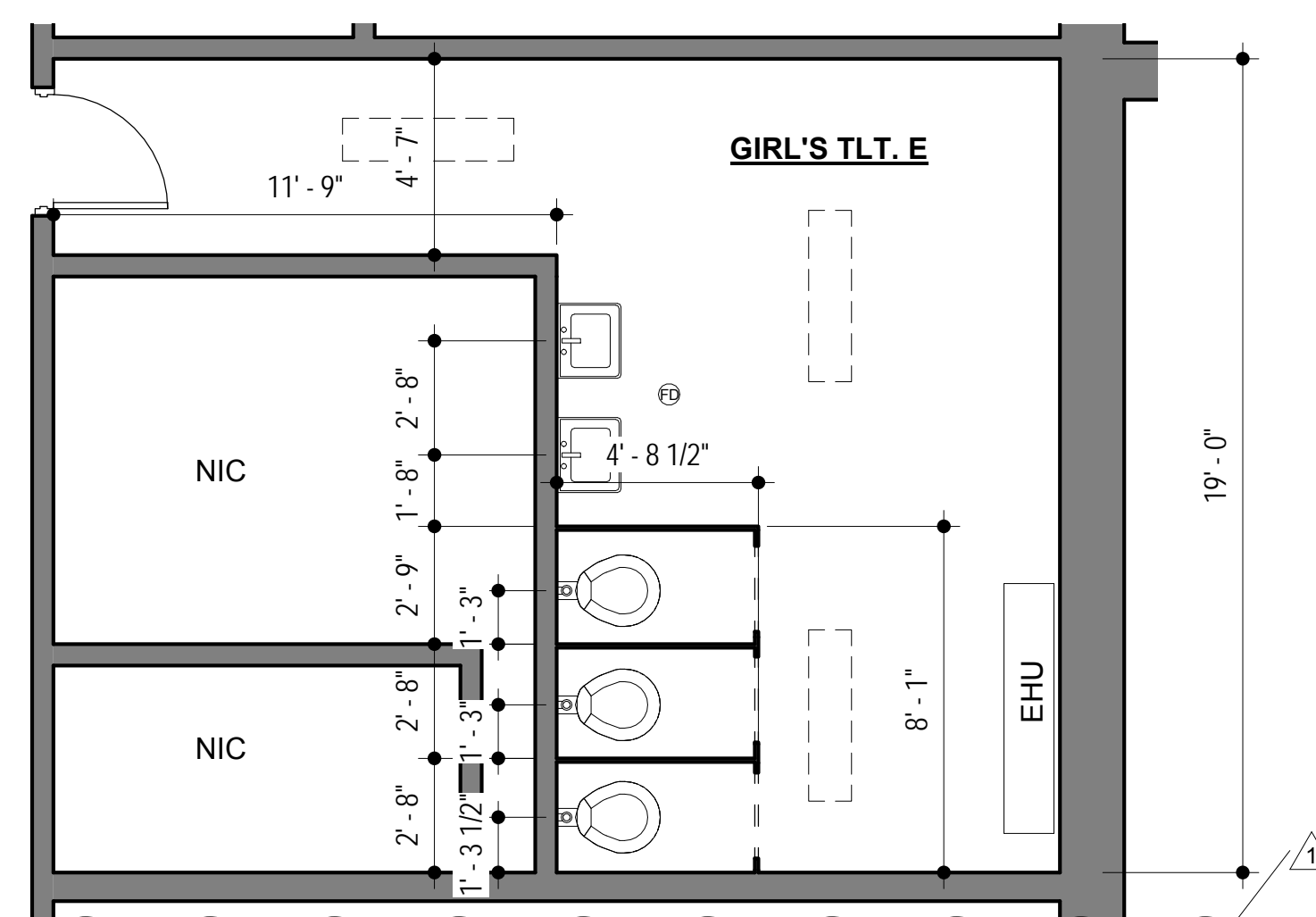
2 ENLARGED PLAN - BASE BID

R102R/R104R 1/4" = 1'-0"



3 ENLARGED PLAN - ALT01

R102R/R104R 1/4" = 1'-0"



4 ENLARGED PLAN - ALT01

R102R/R104R 1/4" = 1'-0"

GENERAL NOTES

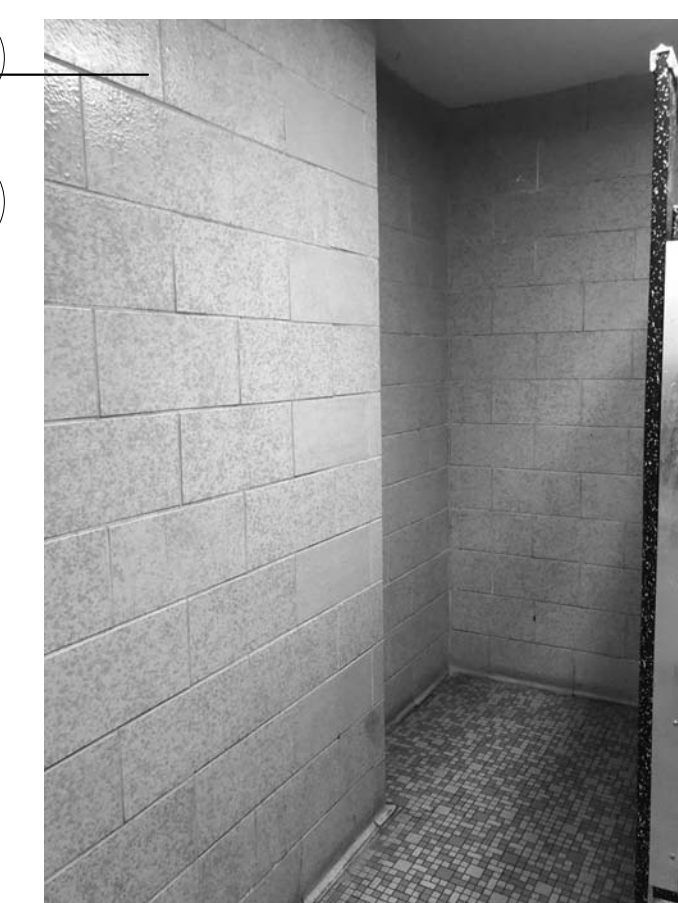
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LEGEND: EXISTING

- FD FLOOR DRAIN
- EHU EXISTING HVAC UNIT
- NIC NOT IN CONTRACT
- PHOTOGRAPH
- EXISTING SURFACE MOUNT LIGHT FIXTURE



1.



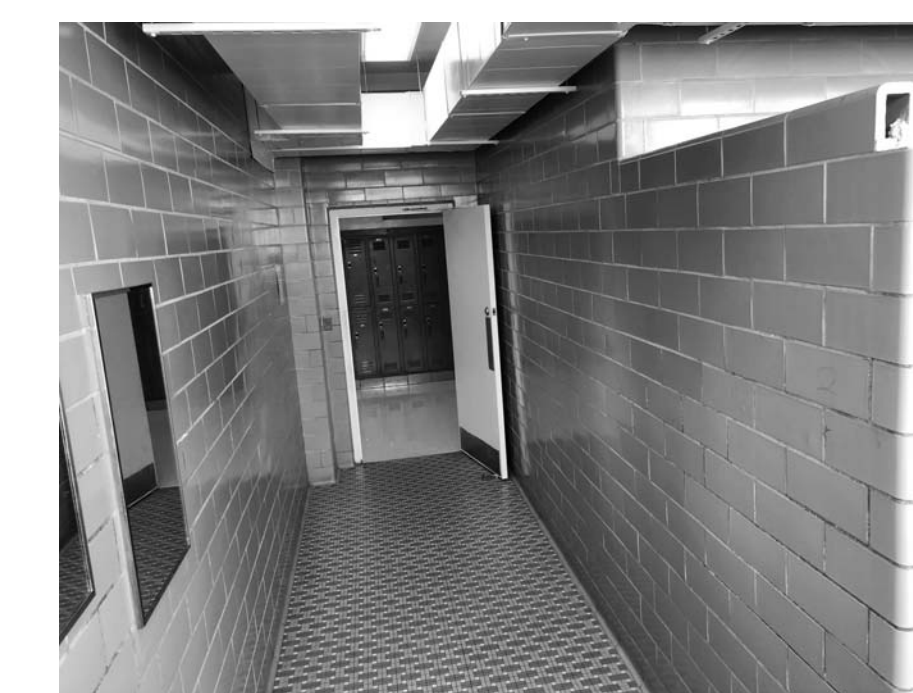
2.



3.



4.



5.



6.



7.



8.



9.



10.



11.



12.

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Project
JPS 2018 BOND PROJECTS
LANIER HIGH SCHOOL RESTROOM
IMPROVEMENTS
 833 MAPLE STREET
 JACKSON, MS 39203

Project Number: 19.003
 Date: 2019.12.02
 Drawn by: AS
 Checked by: GD

Revisions
 1 1/17/2020
 2
 3

Sheet Title

EXISTING PLANS
 AND PHOTOS -
 SECOND FLOOR

Sheet Number 5 of 20

R104R



GENERAL NOTES

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- ALL ITEMS TO REMAIN PROPERTY OF THE OWNER WILL EITHER BE REMOVED BY THE OWNER PRIOR TO BIDDING OR BE TAGGED BY THE OWNER PRIOR TO THE BIDDING. ALL ITEMS NOT TAGGED OR OTHERWISE IDENTIFIED BECOME PROPERTY OF THE CONTRACTOR AND MAY BE REMOVED FROM THE SITE.
- THE CONTRACTOR IS TO LOCATE, SECURE, CAP OFF, PROTECT, AND DOCUMENT LOCATIONS OF ALL UNDERGROUND UTILITIES DISCOVERED DURING OR AFFECTED BY DEMOLITION. TURN DOCUMENTATION OF THESE OVER TO THE OWNER AT COMPLETION OF THE WORK.
- REFER TO PLUMBING DRAWINGS FOR EXTENT OF WATER, GAS, AND SANITARY SEWER LINES THAT WILL NEED TO BE REMOVED, AND OR CAPPED DURING DEMOLITION.
- REFER TO MECHANICAL DRAWINGS FOR EXTENT OF DUCT WORK, HVAC UNITS, VENT HOODS, EXHAUST VENT THAT WILL NEED TO BE REMOVED DURING DEMOLITION.
- REFER TO ELECTRICAL DRAWINGS FOR EXTENT OF ITEMS THAT WILL NEED TO BE REMOVED OR RELOCATED DURING DEMOLITION.
- GC TO PROVIDE FLOOR PATCH AND REPAIR WHERE ALL EXISTING FLOOR BOXES, PIPING, MECHANICAL REMOVED AS REQUIRED FOR INSTALLATION OF NEW WORK.
- BASE BID.** THE SCOPE OF WORK CONSISTS OF INSTALLING NEW PLUMBING FIXTURES, TOILET ACCESSORIES, NEW WALL TILE ON THE WET WALLS, PAINTING THE EXISTING WALL THAT DOES NOT RECEIVE NEW WALL TILE, LIGHT FIXTURES, AND NEW FLOOR FINISH IN THE RESTROOM AREA FOR THE 2 STORY PORTION OF THE BUILDING DESIGNATED AS MAIN BUILDING BASE BID (ROOMS: BOY TLT A 101, GIRL TLT A 104, STAFF ADA 102, STUDENT ADA 105, BOY TLT D 203, GIRL TLT D 204, STUDENT ADA 207, STAFF ADA 208).
- ADD ALTERNATE 01.** THE SCOPE OF WORK CONSISTS OF INSTALLING NEW PLUMBING FIXTURES, TOILET ACCESSORIES, NEW WALL TILE ON THE WET WALLS, PAINTING THE EXISTING WALL THAT DOES NOT RECEIVE NEW WALL TILE, LIGHT FIXTURES, AND NEW FLOOR FINISH IN THE RESTROOM AREA FOR THE 1 STORY PORTION OF THE BUILDING DESIGNATED AS WEST WING ADD ALTERNATE 01 (ROOMS: BOY TLT B 107, GIRL TLT B 108, BOY TLT E 208, GIRL TLT E 206).
- ADD ALTERNATE 02.** THE SCOPE OF WORK IS AS FOLLOWS: ALL WALLS IN THE RESTROOMS ARE TO BE TILED TO THE HEIGHT OF EXISTING DECK OR STRUCTURE. SEE ALTERNATE ELEVATION FOR ADDITIONAL INFORMATION. REFER TO TYPICAL TILE ELEVATION FOR TILE LAYOUT.

(NOTE: DOTTED LINES ON PLANS INDICATES THE ALTERNATE SCOPE OF WORK.)

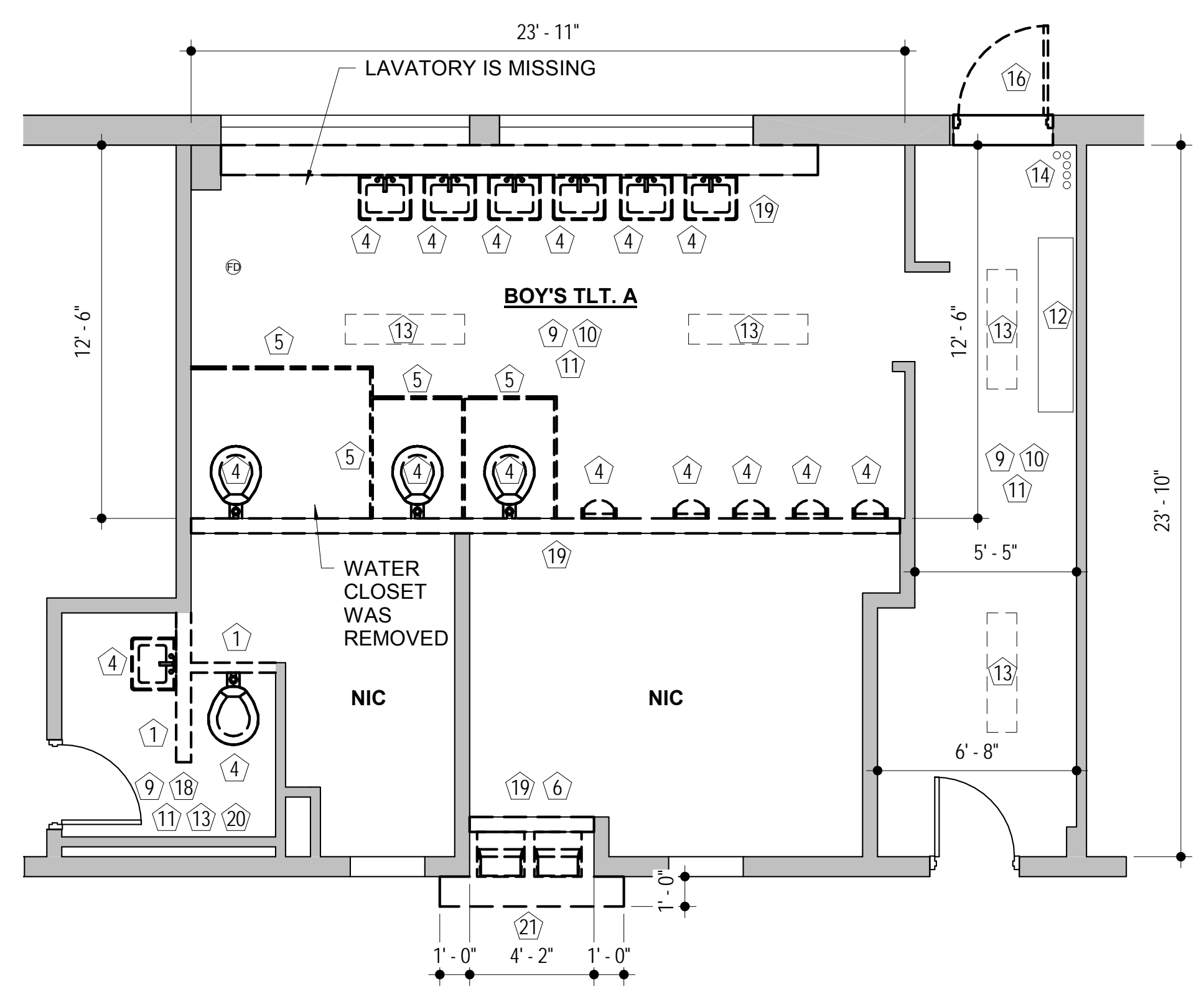
DEMOLITION KEY NOTES

1	REMOVE EXISTING WALL AS REQUIRED. GC TO PREPARE SURFACE FOR NEW WALL INSTALLATION.
2	CLEAN AND PREPARE DOOR AND DOOR FRAME TO RECEIVE NEW PAINT.
3	REMOVE EXISTING MILLWORK IN ITS ENTIRETY.
4	REMOVE EXISTING PLUMBING FIXTURE AND ALL OF ITS COMPONENTS.
5	REMOVE EXISTING TOILET PARTITION AND GRAB BARS.
6	REMOVED EXISTING EDF. PREPARE OPENING FOR NEW EDF. PATCH AND REPAIR WALL AS REQUIRED TO RECEIVE NEW WORK.
7	REMOVE EXISTING STOREFRONT. PREPARE OPENING FOR NEW STOREFRONT SYSTEM. PATCH AND PAINT WALL AS REQUIRED.
8	REMOVE EXISTING WINDOW. PREPARE OPENING FOR NEW WINDOW INSTALLATION. PATCH AND PAINT WALL AS REQUIRED.
9	REMOVE LOOSE AND PEELING PAINT. REPAIR ANY DAMAGES IN THE CEILING PRIOR TO NEW PAINT. CLEAN AND PREPARE STRUCTURAL CONCRETE BEAM, COLUMN AND CEILING FOR NEW PAINT. GC TO REMOVE AND REINSTALL HVAC VENT AS REQUIRED.
10	CLEAN AND PREPARE EXISTING TILE FLOORING FOR NEW EPOXY COATING.
11	SAND AND PREPARE EXISTING WALLS FOR NEW PAINT. GC TO REMOVE EXISTING TOILET ACCESSORIES AS NEEDED. ELECTRICAL AND MECHANICAL COMPONENTS TO BE REMOVED AND REINSTALLED AS REQUIRED.
12	EXISTING HVAC UNIT TO BE REMOVED AND REINSTALLED AS REQUIRED FOR NEW WALL AND FLOOR FINISHES.
13	EXISTING LIGHT FIXTURE TO BE REMOVED. GC TO PREPARE TO INSTALL NEW LIGHT FIXTURE AS REQUIRED.
14	GC TO PROTECT EXISTING CHILL WATER SUPPLY AND RETURN AS REQUIRED.
15	EXISTING WALL TILES TO BE REMOVED. GC TO PATCH AND CLEAN SURFACE FOR NEW TILE INSTALLATION AS REQUIRED.
16	GC TO REMOVE EXISTING DOOR AND DOOR FRAME IN ITS ENTIRETY AND PREPARE TO ENCLOSE THE OPENING.
17	REPAIR DAMAGED GLAZED BLOCK AS REQUIRED TO MATCH ADJACENT WALLS.
18	REMOVE EXISTING FLOOR TILE. PREP AND REPAIR EXISTING FLOOR SUBSTRATE FOR NEW WORK.
19	REMOVE EXISTING WALL AS REQUIRED TO PERFORM SCOPE OF WORK. SEE PLUMBING DRAWINGS.
20	REMOVE EXISTING TILE TO CONCRETE FLOOR. PREPARE CONCRETE SURFACE AS REQUIRED TO RECEIVE NEW FLOOR TILE AND DOOR THRESHOLD.
21	REMOVE EXISTING VCT TILE. PREP AND REPAIR CONCRETE FLOOR AS REQUIRED TO RECEIVE NEW FLOOR FINISH.

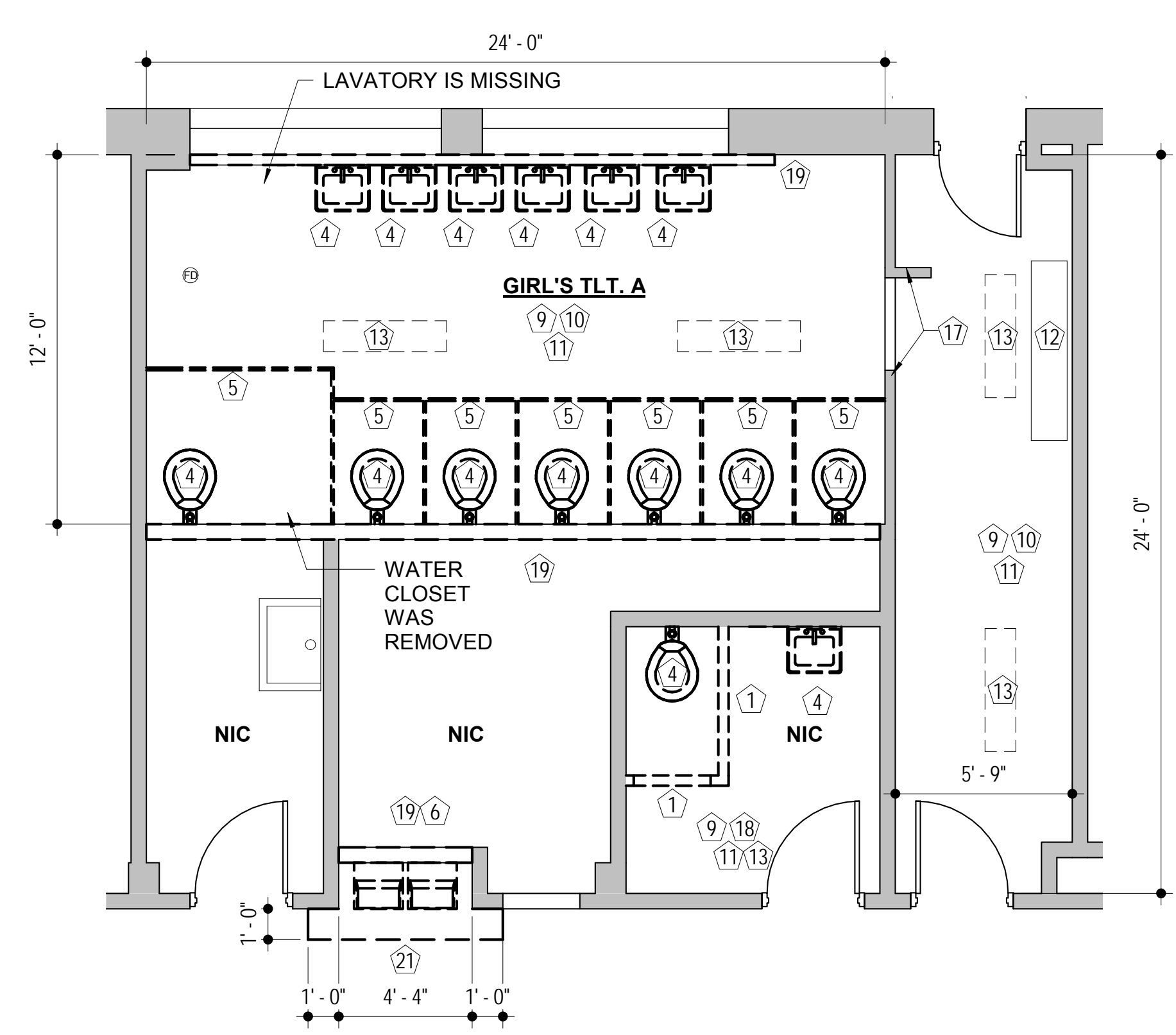
LEGEND: DEMOLITION

- ITEMS TO BE DEMOLISHED
- EXISTING SURFACE MOUNT LIGHT FIXTURE
- ① KEYNOTE - DEMOLITION
- FD FLOOR DRAIN
- EHU EXISTING HVAC UNIT
- NIC NOT IN CONTRACT

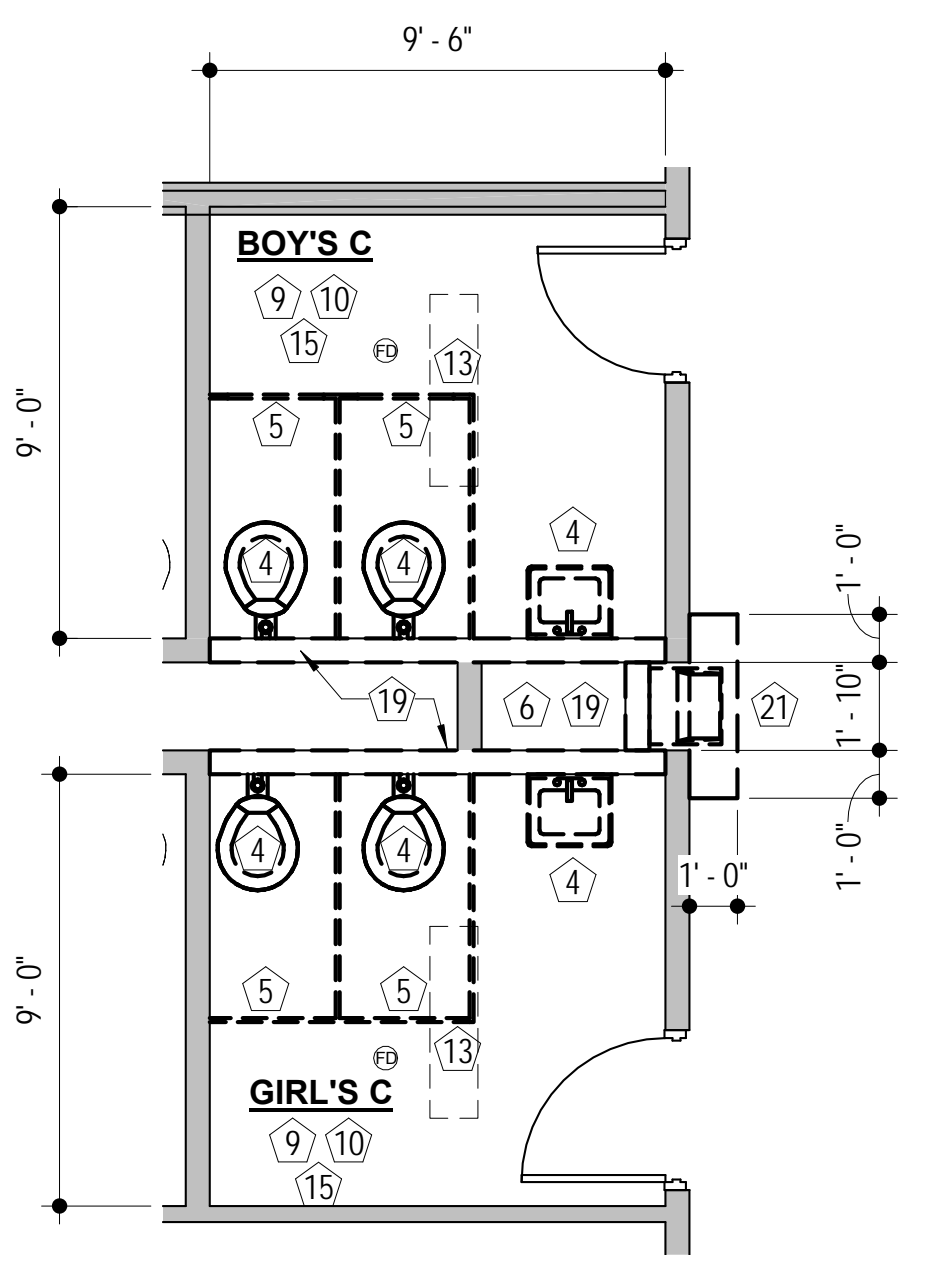
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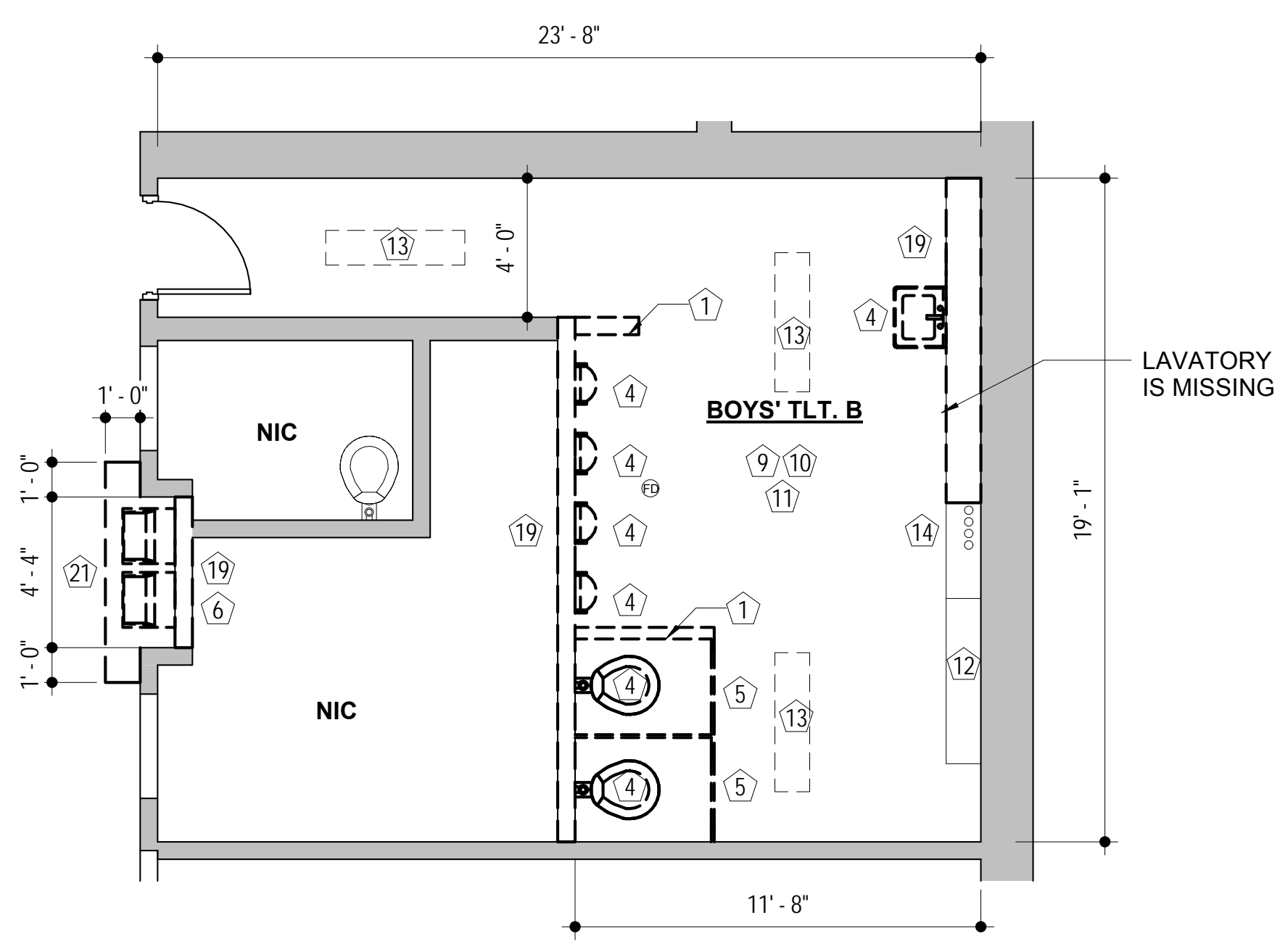
1 ENLARGED PLAN - BASE BID
 AD101R 1/4" = 1'-0"



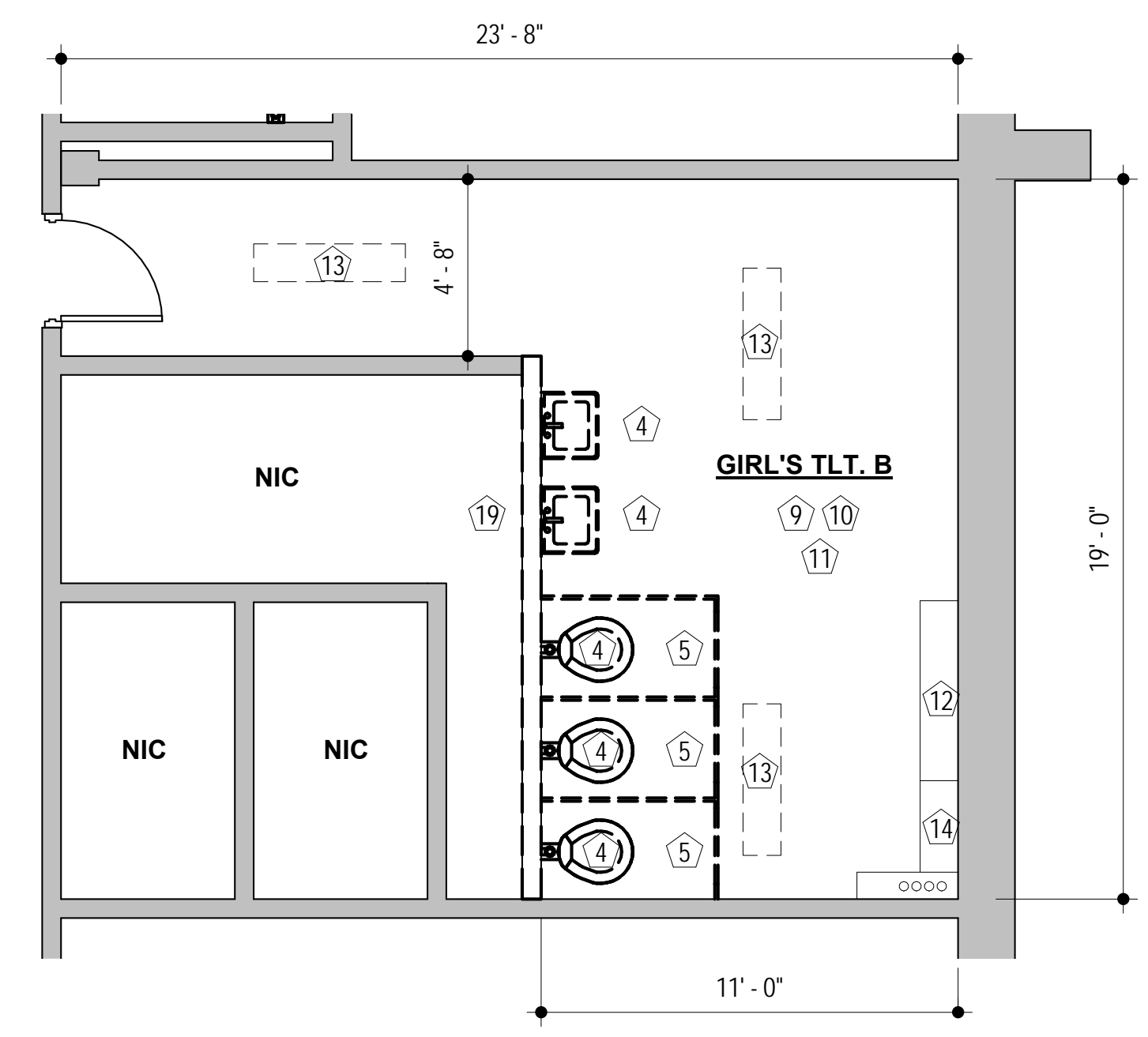
2 ENLARGED PLAN - BASE BID
 AD101R 1/4" = 1'-0"



3 ENLARGED PLAN - BASE BID
 AD101R 1/4" = 1'-0"



4 ENLARGED PLAN - ALT01
 AD101R 1/4" = 1'-0"



5 ENLARGED PLAN - ALT01
 AD101R 1/4" = 1'-0"

GENERAL NOTES

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4. REFER TO PLUMBING DRAWINGS FOR EXTENT OF WATER, GAS, AND SANITARY SEWER LINES THAT WILL NEED TO BE REMOVED, AND OR CAPPED DURING DEMOLITION.

5. REFER TO MECHANICAL DRAWINGS FOR EXTENT OF DUCT WORK, HVAC UNITS, VENT HOODS, EXHAUST VENT THAT WILL NEED TO BE REMOVED DURING DEMOLITION.

6. REFER TO ELECTRICAL DRAWINGS FOR EXTENT OF ITEMS THAT WILL NEED TO BE REMOVED OR RELOCATED DURING DEMOLITION.

7. GC TO PROVIDE FLOOR PATCH AND REPAIR WHERE ALL EXISTING FLOOR BOXES, PIPING, MECHANICAL REMOVED AS REQUIRED FOR INSTALLATION OF NEW WORK.

8. **BASE BID.** THE SCOPE OF WORK CONSISTS OF INSTALLING NEW PLUMBING FIXTURES, TOILET ACCESSORIES, NEW WALL TILE ON THE WET WALLS, PAINTING THE EXISTING WALL THAT DOES NOT RECEIVE NEW WALL TILE, LIGHT FIXTURES, AND NEW FLOOR FINISH IN THE RESTROOM AREA FOR THE 2 STORY PORTION OF THE BUILDING DESIGNATED AS MAIN BUILDING BASE BID (ROOMS: BOY TLT A 101, GIRL TLT A 104, STAFF ADA 102, STUDENT ADA 105, BOY TLT D 203, GIRL TLT D 204, STUDENT ADA 207, STAFF ADA 208).

9. **ADD ALTERNATE 01.** THE SCOPE OF WORK CONSISTS OF INSTALLING NEW PLUMBING FIXTURES, TOILET ACCESSORIES, NEW WALL TILE ON THE WET WALLS, PAINTING THE EXISTING WALL THAT DOES NOT RECEIVE NEW WALL TILE, LIGHT FIXTURES, AND NEW FLOOR FINISH IN THE RESTROOM AREA FOR THE 1 STORY PORTION OF THE BUILDING DESIGNATED AS WEST WING ADD ALTERNATE 01 (ROOMS: BOY TLT B 107, GIRL TLT B 108, BOY TLT E 208, GIRL TLT E 206).

10. **ADD ALTERNATE 02.** THE SCOPE OF WORK IS AS FOLLOWS: ALL WALLS IN THE RESTROOMS ARE TO BE TILED TO THE HEIGHT OF EXISTING DECK OR STRUCTURE. SEE ALTERNATE ELEVATION FOR ADDITIONAL INFORMATION. REFER TO TYPICAL TILE ELEVATION FOR TILE LAYOUT.

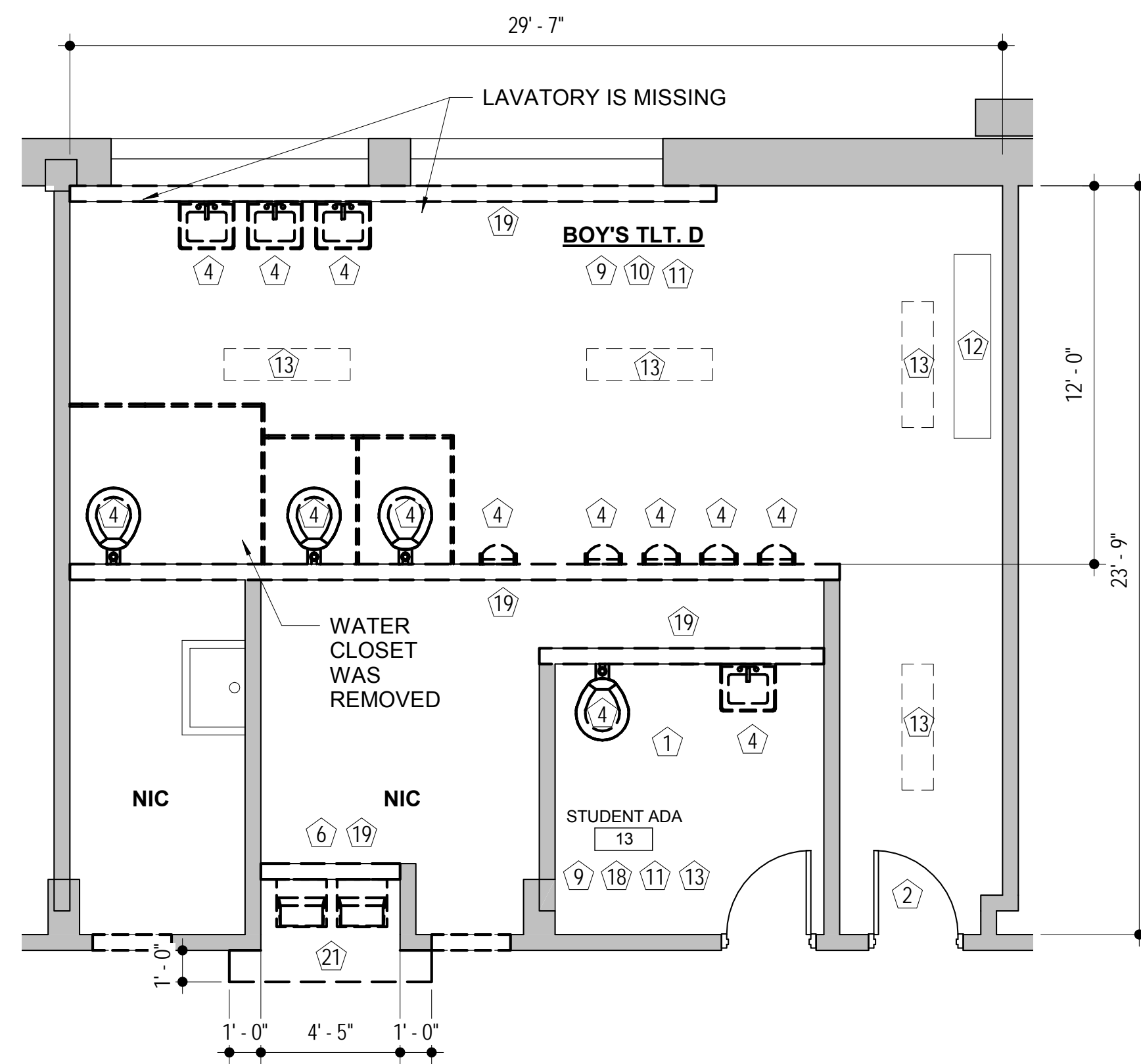
(NOTE: DOTTED LINES ON PLANS INDICATES THE ALTERNATE SCOPE OF WORK.)

DEMOLITION KEY NOTES

1	REMOVE EXISTING WALL AS REQUIRED. GC TO PREPARE SURFACE FOR NEW WALL INSTALLATION.
2	CLEAN AND PREPARE DOOR AND DOOR FRAME TO RECEIVE NEW PAINT.
3	REMOVE EXISTING MILLWORK IN ITS ENTIRETY.
4	REMOVE EXISTING PLUMBING FIXTURE AND ALL OF ITS COMPONENTS.
5	REMOVE EXISTING TOILET PARTITION AND GRAB BARS.
6	REMOVED EXISTING EDF. PREPARE OPENING FOR NEW EDF. PATCH AND REPAIR WALL AS REQUIRED TO RECEIVE NEW WORK.
7	REMOVE EXISTING STOREFRONT. PREPARE OPENING FOR NEW STOREFRONT SYSTEM. PATCH AND PAINT WALL AS REQUIRED.
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9	REMOVE LOOSE AND PEELING PAINT. REPAIR ANY DAMAGES IN THE CEILING PRIOR TO NEW PAINT. CLEAN AND PREPARE STRUCTURAL CONCRETE BEAM, COLUMN AND CEILING FOR NEW PAINT. GC TO REMOVE AND REINSTALL HVAC VENT AS REQUIRED.
10	CLEAN AND PREPARE EXISTING TILE FLOORING FOR NEW EPOXY COATING.
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12	EXISTING HVAC UNIT TO BE REMOVED AND REINSTALLED AS REQUIRED FOR NEW WALL AND FLOOR FINISHES.
13	EXISTING LIGHT FIXTURE TO BE REMOVED. GC TO PREPARE TO INSTALL NEW LIGHT FIXTURE AS REQUIRED.
14	GC TO PROTECT EXISTING CHILL WATER SUPPLY AND RETURN AS REQUIRED.
15	EXISTING WALL TILES TO BE REMOVED. GC TO PATCH AND CLEAN SURFACE FOR NEW TILE INSTALLATION AS REQUIRED.
16	GC TO REMOVE EXISTING DOOR AND DOOR FRAME IN ITS ENTIRETY AND PREPARE TO ENCLOSE THE OPENING.
17	REPAIR DAMAGED GLAZED BLOCK AS REQUIRED TO MATCH ADJACENT WALLS.
18	REMOVE EXISTING FLOOR TILE. PREP AND REPAIR EXISTING FLOOR SUBSTRATE FOR NEW WORK.
19	REMOVE EXISTING WALL AS REQUIRED TO PERFORM SCOPE OF WORK. SEE PLUMBING DRAWINGS.
20	REMOVE EXISTING TILE TO CONCRETE FLOOR. PREPARE CONCRETE SURFACE AS REQUIRED TO RECEIVE NEW FLOOR TILE AND DOOR THRESHOLD.
21	REMOVE EXISTING VCT TILE. PREP AND REPAIR CONCRETE FLOOR AS REQUIRED TO RECEIVE NEW FLOOR FINISH.

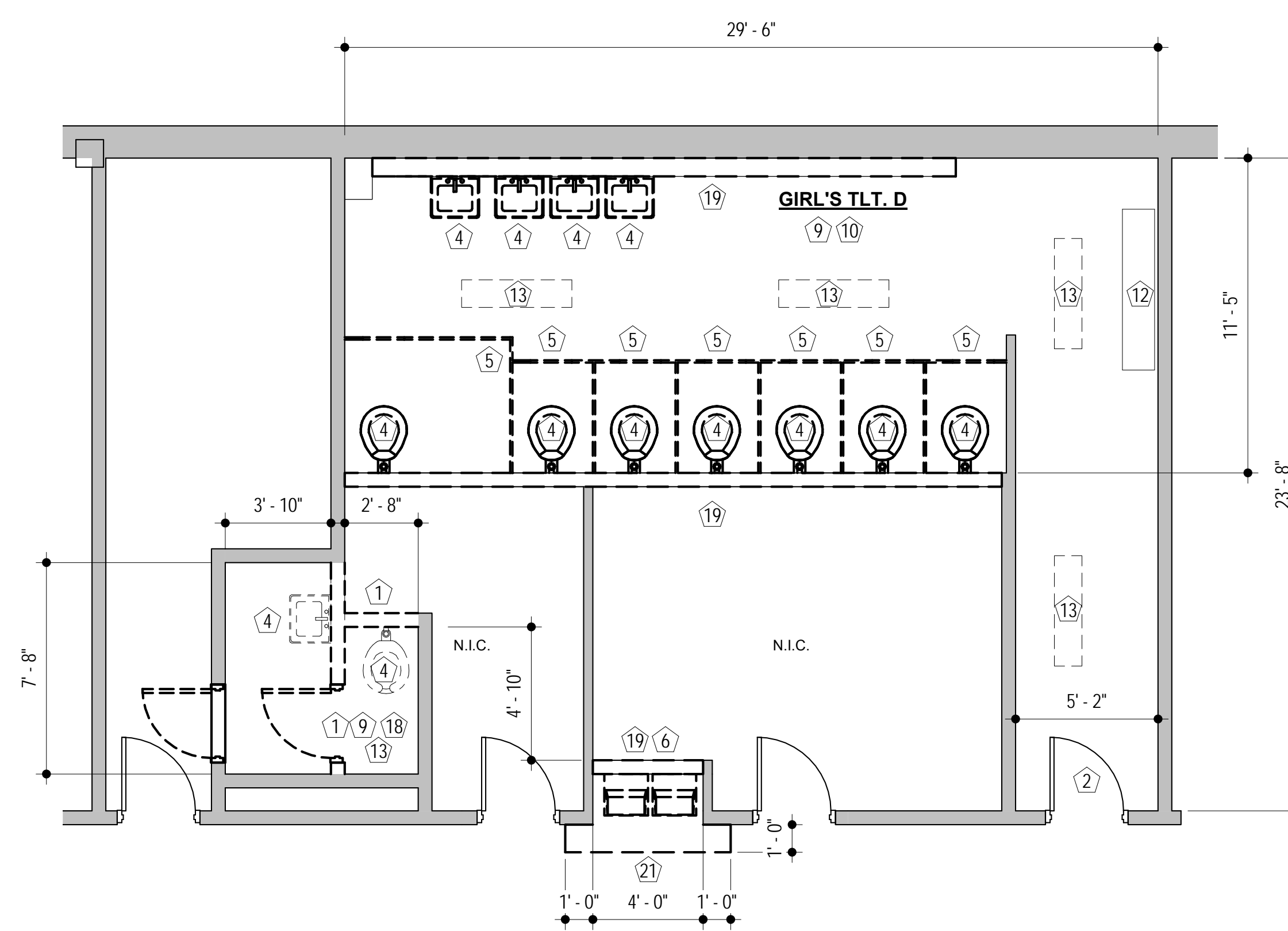
LEGEND: DEMOLITION

	ITEMS TO BE DEMOLISHED
	EXISTING SURFACE
	MOUNT LIGHT FIXTURE
	KEYNOTE - DEMOLITION
FD	FLOOR DRAIN
EHU	EXISTING HVAC UNIT
NIC	NOT IN CONTRACT



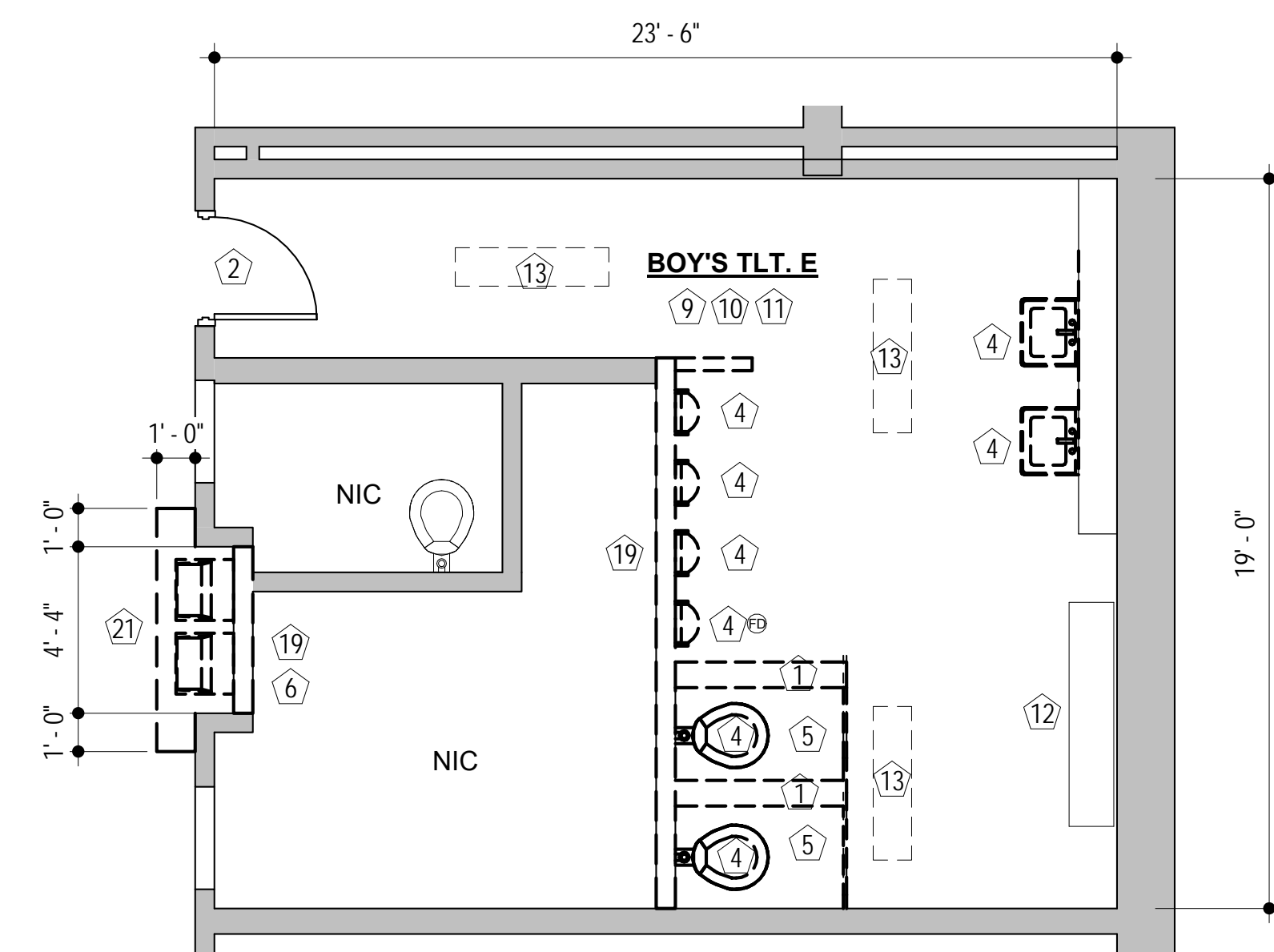
1 ENLARGED PLAN - BASE BID

AD102R 1/4" = 1'-0"



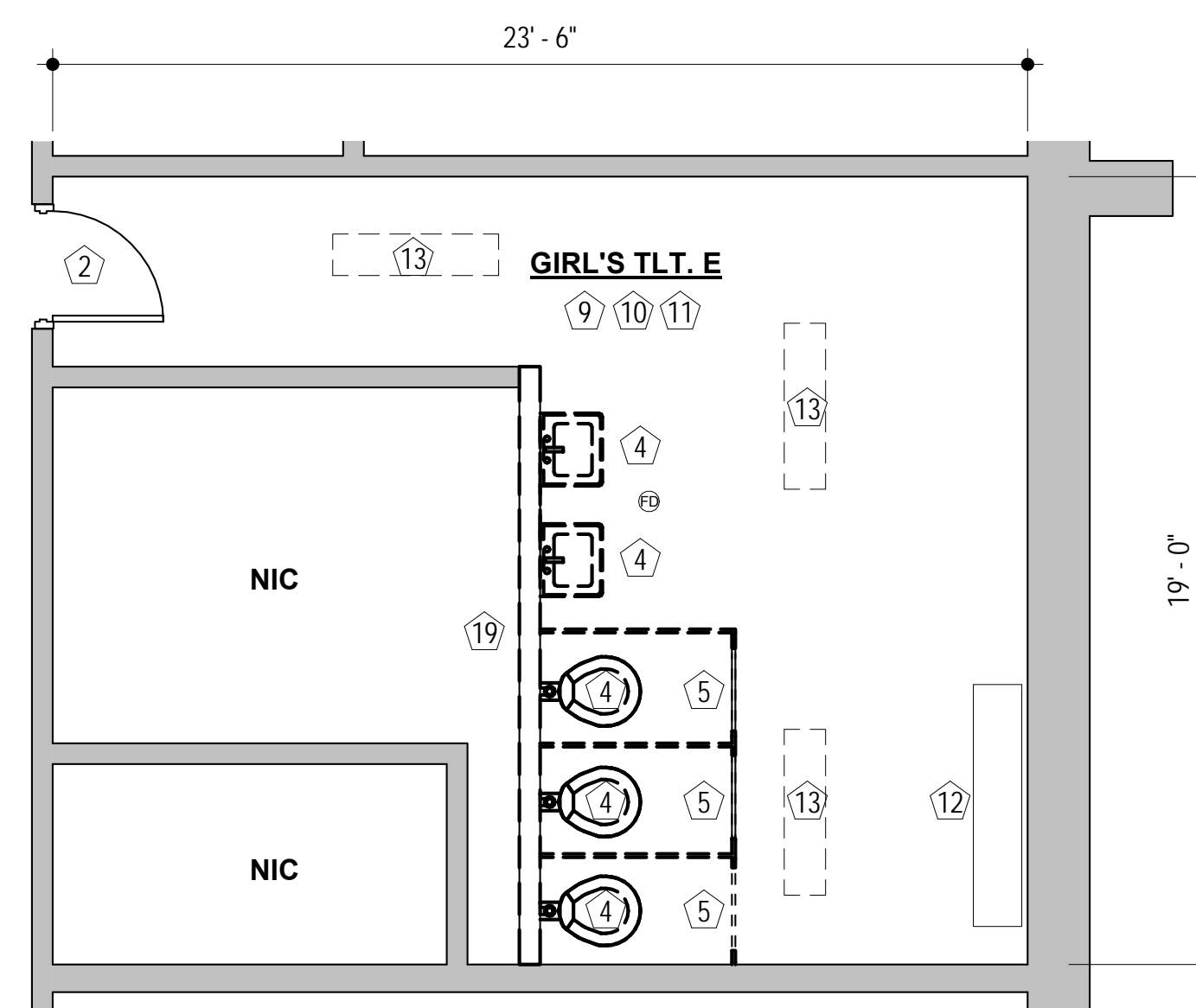
2 ENLARGED PLAN - BASE BID

AD102R 1/4" = 1'-0"



3 ENLARGED PLAN - ALT01

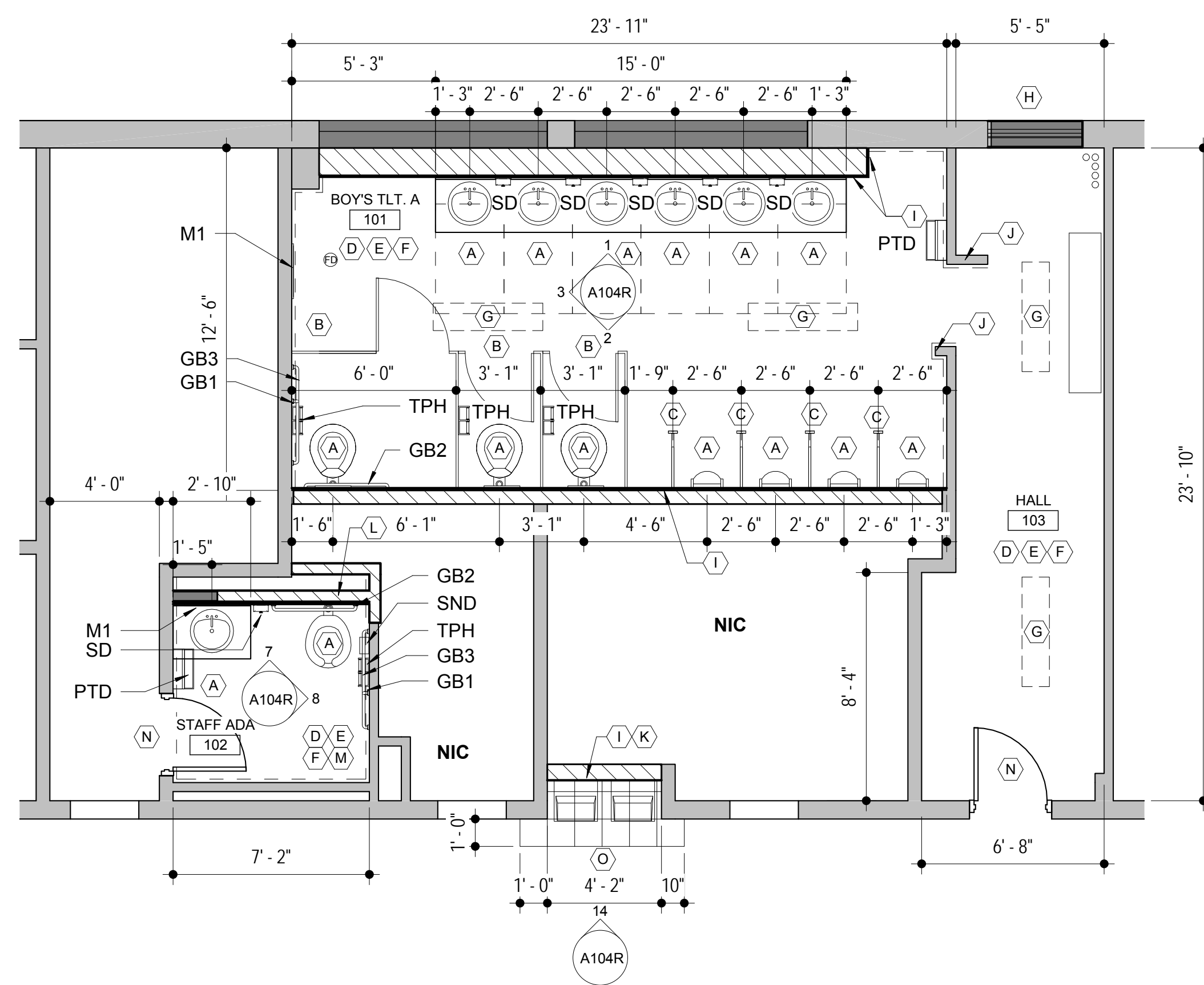
AD102R 1/4" = 1'-0"



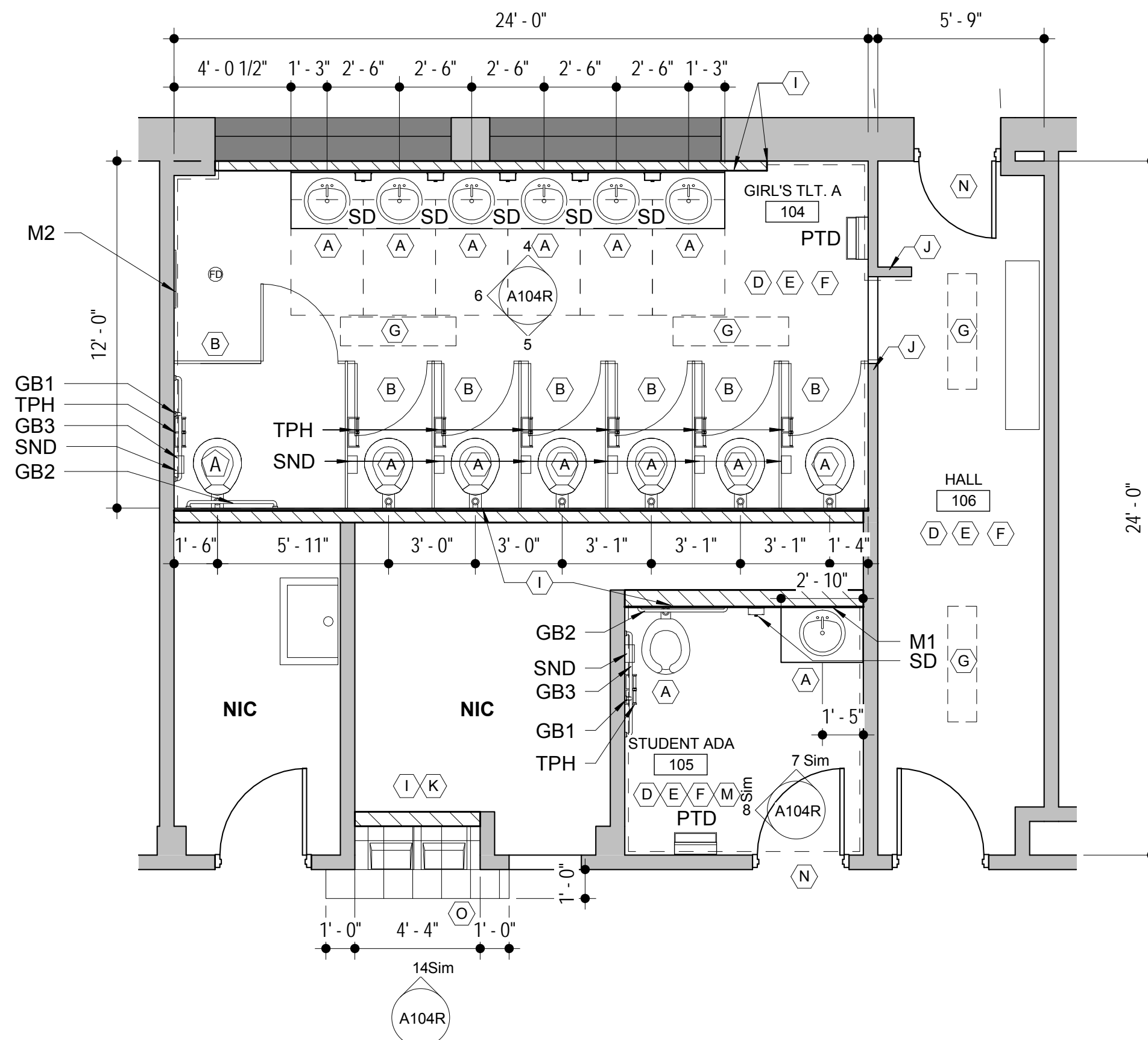
4 ENLARGED PLAN - ALT01

AD102R 1/4" = 1'-0"





1 ENLARGED PLAN - BASE BID
A101R 1/4" = 1'-0"



2 ENLARGED PLAN - BASE BID
A101R 1/4" = 1'-0"

GENERAL NOTES

- ALL DIMENSIONS ARE TO THE OUTSIDE FACE OF EXISTING WALL UNLESS NOTED OTHERWISE. CONTRACTOR IS TO FIELD VERIFY ALL DIMENSIONS.
- ALL PARTITIONS ARE TO EXTEND TO THE DECK UNLESS NOTED OTHERWISE.
- REFER TO PLUMBING AND ELECTRICAL SHEETS FOR ADDITIONAL REQUIREMENTS.
- REFER TO SHEETS A105-A107 FOR INTERIOR ELEVATIONS.
- THE FINISH FLOOR WILL BE REFERENCED AS 0'-0" AND ALL OTHER FLOOR ELEVATIONS, CEILING, ETC. WILL BE REFERENCED FROM THAT ELEVATION OR CORRESPONDING LEVEL.
- BASE BID.** THE SCOPE OF WORK CONSISTS OF INSTALLING NEW PLUMBING FIXTURES, TOILET ACCESSORIES, NEW WALL TILE ON THE WET WALLS, PAINTING THE EXISTING WALL THAT DOES NOT RECEIVE NEW WALL TILE, LIGHT FIXTURES, AND NEW FLOOR FINISH IN THE RESTROOM AREA FOR THE 2 STORY PORTION OF THE BUILDING DESIGNATED AS MAIN BUILDING BASE BID (ROOMS: BOY TLT A 101, GIRL TLT A 104, STAFF ADA 102, STUDENT ADA 105, BOY TLT D 203, GIRL TLT D 204, STUDENT ADA 207, STAFF ADA 208).
- ADD ALTERNATE 01.** THE SCOPE OF WORK CONSISTS OF INSTALLING NEW PLUMBING FIXTURES, TOILET ACCESSORIES, NEW WALL TILE ON THE WET WALLS, PAINTING THE EXISTING WALL THAT DOES NOT RECEIVE NEW WALL TILE, LIGHT FIXTURES, AND NEW FLOOR FINISH IN THE RESTROOM AREA FOR THE 1 STORY PORTION OF THE BUILDING DESIGNATED AS WEST WING ADD ALTERNATE 01 (ROOMS: BOY TLT B 107, GIRL TLT B 108, BOY TLT E 208, GIRL TLT E 206).
- ADD ALTERNATE 02.** THE SCOPE OF WORK IS AS FOLLOWS: ALL WALLS IN THE RESTROOMS ARE TO BE TILED TO THE HEIGHT OF EXISTING DECK OR STRUCTURE. SEE ALTERNATE ELEVATION FOR ADDITIONAL INFORMATION. REFER TO TYPICAL TILE ELEVATION FOR TILE LAYOUT.

LEGEND

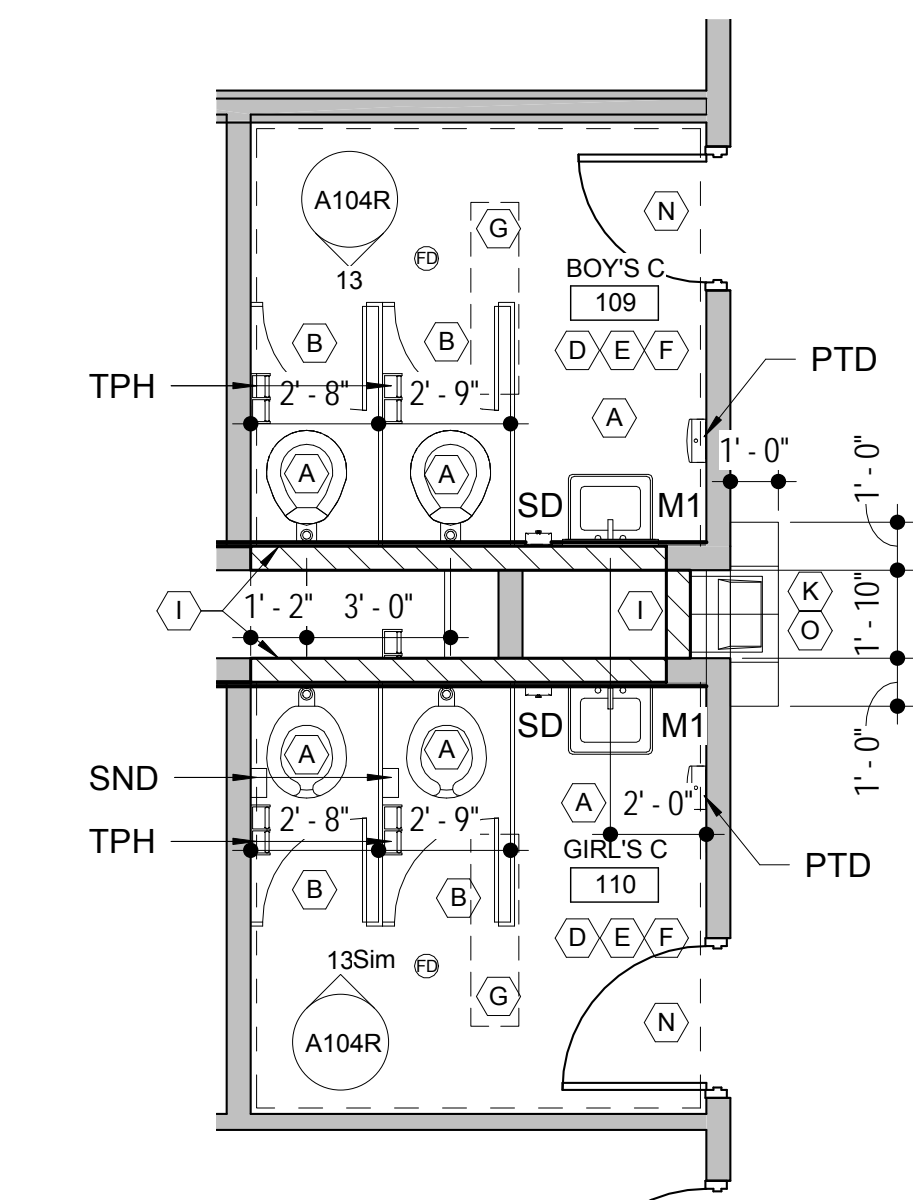
- NIC NOT IN CONTRACT
- FD FLOOR DRAIN

CONSTRUCTION GENERAL NOTES

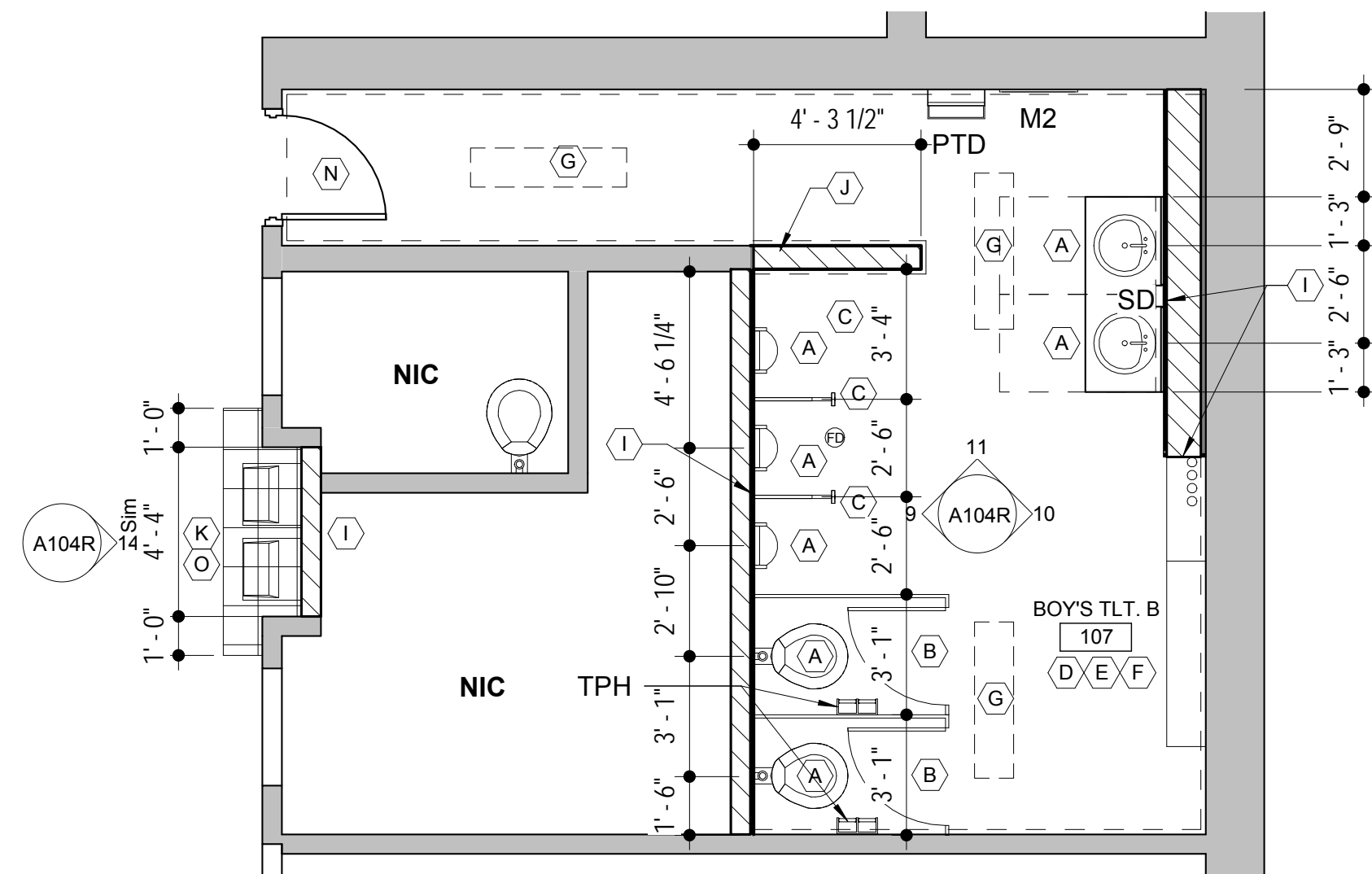
- A PROVIDE NEW PLUMBING FIXTURE
- B PROVIDE NEW TOILET PARTITIONS, GRAB BARS AND TOILET ACCESSORIES.
- C PROVIDE NEW URINAL PARTITION.
- D PROVIDE NEW EPOXY COATING OVER EXISTING FLOOR TILE.
- E PROVIDE NEW PAINT ON THE EXISTING WALLS THAT ARE NOT RECEIVED WALL TILES. PAINTING WALL TO INCLUDE BUT NOT LIMITED TO EXISTING GLAZED BLOCK WALLS, WALL PANELS, ACCESS PANELS, ETC.
- F PROVIDE NEW PAINT ON THE EXISTING CONCRETE BEAM, COLUMN AND CEILING.
- G PROVIDE NEW LIGHTING FIXTURE. SEE ELEC.
- H PROVIDE NEW WALL TO ENCLOSE THE OPENING. NEW WALL TO MATCH EXISTING ADJACENT WALLS.
- I PROVIDE NEW TILES ON EXISTING WALL. MODIFY THE WALL AS REQUIRED TO INSTALL NEW PLUMBING FIXTURES AND ITS COMPONENTS. GC SHALL INSTALL NEW WALL SUBSTRATE THAT MATCHES THE EXISTING ADJACENT WALL MATERIAL UNLESS OTHERWISE NOTED. GC SHALL COORDINATE THE INSTALLATION OF NEW COMPONENTS WITH THE PLUMBING DRAWINGS.
- J PROVIDE NEW PAINT ON EXISTING WALL. REPAIR BLOCK WALL AS REQUIRED.
- K PROVIDE NEW ELECTRICAL DRINKING FOUNTAIN (EDF) PROVIDE NEW TILE AND ALUMINUM TRIM ON EXISTING WALL. SEE ELEVATION.
- L PROVIDE NEW PLUMBING WALL TO MATCH EXISTING ADJACENT WALLS. INSTALL NEW WALL TILES.
- M PROVIDE NEW CONCRETE LEVELER AS REQUIRED PRIOR TO NEW WORK. INSTALL NEW FLOOR TILE CT2.
- N PROVIDE NEW PAINT ONTO THE INTERIOR FACES OF EXISTING DOOR AND DOOR FRAME. COLOR TO MATCH EXISTING.
- O PROVIDE NEW NEW VCT AS REQUIRED. ADJUST DIMENSION AS NEED TO MATCH EXISTING GRID LAYOUT.

TOILET ACCESSORIES LEGEND

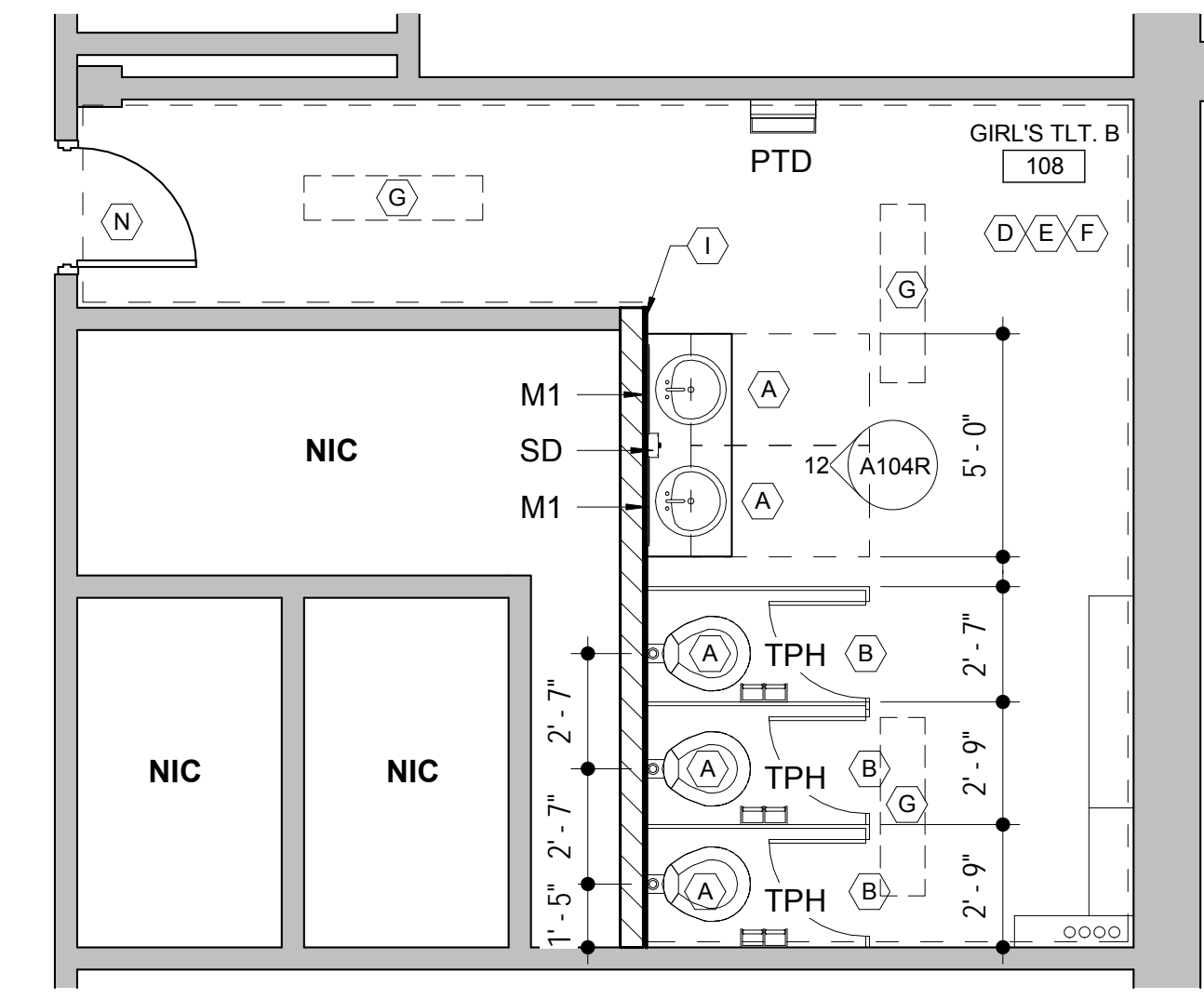
TAG	MFG	TYPE (DESCRIPTION)	MFG#
TPH	BOBRICK	TOILET PAPER HOLDER	B-2740
GB-1	BOBRICK	GRAB BAR - 18" LONG	B-6806.99X18
GB-2	BOBRICK	GRAB BAR - 36" LONG	B-6806.99X36
GB-3	BOBRICK	GRAB BAR - 42" LONG	B-6806.99X42
M1	BOBRICK	MIRROR - 24" X 36"	B-169
M2	BOBRICK	MIRROR - 24" X 72"	B-169
PTD	BOBRICK	PAPER TOWEL DISPENSER/WASTE RECEPTACLE	B-262
SD	BOBRICK	SOAP DISPENSER	B-2112
SND	BOBRICK	SANITARY NAPKIN DISPOSAL	B-270



3 ENLARGED PLAN - BASE BID
A101R 1/4" = 1'-0"



4 ENLARGED PLAN - ALT01
A101R 1/4" = 1'-0"



5 ENLARGED PLAN - ALT01
A101R 1/4" = 1'-0"



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 - ALL PARTITIONS ARE TO EXTEND TO THE DECK UNLESS NOTED OTHERWISE.
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- (NOTE: DOTTED LINES ON PLANS INDICATES THE ALTERNATE SCOPE OF WORK.)

LEGEND

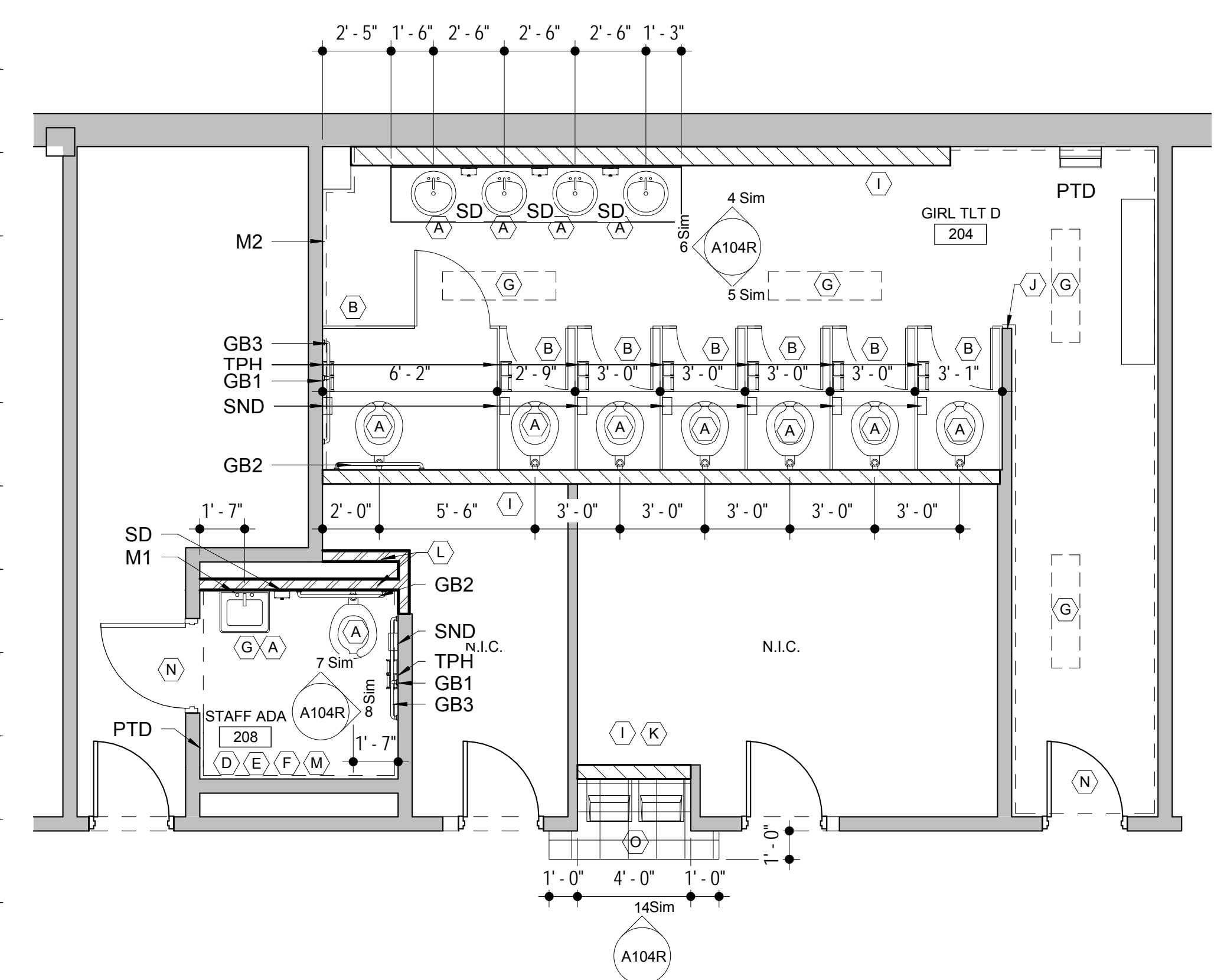
- NIC NOT IN CONTRACT
 FD FLOOR DRAIN

CONSTRUCTION GENERAL NOTES

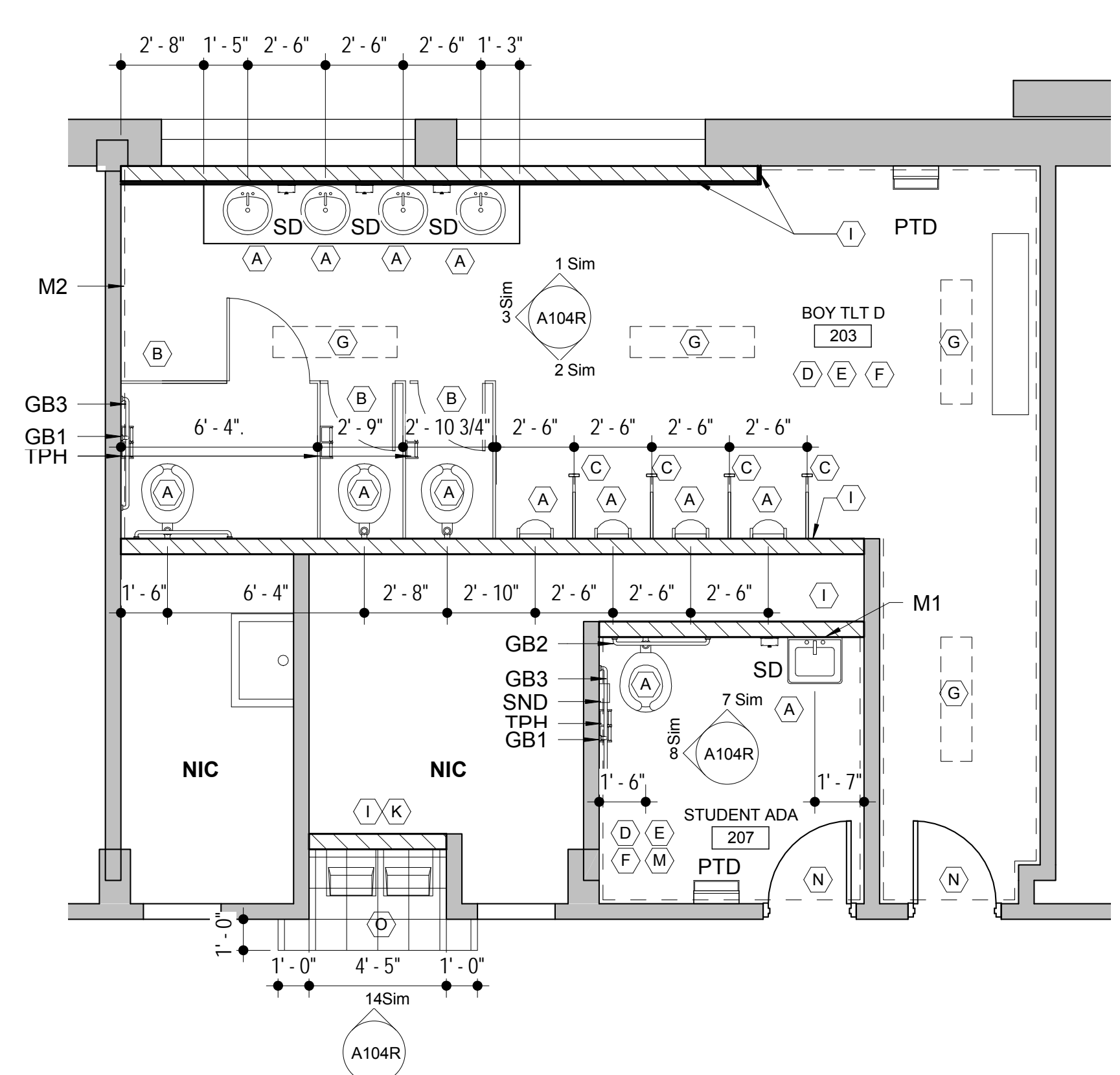
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- O PROVIDE NEW NEW VCT AS REQUIRED. ADJUST DIMENSION AS NEED TO MATCH EXISTING GRID LAYOUT.

TOILET ACCESSORIES LEGEND

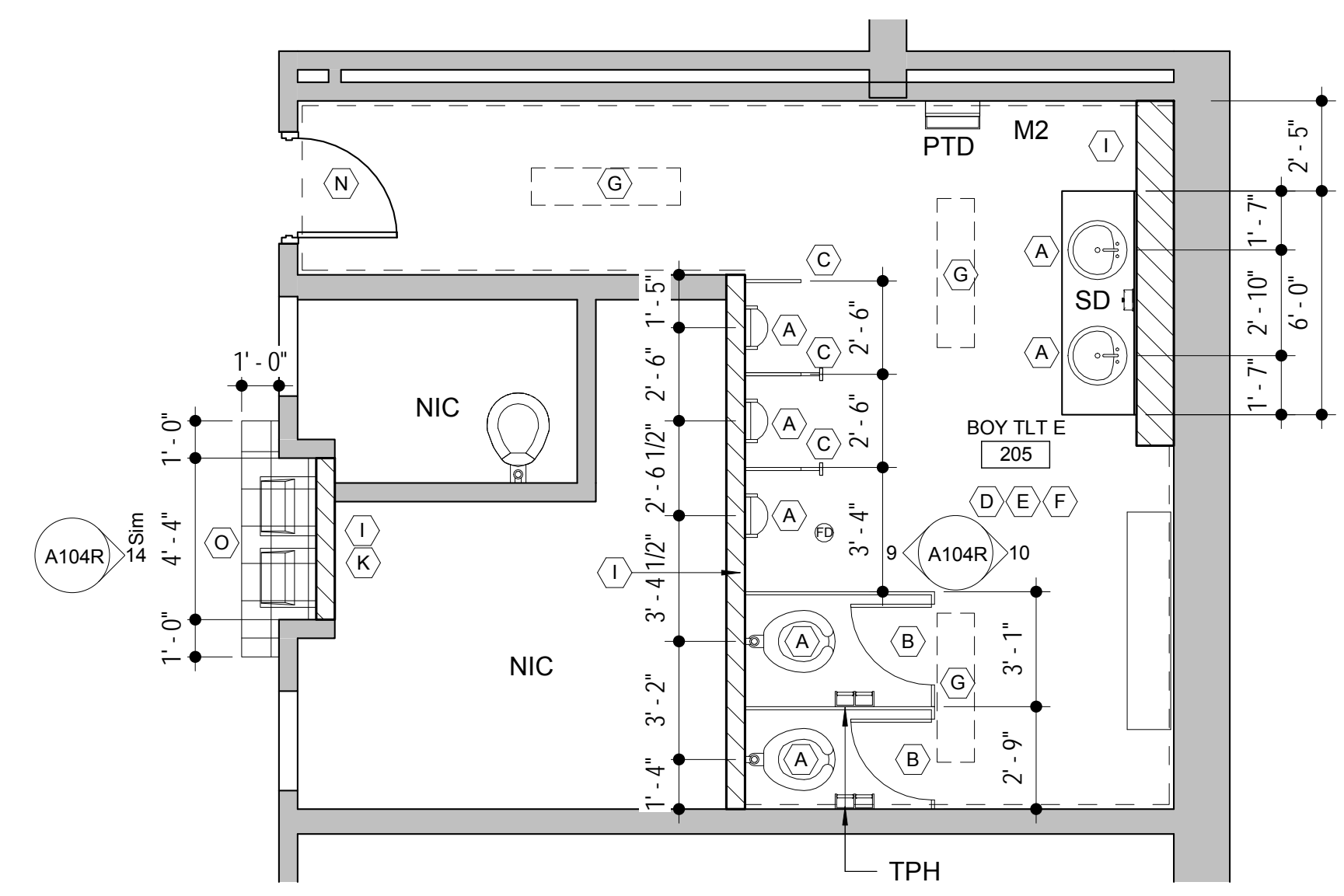
TAG	MFG	TYPE (DESCRIPTION)	MFG#
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GB-3	BOBRICK	GRAB BAR - 42" LONG	B-6806.99X42
M1	BOBRICK	MIRROR - 24" X 36"	B-169
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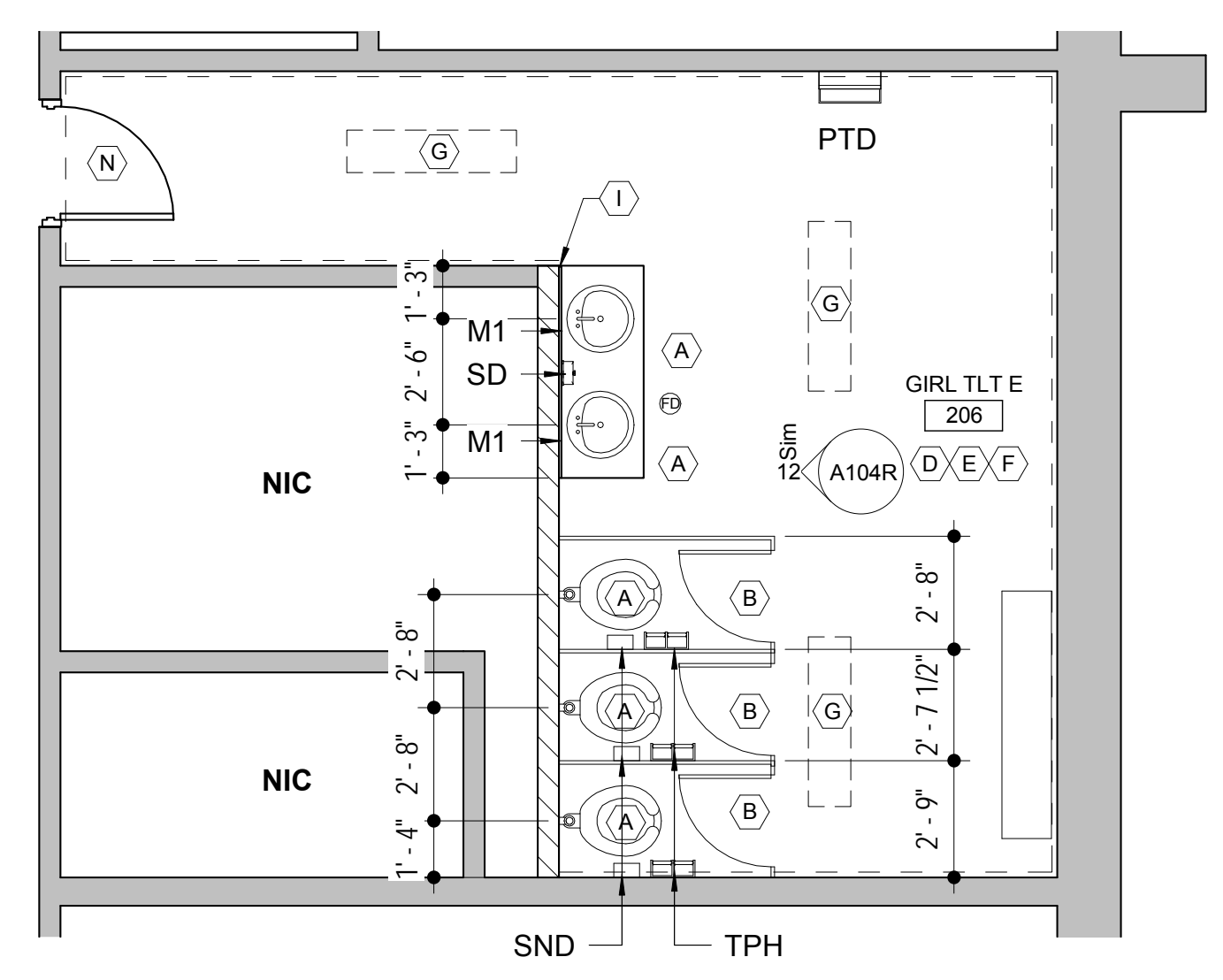
1 ENLARGED PLAN - BASE BID
 A102R 1/4" = 1'-0"



2 ENLARGED PLAN - BASE BID
 A102R 1/4" = 1'-0"

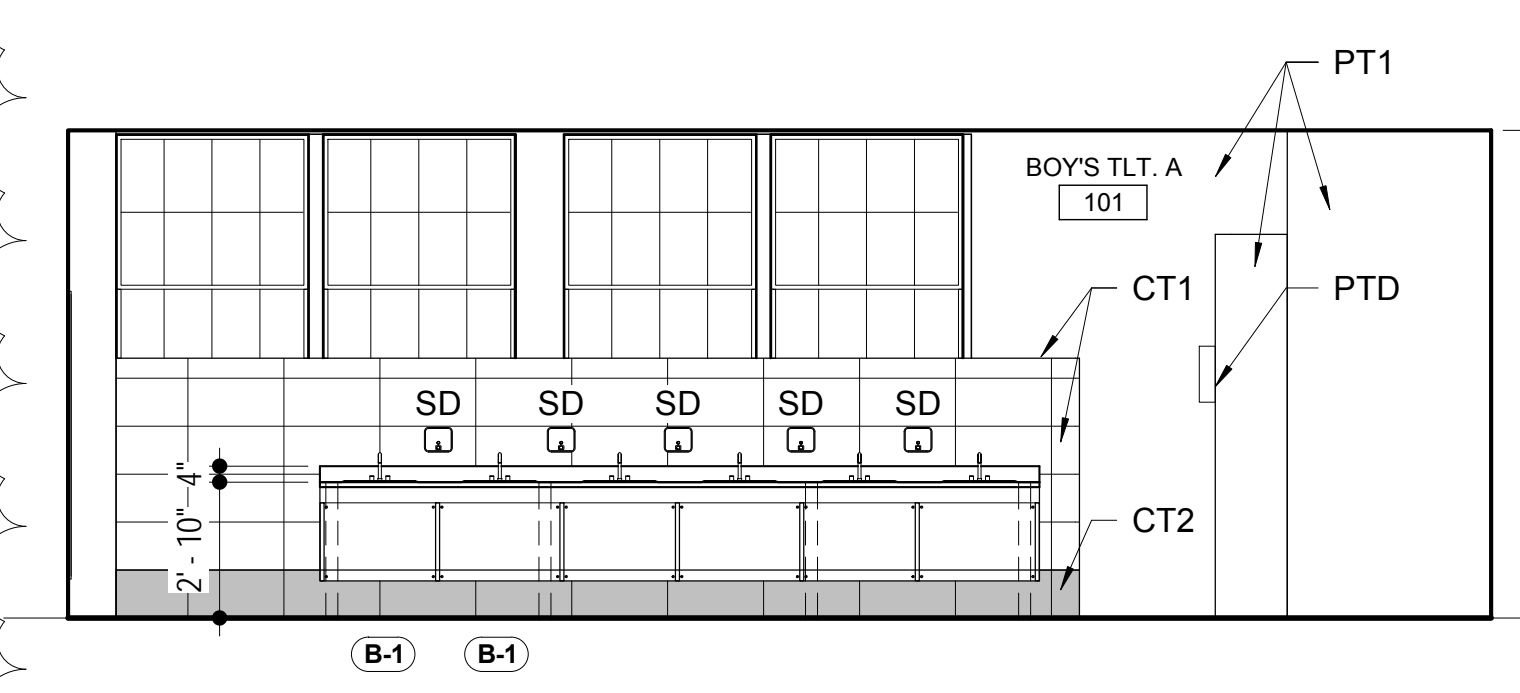


3 ENLARGED PLAN - ALT01
 A102R 1/4" = 1'-0"



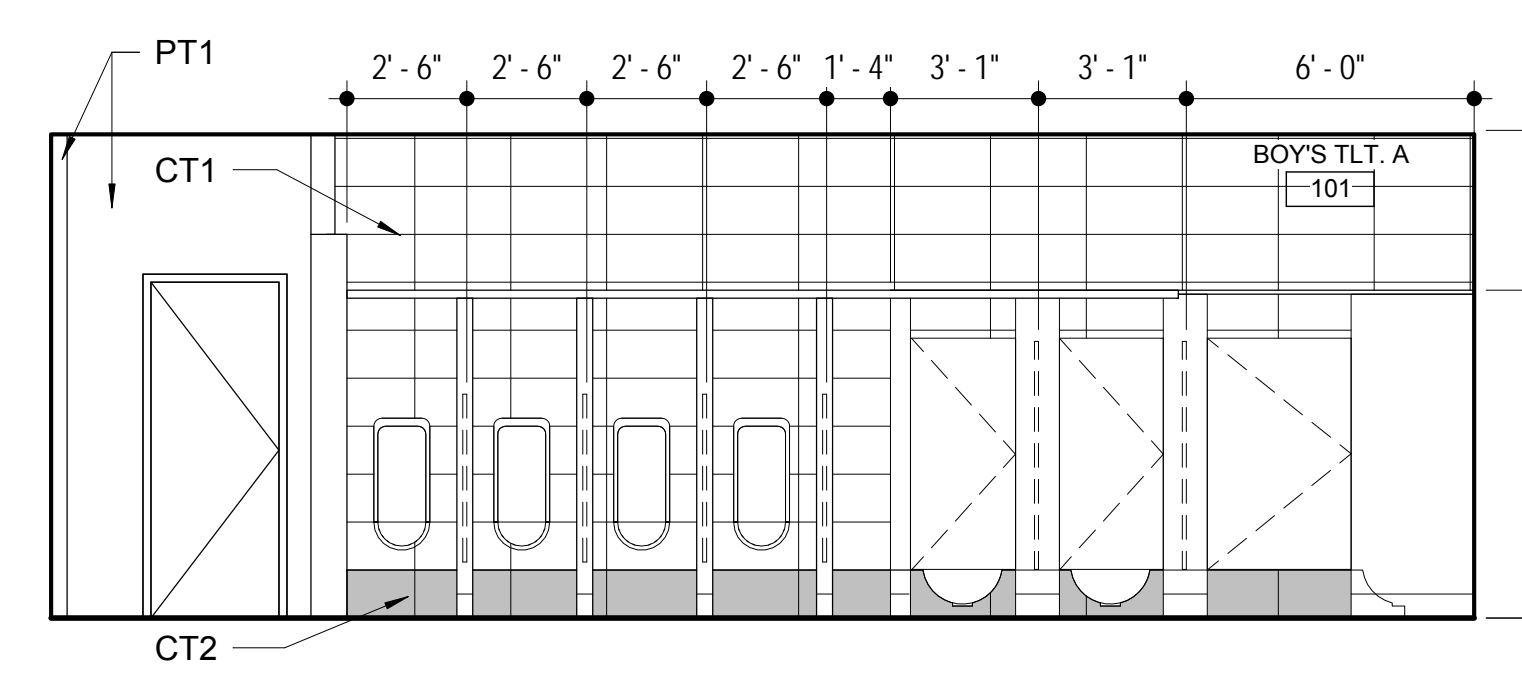
4 ENLARGED PLAN - ALT01
 A102R 1/4" = 1'-0"





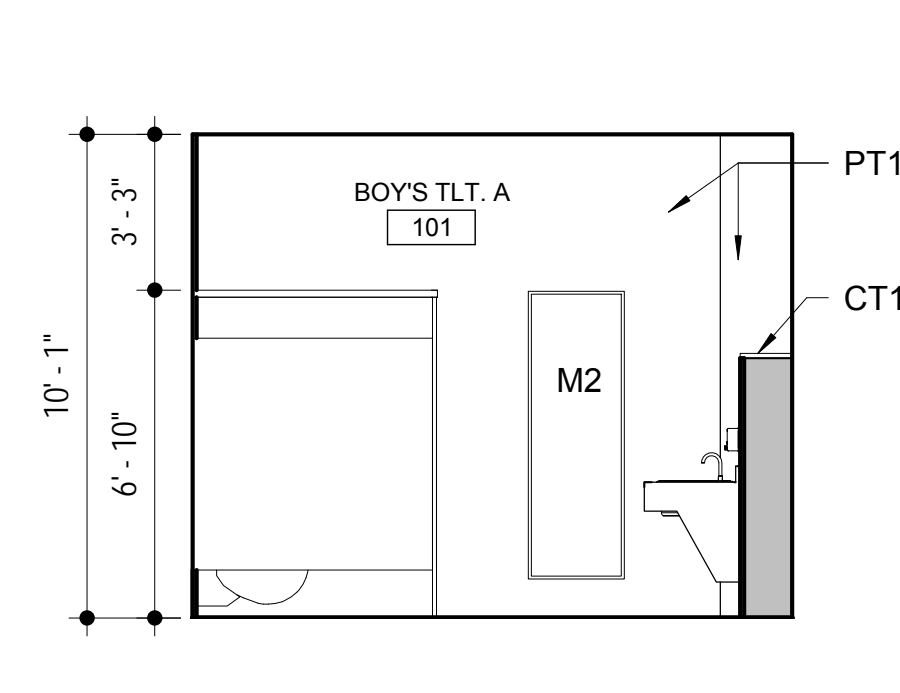
1 ELEVATION

A101R | A104R 1/4" = 1'-0"



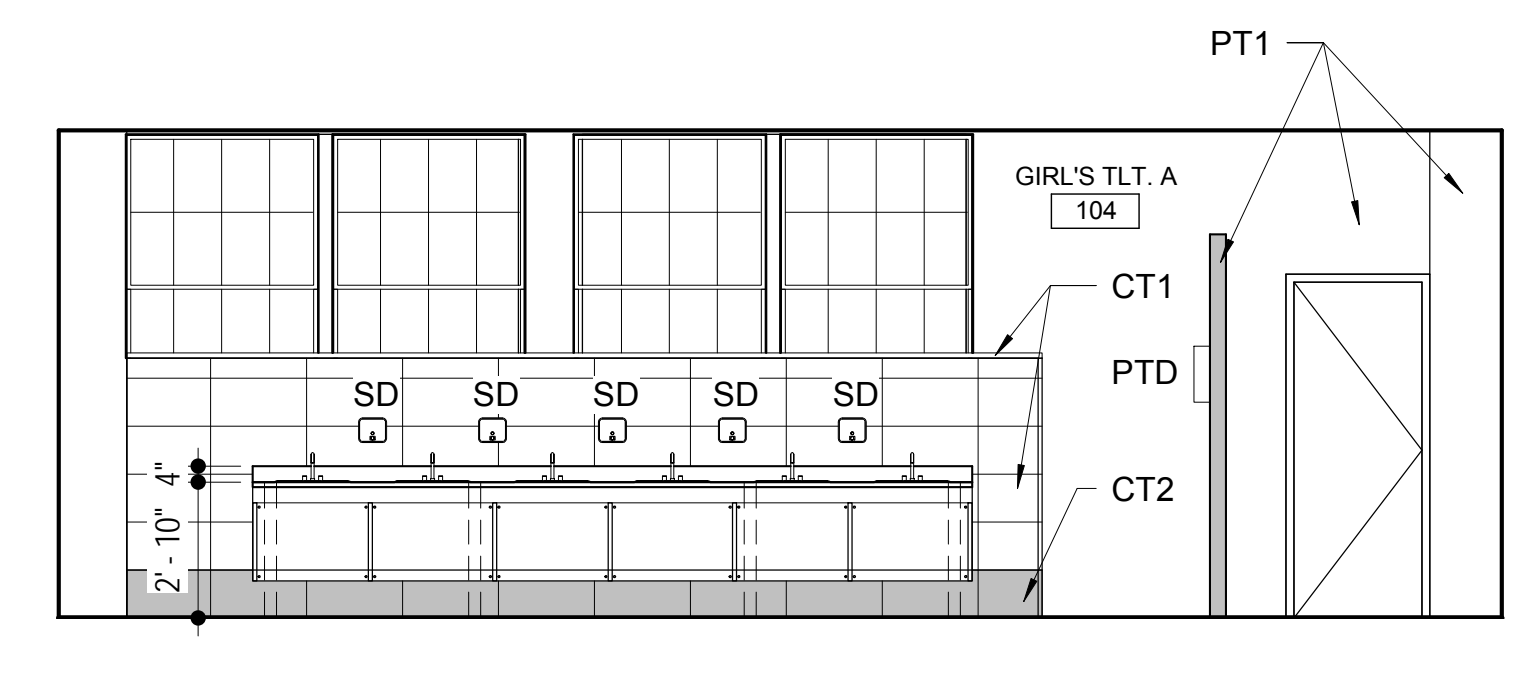
2 ELEVATION

A101R | A104R 1/4" = 1'-0"



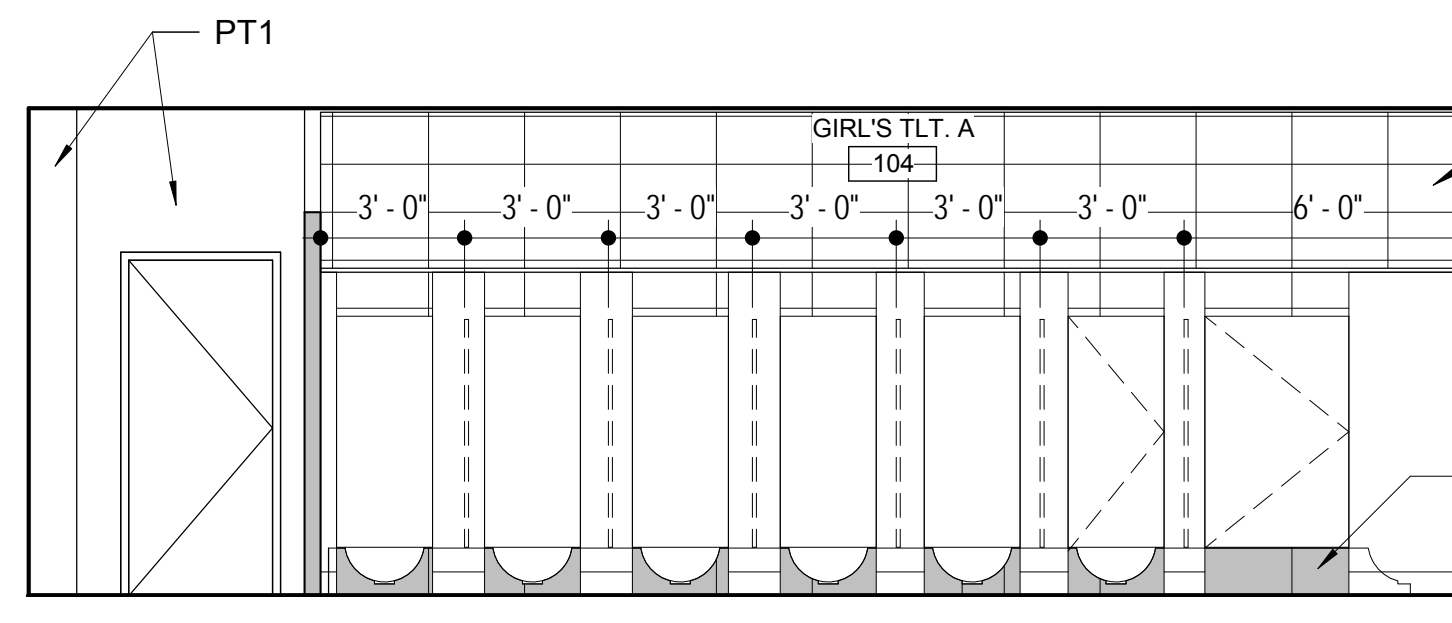
3 ELEVATION

A101R | A104R 1/4" = 1'-0"



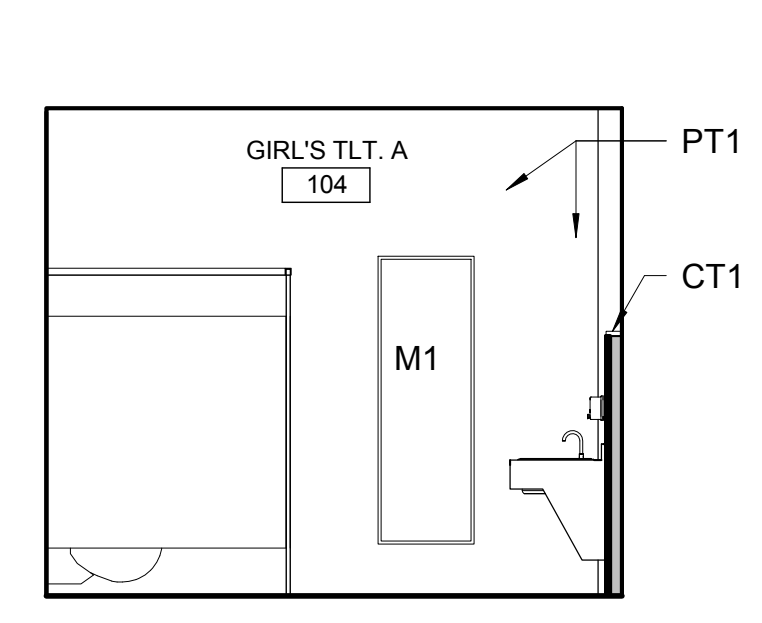
4 ELEVATION

A101R | A104R 1/4" = 1'-0"



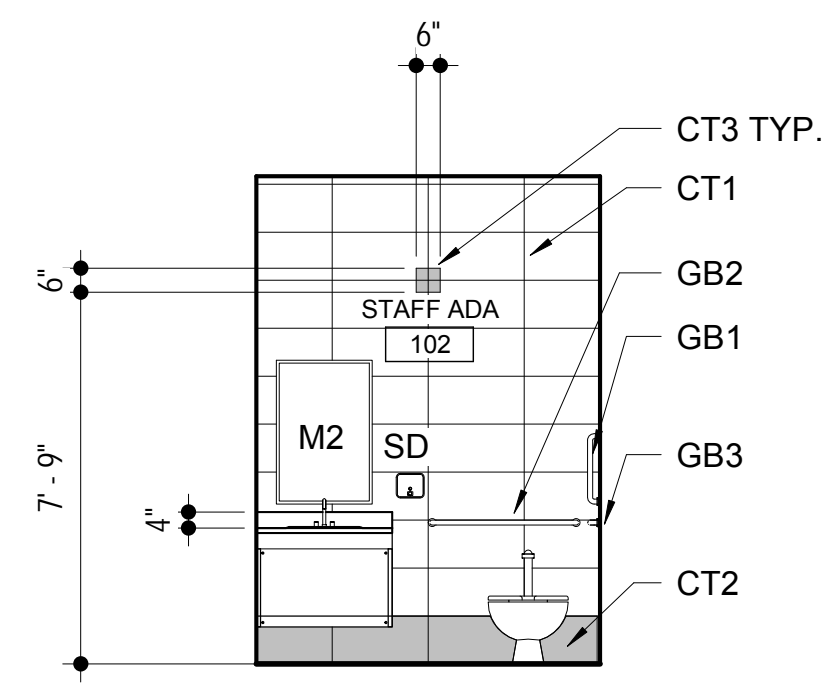
5 ELEVATION

A101R | A104R 1/4" = 1'-0"



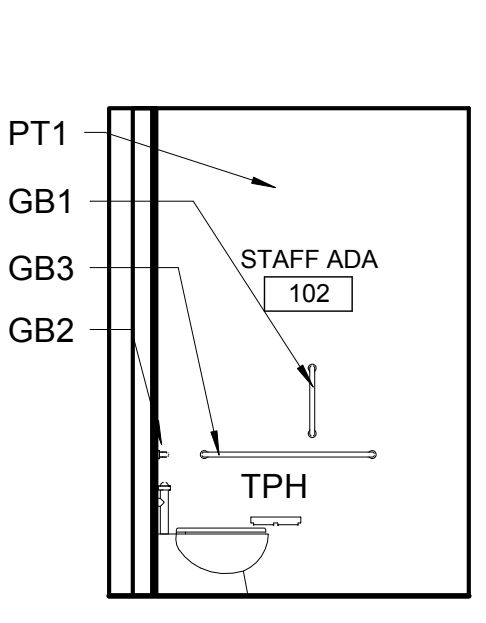
6 ELEVATION

A101R | A104R 1/4" = 1'-0"



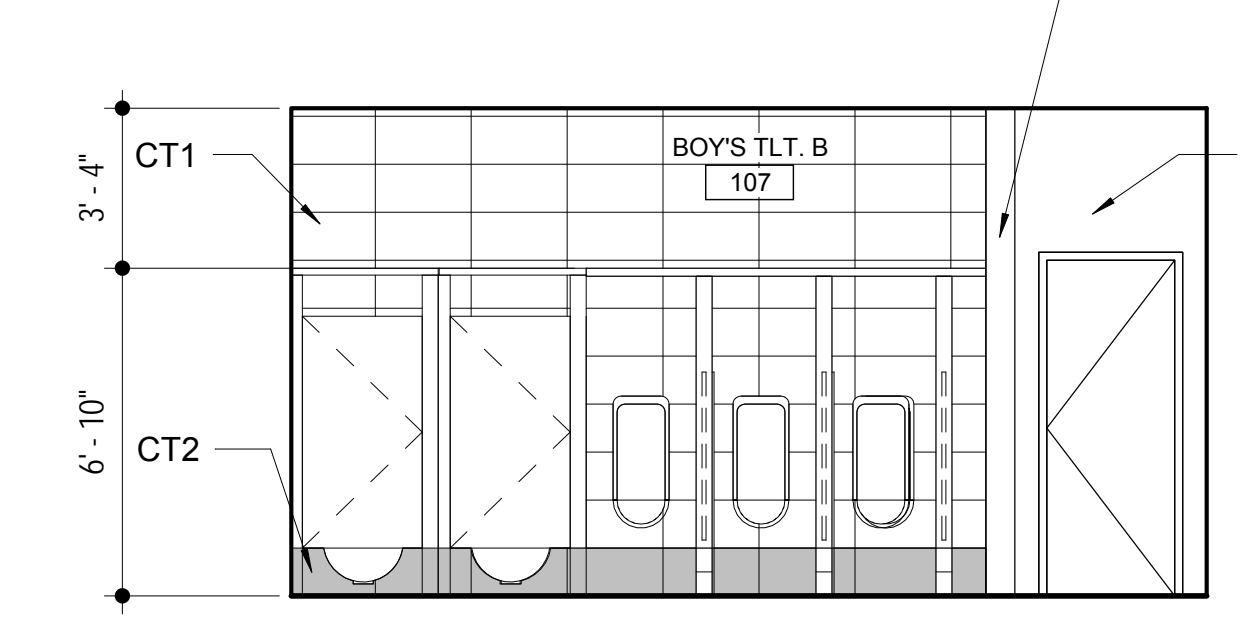
7 ELEVATION

A101R | A104R 1/4" = 1'-0"



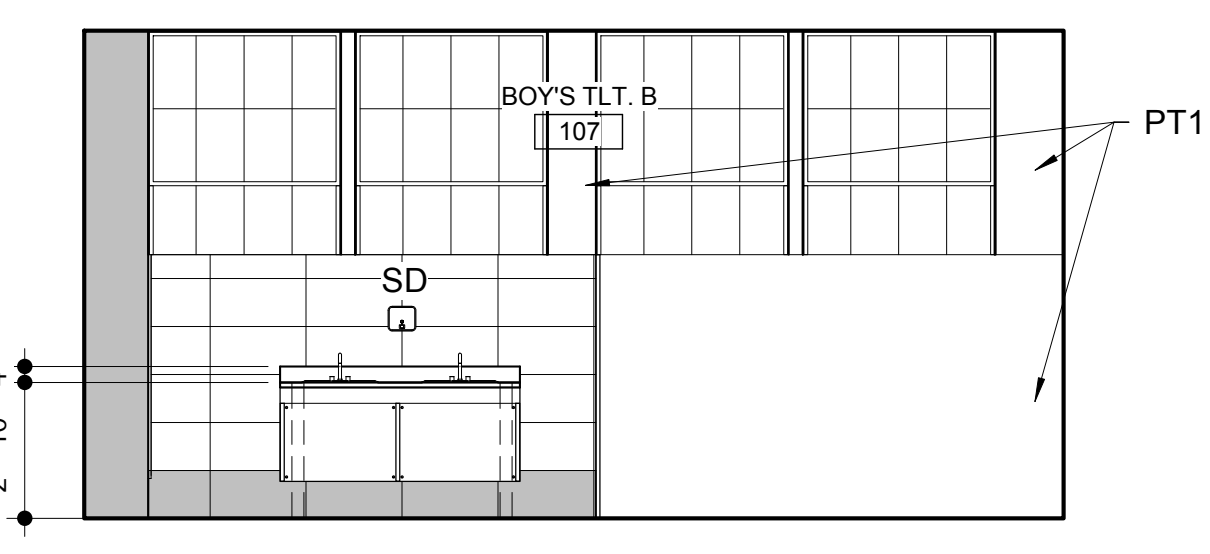
8 ELEVATION

A101R | A104R 1/4" = 1'-0"



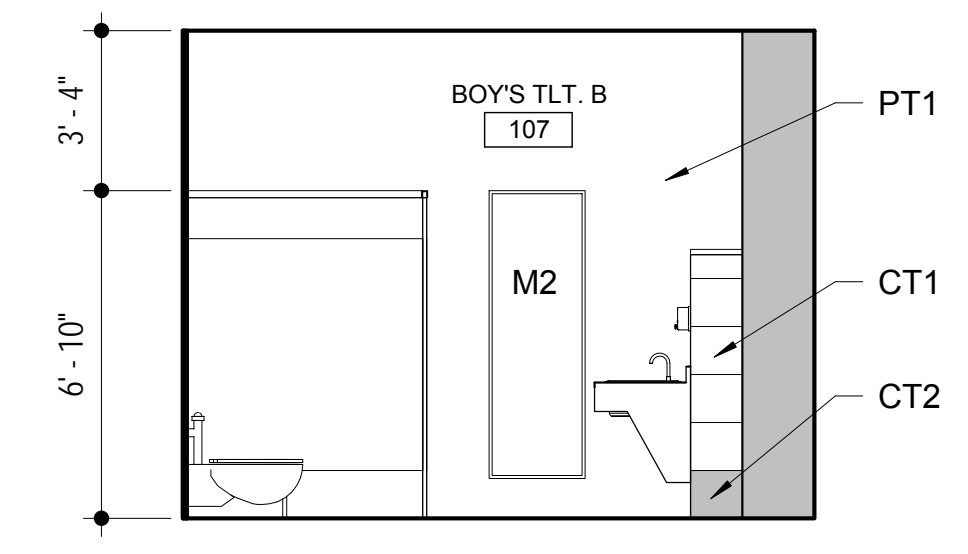
9 ELEVATION

A101R | A104R 1/4" = 1'-0"



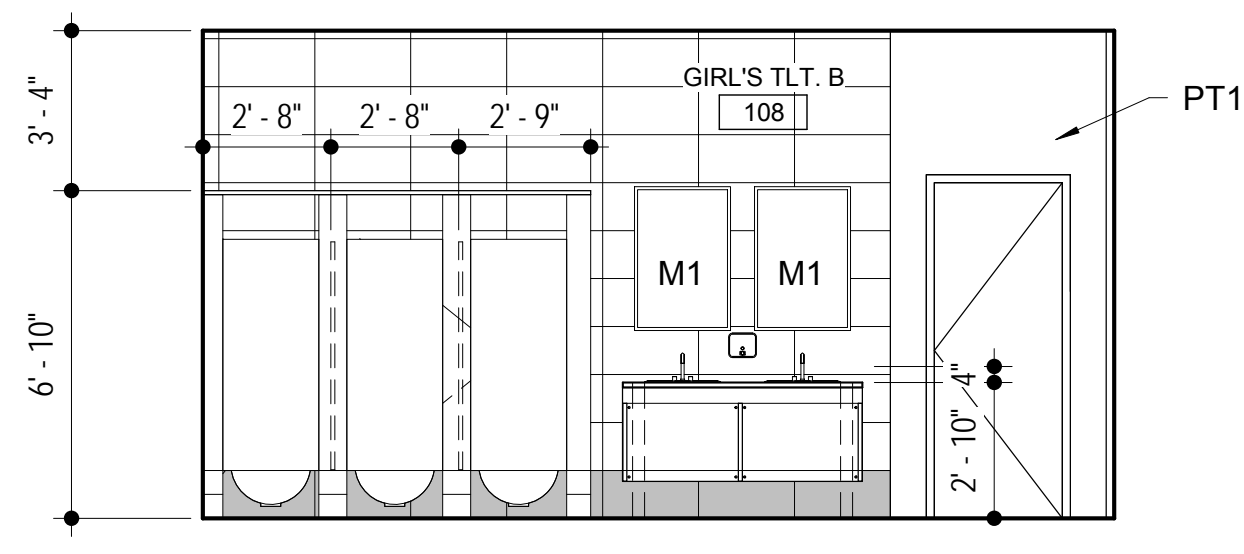
10 ELEVATION

A101R | A104R 1/4" = 1'-0"



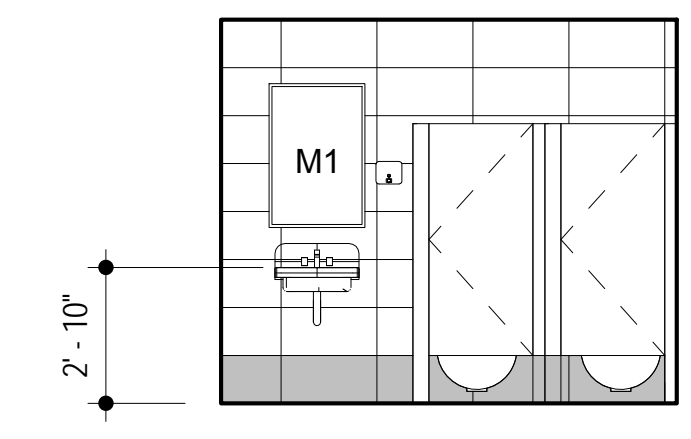
11 ELEVATION

A101R | A104R 1/4" = 1'-0"



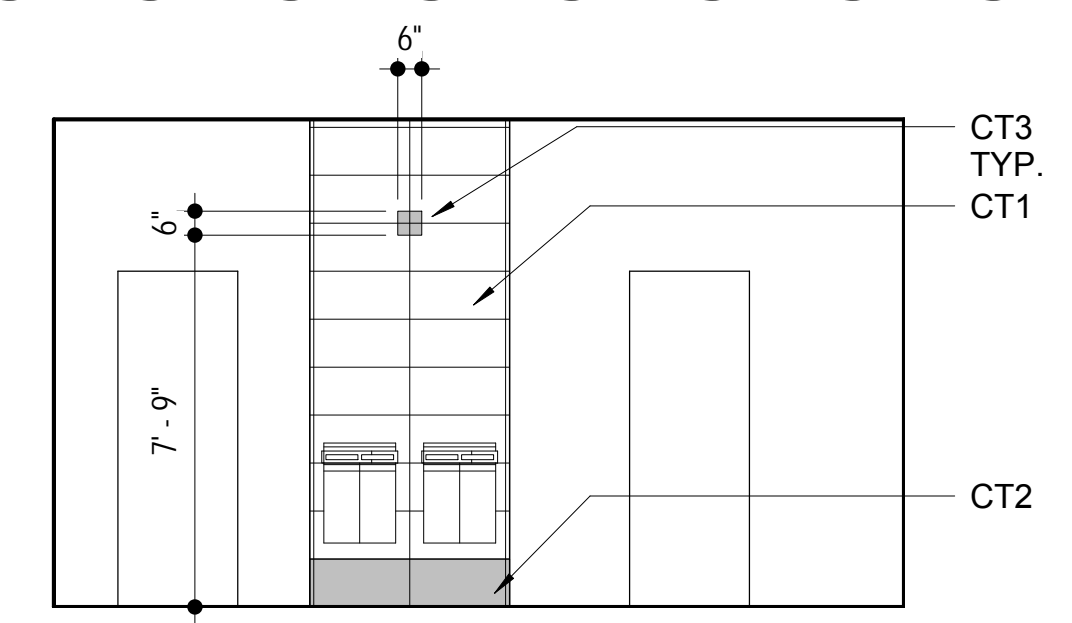
12 ELEVATION

A101R | A104R 1/4" = 1'-0"



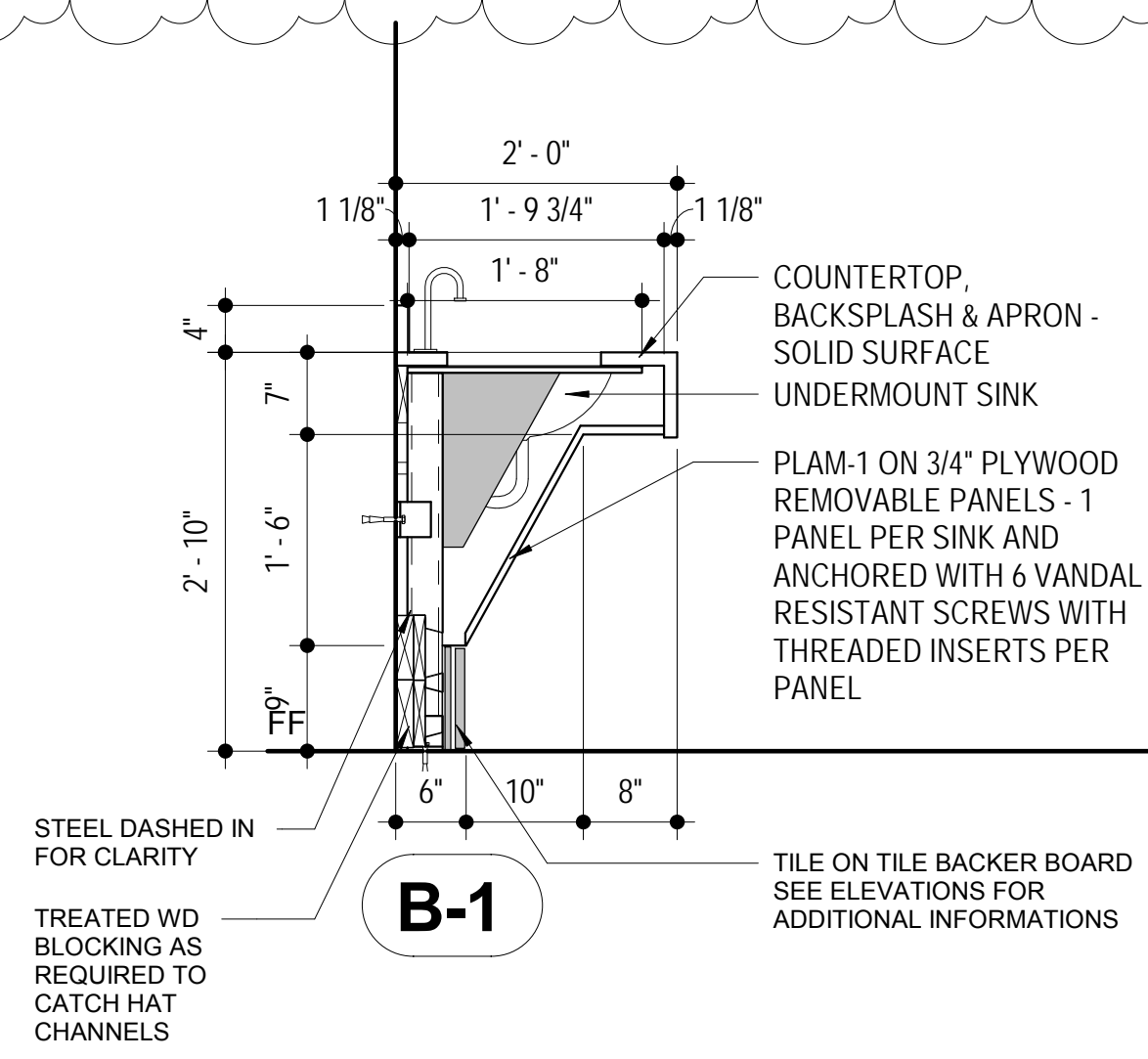
13 ELEVATION

A101R | A104R 1/4" = 1'-0"



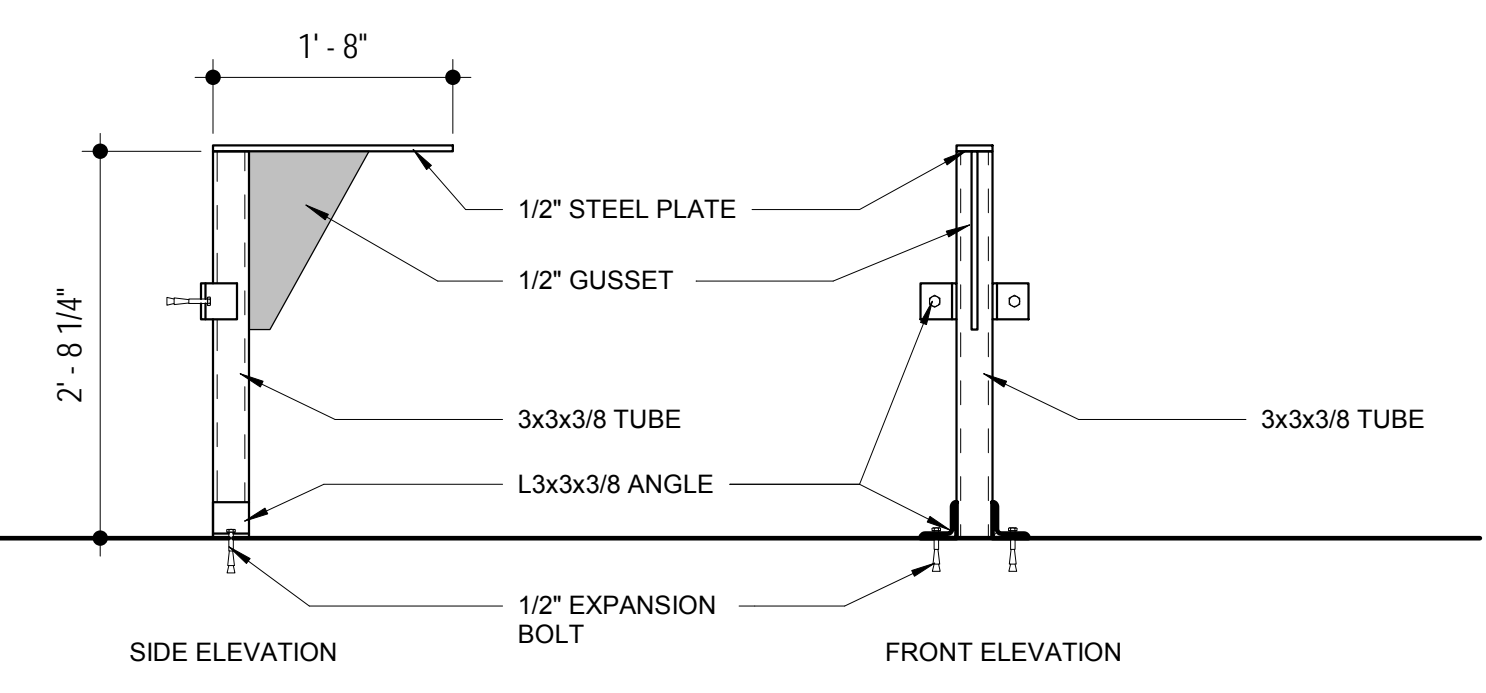
14 TYP. EDF ELEVATION

A101R | A104R 1/4" = 1'-0"

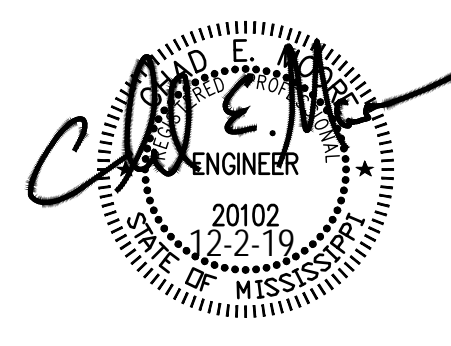


15 MILLWORK DETAIL

A104R 3/4" = 1'-0"



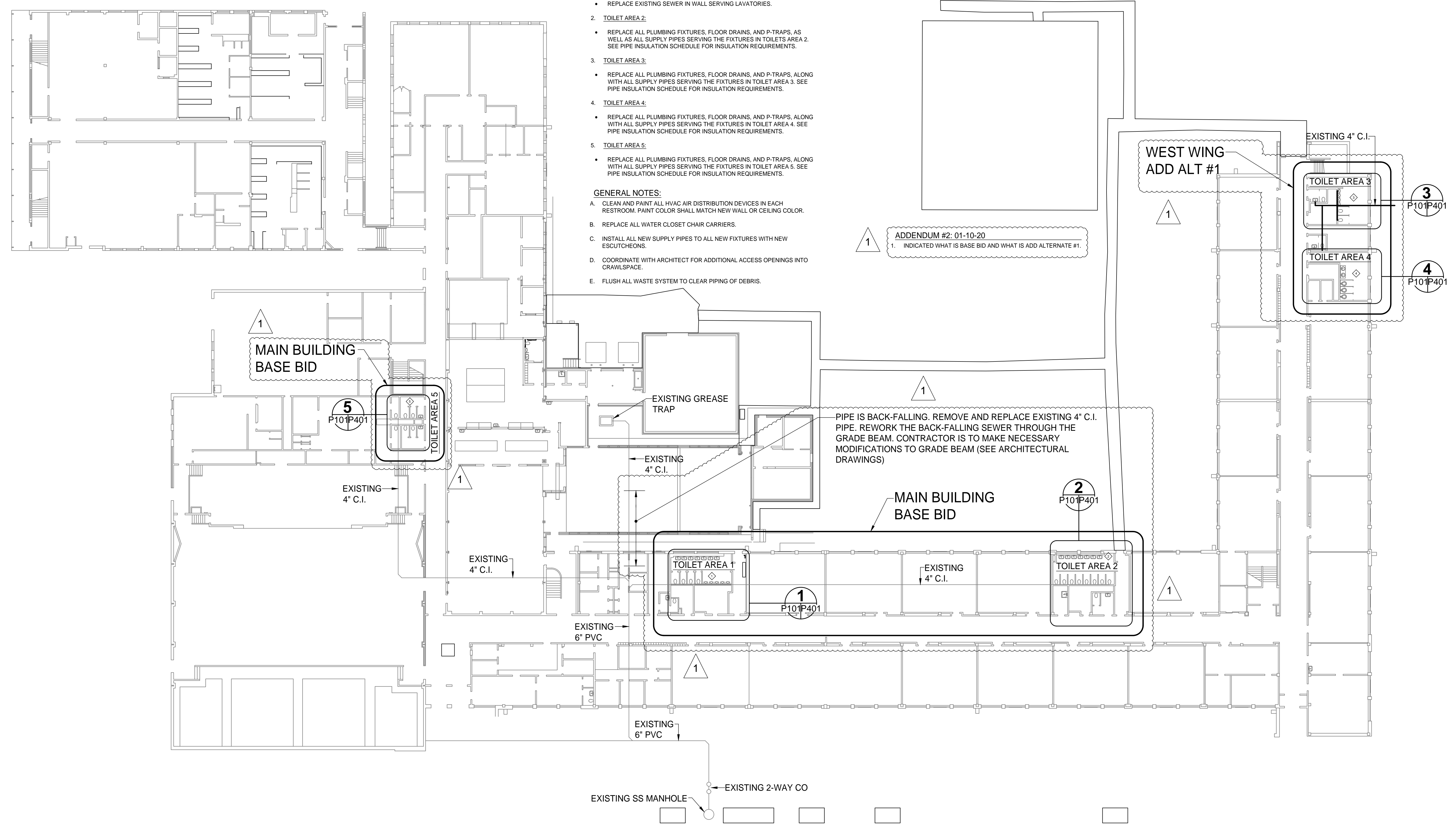
SIDE ELEVATION FRONT ELEVATION



- PLAN NOTES:**
- TOILET AREA 1:**
 - REPLACE ALL PLUMBING FIXTURES, FLOOR DRAINS, AND P-TRAPS, ALONG WITH ALL SUPPLY PIPES SERVING THE FIXTURES IN TOILET AREA 1. SEE PIPE INSULATION SCHEDULE FOR INSULATION REQUIREMENTS.
 - REPLACE EXISTING SEWER IN WALL SERVING LAVATORIES.
 - TOILET AREA 2:**
 - REPLACE ALL PLUMBING FIXTURES, FLOOR DRAINS, AND P-TRAPS, AS WELL AS ALL SUPPLY PIPES SERVING THE FIXTURES IN TOILETS AREA 2. SEE PIPE INSULATION SCHEDULE FOR INSULATION REQUIREMENTS.
 - TOILET AREA 3:**
 - REPLACE ALL PLUMBING FIXTURES, FLOOR DRAINS, AND P-TRAPS, ALONG WITH ALL SUPPLY PIPES SERVING THE FIXTURES IN TOILET AREA 3. SEE PIPE INSULATION SCHEDULE FOR INSULATION REQUIREMENTS.
 - TOILET AREA 4:**
 - REPLACE ALL PLUMBING FIXTURES, FLOOR DRAINS, AND P-TRAPS, ALONG WITH ALL SUPPLY PIPES SERVING THE FIXTURES IN TOILET AREA 4. SEE PIPE INSULATION SCHEDULE FOR INSULATION REQUIREMENTS.
 - TOILET AREA 5:**
 - REPLACE ALL PLUMBING FIXTURES, FLOOR DRAINS, AND P-TRAPS, ALONG WITH ALL SUPPLY PIPES SERVING THE FIXTURES IN TOILET AREA 5. SEE PIPE INSULATION SCHEDULE FOR INSULATION REQUIREMENTS.
- GENERAL NOTES:**
- CLEAN AND PAINT ALL HVAC AIR DISTRIBUTION DEVICES IN EACH RESTROOM. PAINT COLOR SHALL MATCH NEW WALL OR CEILING COLOR.
 - REPLACE ALL WATER CLOSET CHAIR CARRIERS.
 - INSTALL ALL NEW SUPPLY PIPES TO ALL NEW FIXTURES WITH NEW ESCUTCHEONS.
 - COORDINATE WITH ARCHITECT FOR ADDITIONAL ACCESS OPENINGS INTO CRAWLSPACE.
 - FLUSH ALL WASTE SYSTEM TO CLEAR PIPING OF DEBRIS.

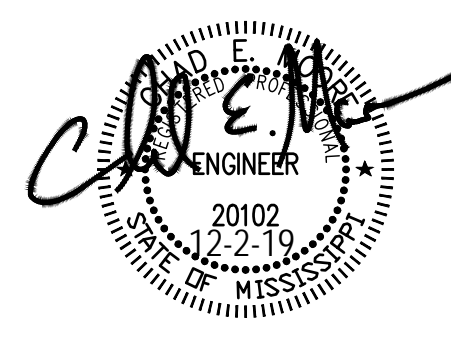
ADDENDUM #2: 01-10-20
 1. INDICATED WHAT IS BASE BID AND WHAT IS ADD ALTERNATE #1.

PIPE IS BACK-FALLING. REMOVE AND REPLACE EXISTING 4" C.I. PIPE. REWORK THE BACK-FALLING SEWER THROUGH THE GRADE BEAM. CONTRACTOR IS TO MAKE NECESSARY MODIFICATIONS TO GRADE BEAM (SEE ARCHITECTURAL DRAWINGS)



1 EXISTING - 1ST FLOOR (PLUMBING)
 P101 1" = 20'-0"

ERG P.N. 19.089.01
ENGINEERING RESOURCE GROUP
 Inc.
350 EDGEWOOD TERRACE DR. 2010 PASS RD., SUITE A JACKSON, MS 39206 PHONE: (601) 962-5252 FAX: (601) 966-6418 2010 PASS RD., SUITE A BILOXI, MS 39633 PHONE: (601) 388-8740 FAX: (228) 888-9270

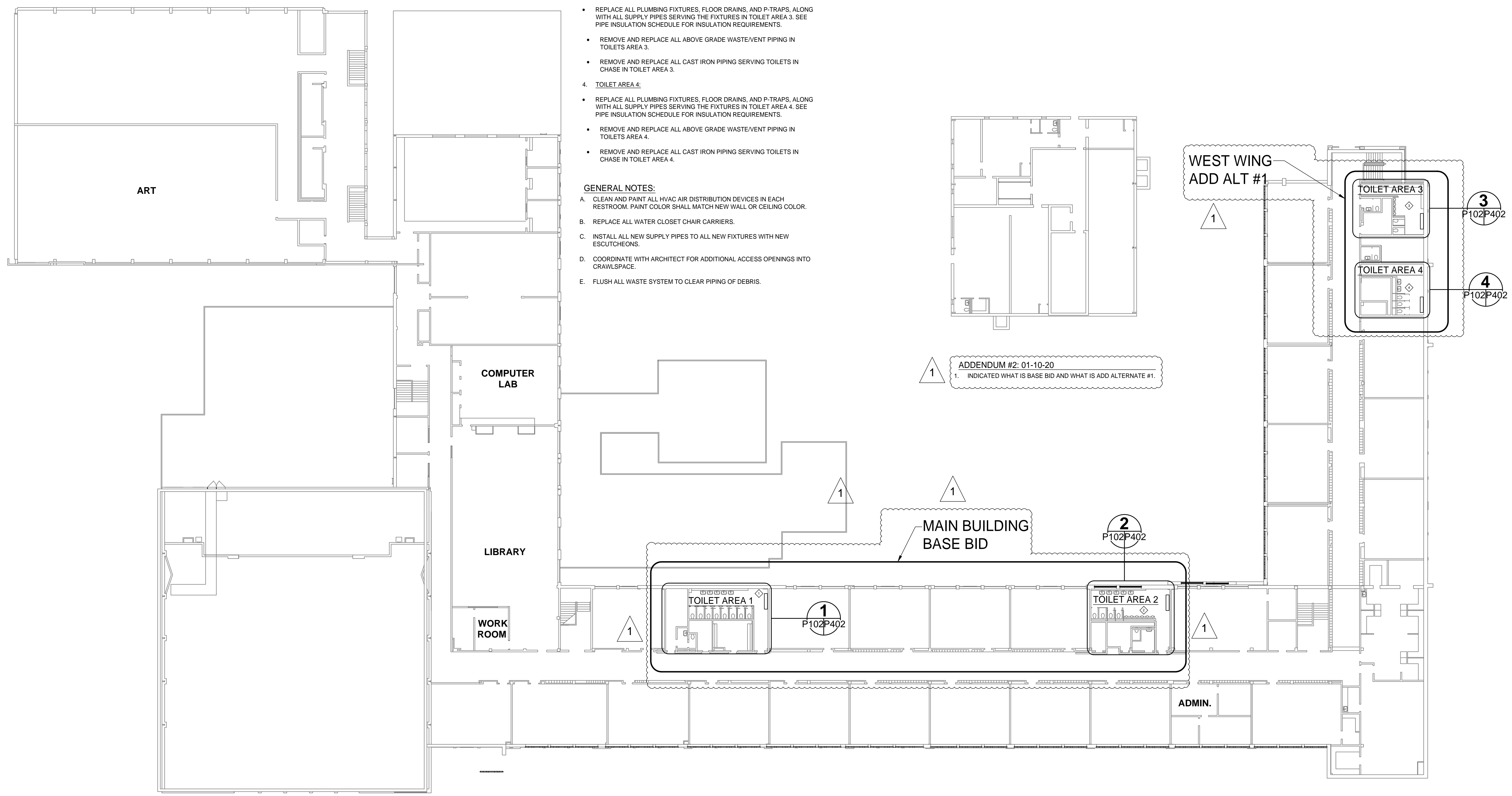


PLAN NOTES:

1. **TOILET AREA 1:**
 - REPLACE ALL PLUMBING FIXTURES, FLOOR DRAINS, AND P-TRAPS, ALONG WITH ALL SUPPLY PIPES SERVING THE FIXTURES IN TOILET AREA 1. SEE PIPE INSULATION SCHEDULE FOR INSULATION REQUIREMENTS.
2. **TOILET AREA 2:**
 - REPLACE ALL PLUMBING FIXTURES, FLOOR DRAINS, AND P-TRAPS, AS WELL AS ALL SUPPLY PIPES SERVING THE FIXTURES IN TOILET AREA 2. SEE PIPE INSULATION SCHEDULE FOR INSULATION REQUIREMENTS.
3. **TOILET AREA 3:**
 - REPLACE ALL PLUMBING FIXTURES, FLOOR DRAINS, AND P-TRAPS, ALONG WITH ALL SUPPLY PIPES SERVING THE FIXTURES IN TOILET AREA 3. SEE PIPE INSULATION SCHEDULE FOR INSULATION REQUIREMENTS.
 - REMOVE AND REPLACE ALL ABOVE GRADE WASTE/VENT PIPING IN TOILETS AREA 3.
 - REMOVE AND REPLACE ALL CAST IRON PIPING SERVING TOILETS IN CHASE IN TOILET AREA 3.
4. **TOILET AREA 4:**
 - REPLACE ALL PLUMBING FIXTURES, FLOOR DRAINS, AND P-TRAPS, ALONG WITH ALL SUPPLY PIPES SERVING THE FIXTURES IN TOILET AREA 4. SEE PIPE INSULATION SCHEDULE FOR INSULATION REQUIREMENTS.
 - REMOVE AND REPLACE ALL ABOVE GRADE WASTE/VENT PIPING IN TOILETS AREA 4.
 - REMOVE AND REPLACE ALL CAST IRON PIPING SERVING TOILETS IN CHASE IN TOILET AREA 4.

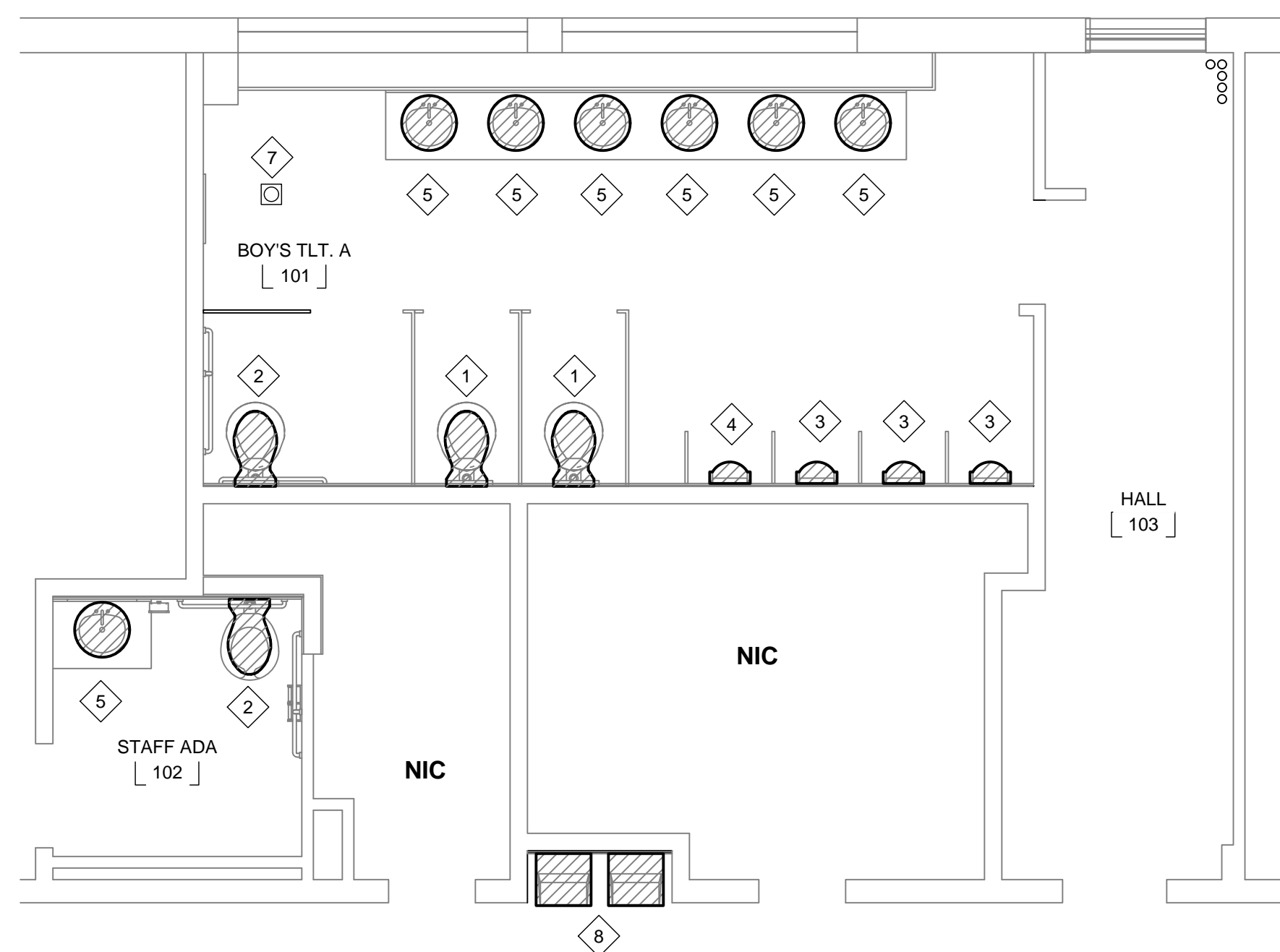
GENERAL NOTES:

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- B. REPLACE ALL WATER CLOSET CHAIR CARRIERS.
- C. INSTALL ALL NEW SUPPLY PIPES TO ALL NEW FIXTURES WITH NEW ESCUTCHEONS.
- D. COORDINATE WITH ARCHITECT FOR ADDITIONAL ACCESS OPENINGS INTO CRAWLSPACE.
- E. FLUSH ALL WASTE SYSTEM TO CLEAR PIPING OF DEBRIS.

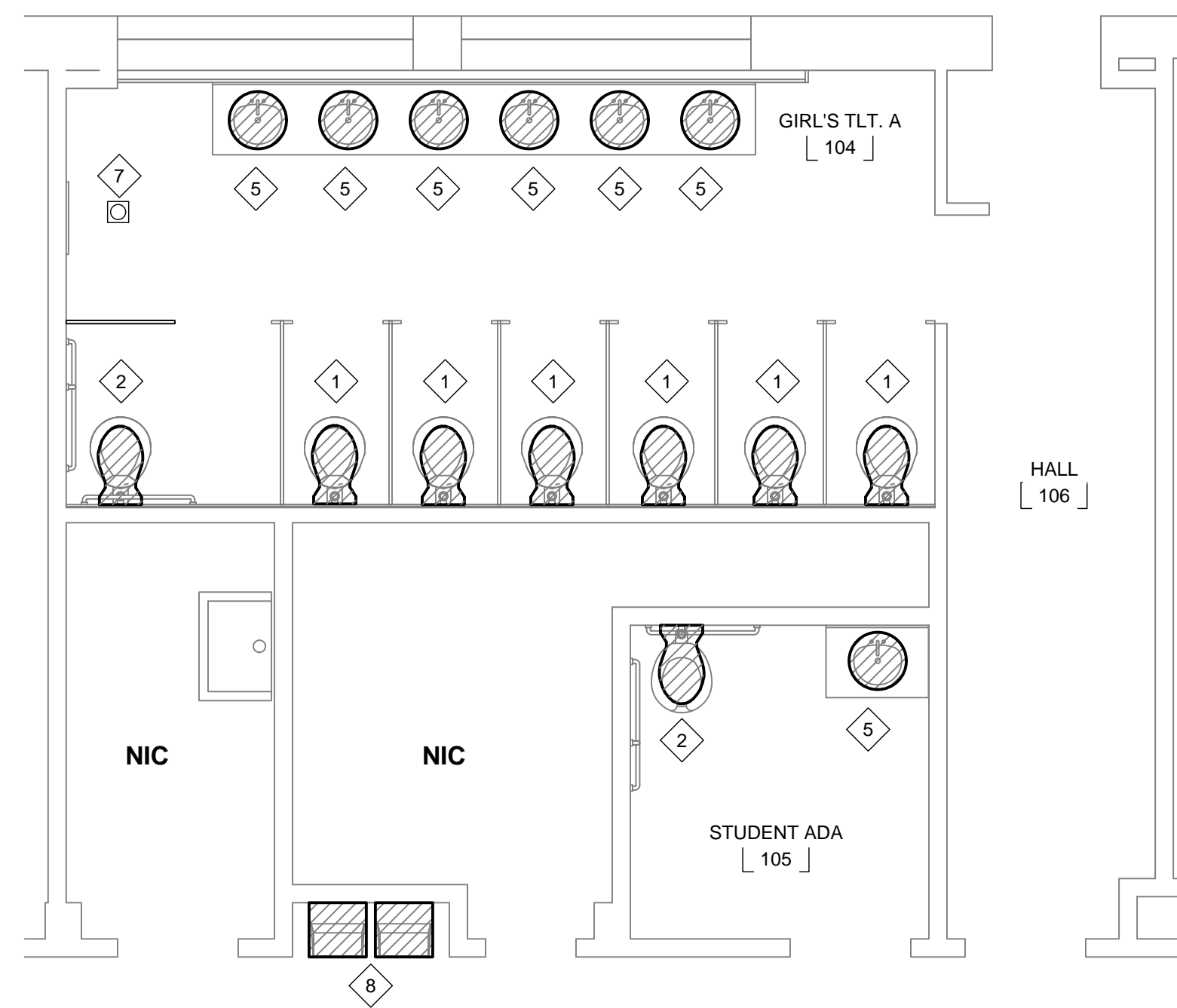


1 EXISTING - 2ND FLOOR (PLUMBING)
 P101 1" = 20'-0"

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ENGINEERING RESOURCE GROUP
 Inc.
350 EDGEWOOD TERRACE DR. 2010 PASS RD., SUITE A
 JACKSON, MS 39206 BLUEN, MS 39033
 PHONE: (601) 962-5252 PHONE: (228) 388-8740
 FAX: (601) 966-6418 FAX: (228) 388-9270



1 ENLARGED PLAN "BASE BID"
P401 1/4" = 1'-0"

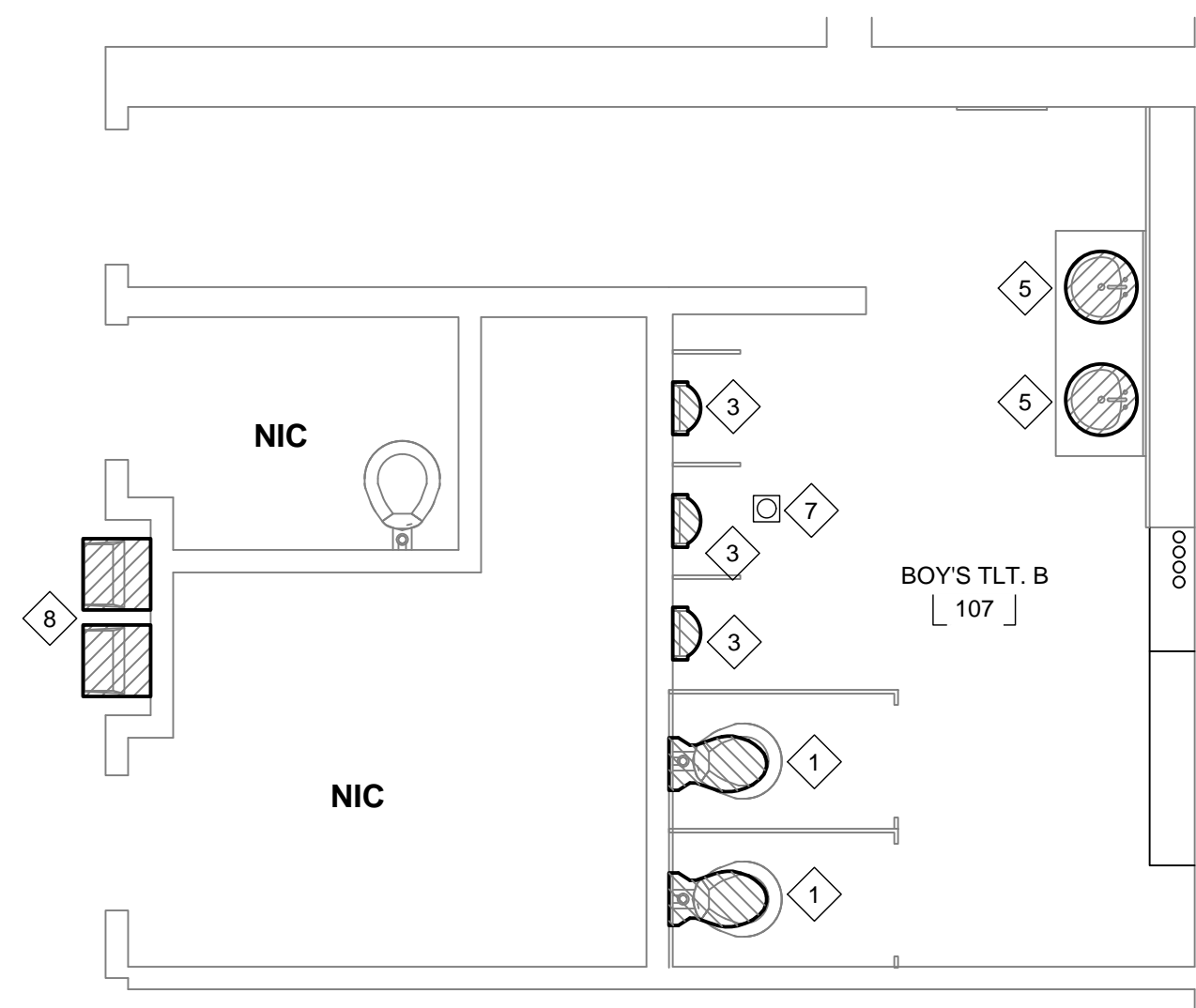


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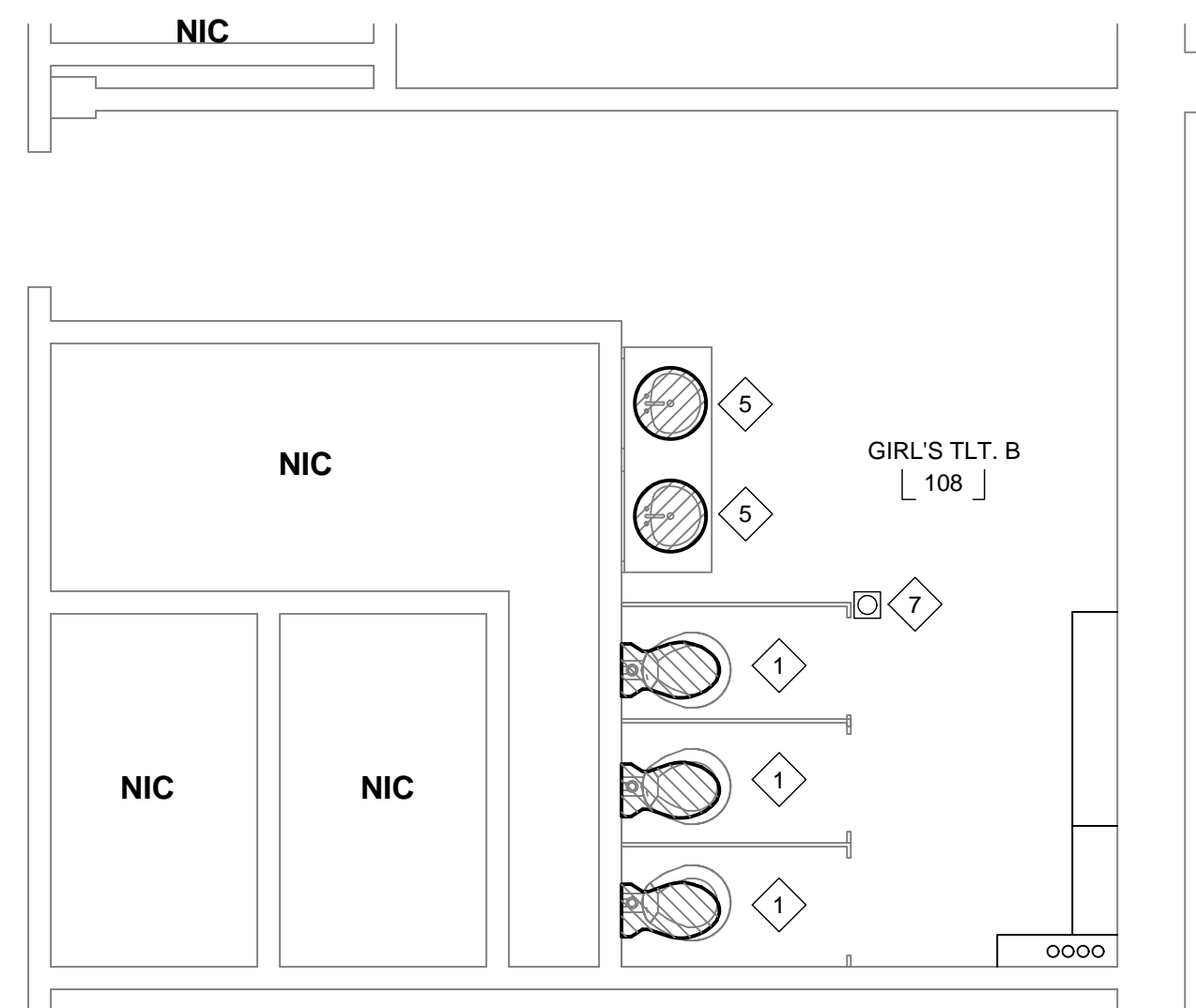
PLAN NOTES

1. REMOVE AND REPLACE EXISTING WATER CLOSET WITH WC-1. THIS CONTRACTOR IS TO MAKE NECESSARY MODIFICATIONS FOR INSTALLATION OF NEW WATER CLOSET.
2. REMOVE AND REPLACE EXISTING WATER CLOSET WITH WC-2. THIS CONTRACTOR IS TO MAKE NECESSARY MODIFICATIONS FOR INSTALLATION OF NEW WATER CLOSET.
3. REMOVE AND REPLACE EXISTING URINAL WITH U-1. THIS CONTRACTOR IS TO MAKE NECESSARY MODIFICATIONS FOR INSTALLATION OF NEW URINAL.
4. REMOVE AND REPLACE EXISTING URINAL WITH U-2. THIS CONTRACTOR IS TO MAKE NECESSARY MODIFICATIONS FOR INSTALLATION OF NEW URINAL.
5. REMOVE AND REPLACE EXISTING LAVATORY WITH L-1. THIS CONTRACTOR IS TO MAKE NECESSARY MODIFICATIONS FOR INSTALLATION OF NEW LAVATORY.
6. REMOVE AND REPLACE EXISTING LAVATORY WITH L-2. THIS CONTRACTOR IS TO MAKE NECESSARY MODIFICATIONS FOR INSTALLATION OF NEW LAVATORY.
7. REMOVE AND REPLACE EXISTING FLOOR DRAIN WITH FD-1. THIS CONTRACTOR IS TO MAKE NECESSARY MODIFICATIONS FOR INSTALLATION OF NEW FLOOR DRAIN.
8. REMOVE AND REPLACE EXISTING FLOOR DRAIN WITH EDF-1. THIS CONTRACTOR IS TO MAKE NECESSARY MODIFICATIONS FOR INSTALLATION OF NEW ELECTRIC DRINKING FOUNTAIN.
9. REMOVE AND REPLACE EXISTING FLOOR DRAIN WITH EDF-2. THIS CONTRACTOR IS TO MAKE NECESSARY MODIFICATIONS FOR INSTALLATION OF NEW ELECTRIC DRINKING FOUNTAIN.

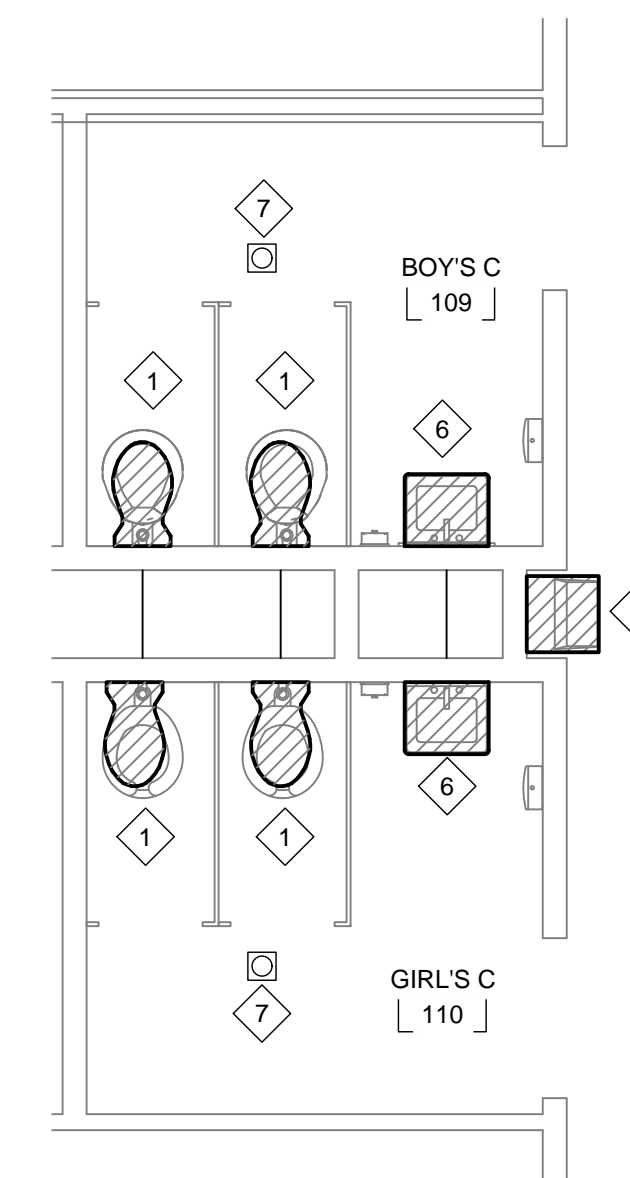
ADDENDUM #2: 01-10-20
1. INDICATED WHAT IS BASE BID AND WHAT IS ADD ALTERNATE #1.



3 ENLARGED PLAN "ADD ALT. #1"
P401 1/4" = 1'-0"



4 ENLARGED PLAN "ADD ALT. #1"
P401 1/4" = 1'-0"

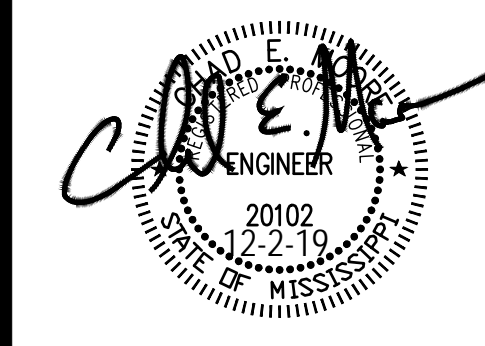


5 ENLARGED PLAN "BASE BID"
P401 1/4" = 1'-0"

ERG P.N. 19.089.01
ENGINEERING RESOURCE GROUP Inc.
350 EDGEWOOD TERRACE DR. JACKSON, MS 39206
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Original Plotted Sheet Size = 24"x36"

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Greg L. Durrell, AIA
Seal



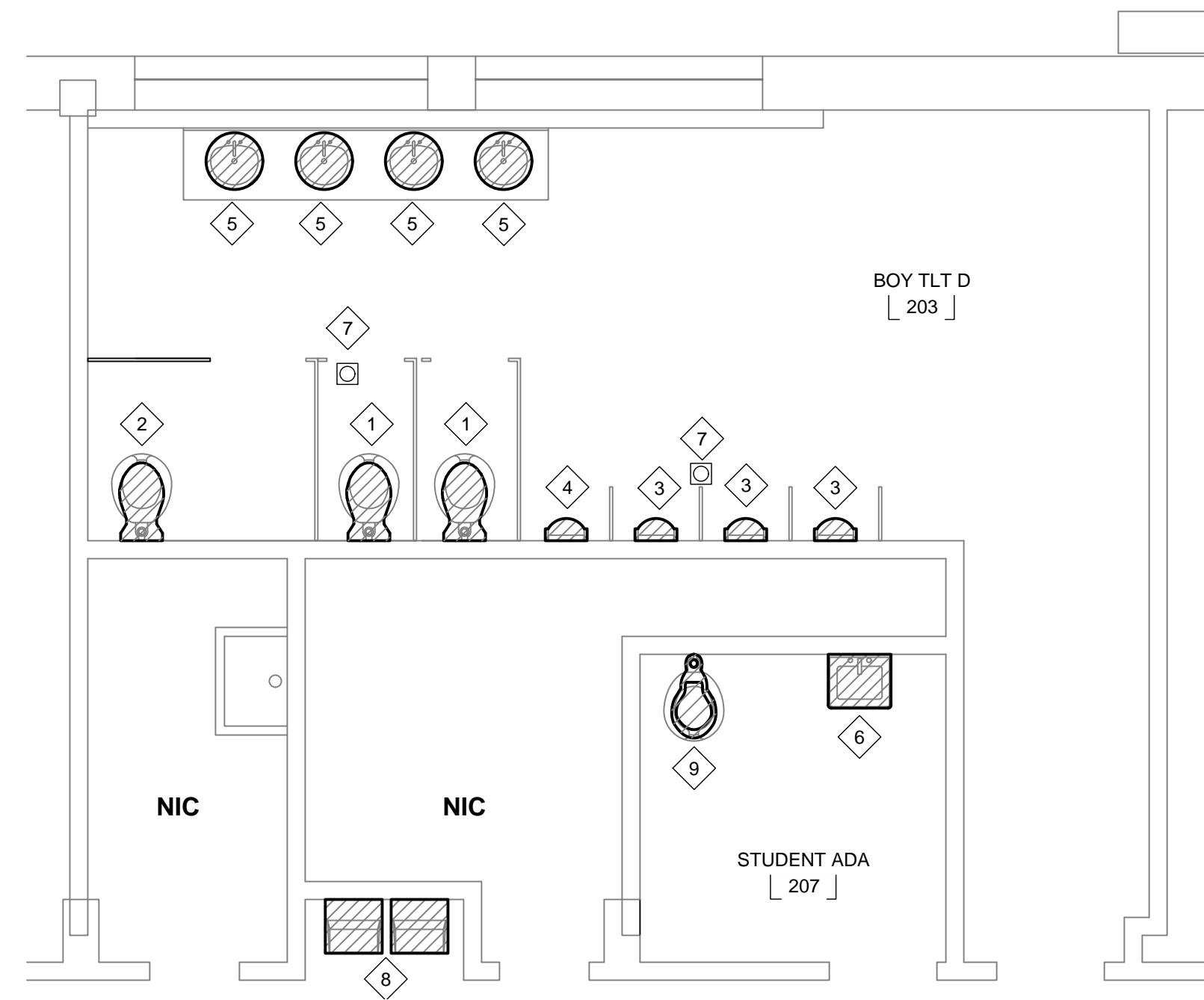
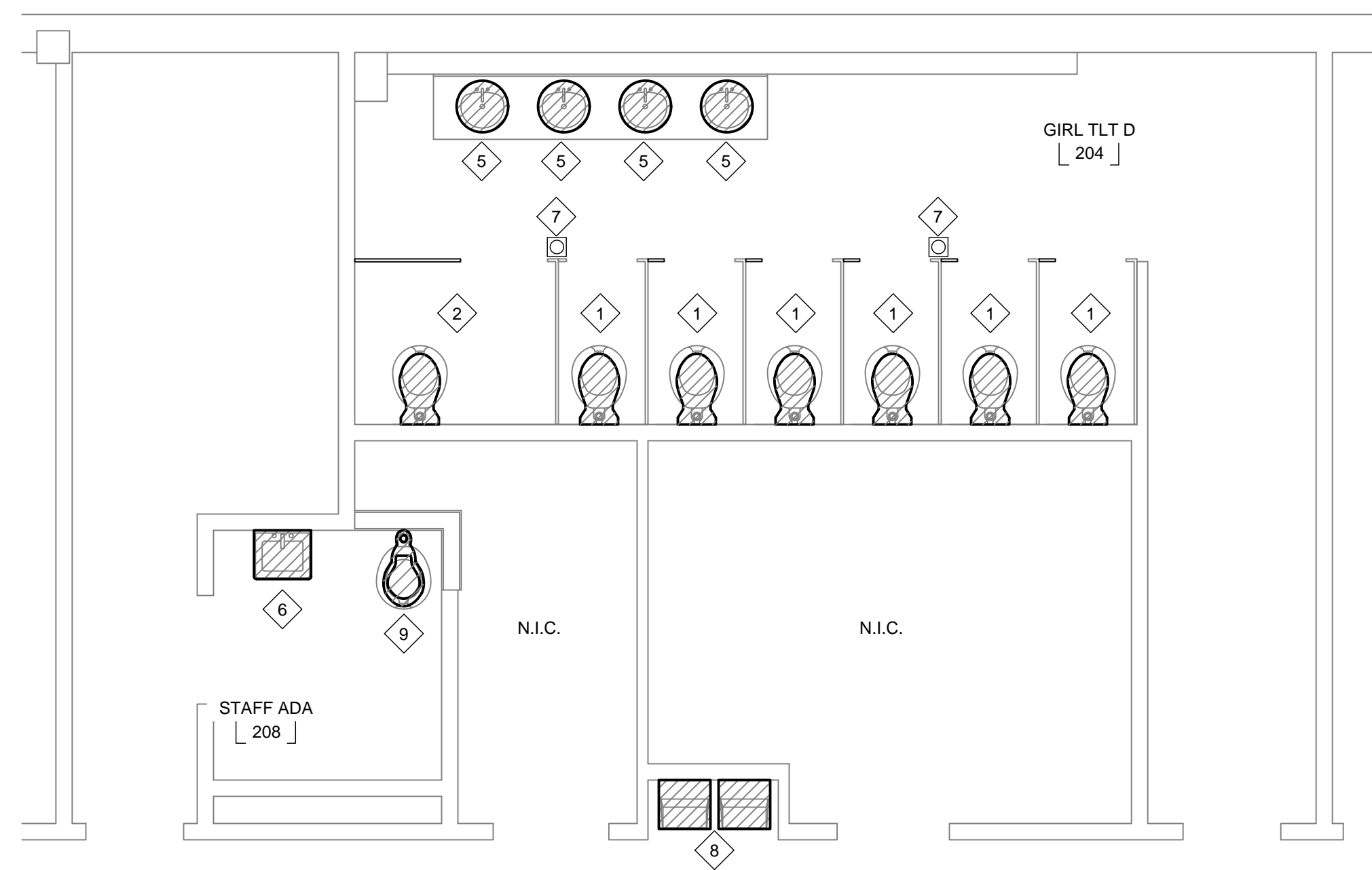
Project
JPS 2018 BOND PROJECTS
LANIER HIGH SCHOOL RESTROOM IMPROVEMENTS

Project Number: 19.003
Date: 2019.12.02
Drawn by: DG
Checked by: CM
Revisions
1 01/10/20
2
3

Sheet Title
ENLARGED NEW 1ST FLOOR PLANS PLUMBING

Sheet Number 1 of 6

P401



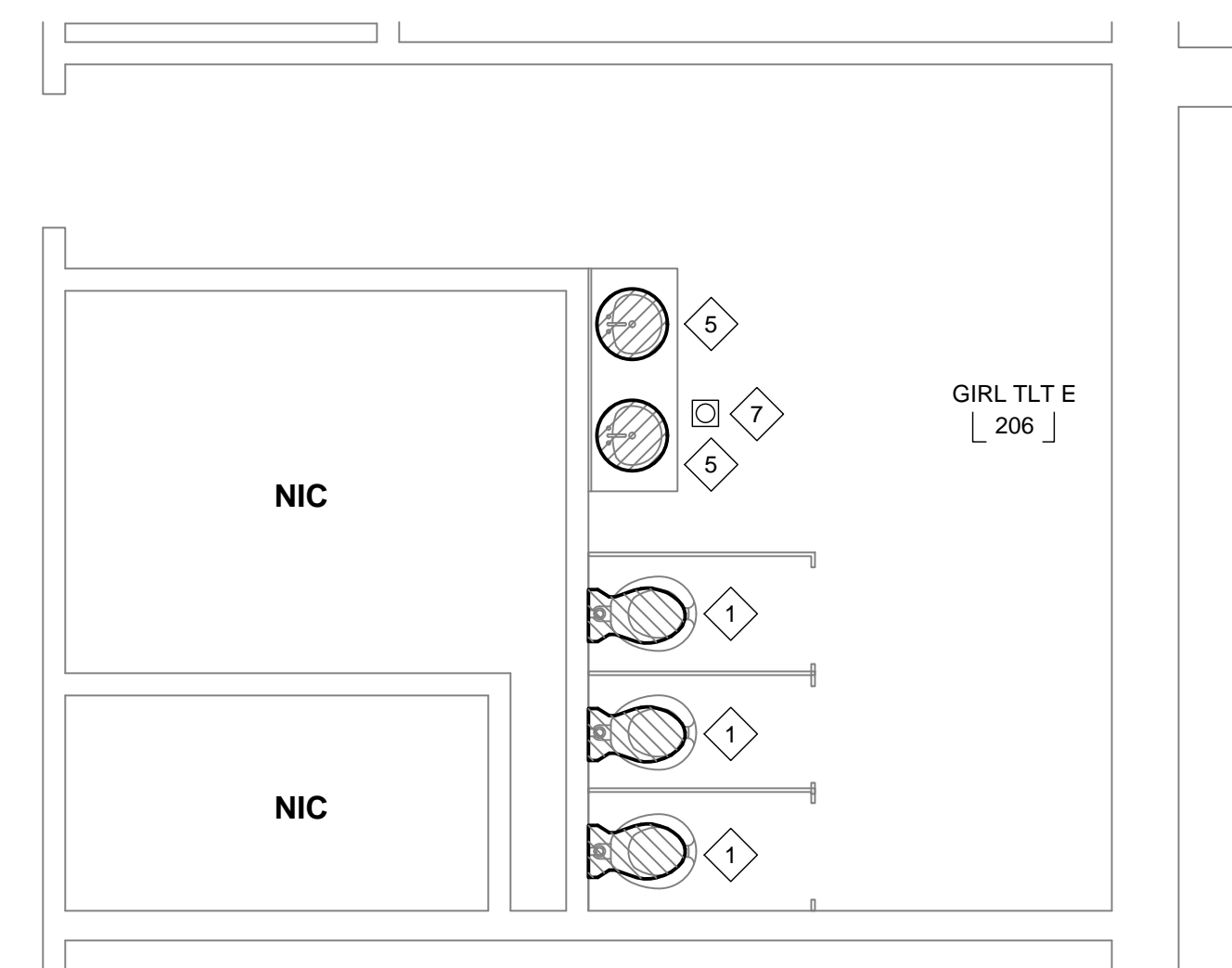
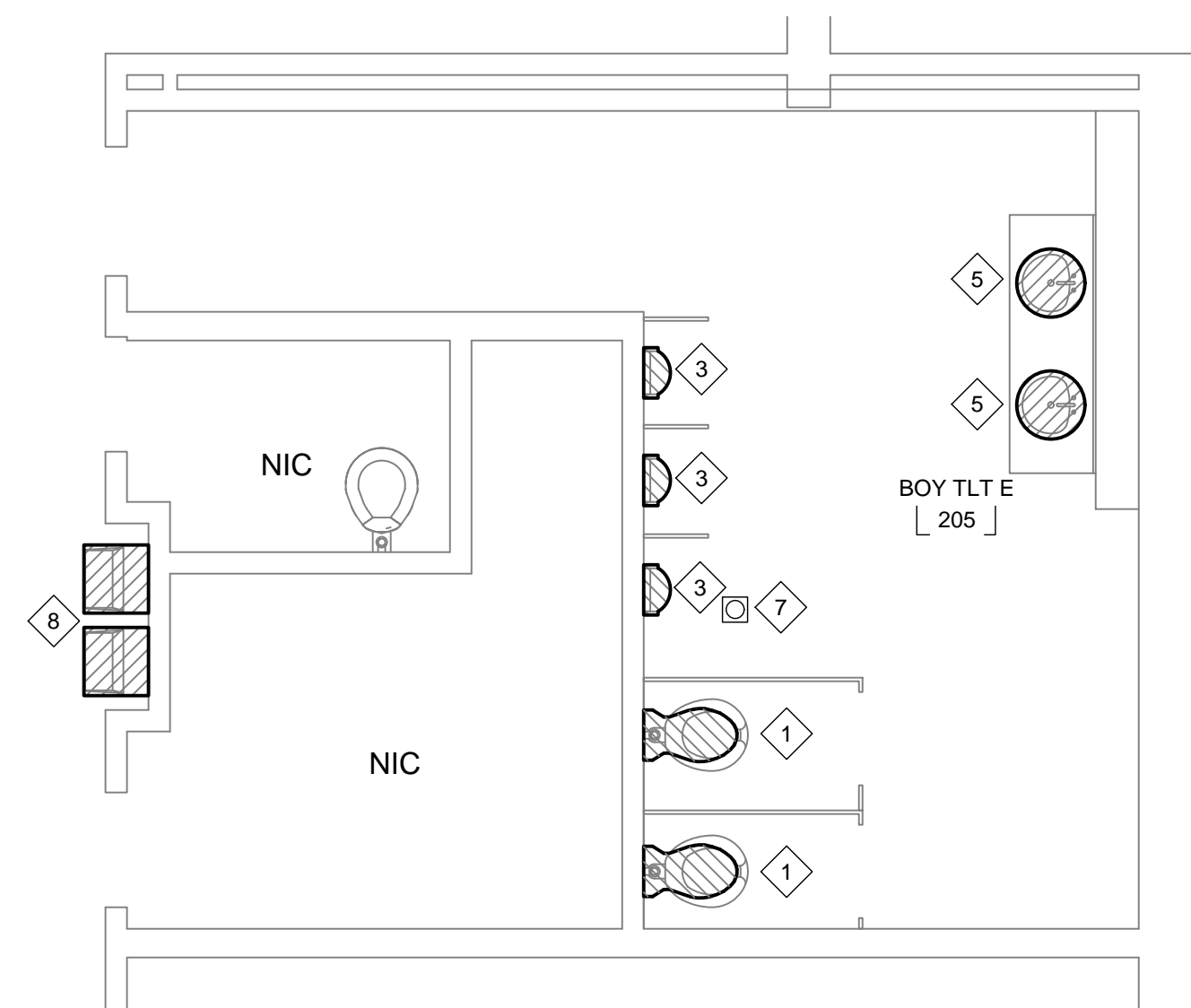
PLAN NOTES

1. REMOVE AND REPLACE EXISTING WATER CLOSET WITH WC-1. THIS CONTRACTOR IS TO MAKE NECESSARY MODIFICATIONS FOR INSTALLATION OF NEW WATER CLOSET.
2. REMOVE AND REPLACE EXISTING WATER CLOSET WITH WC-2. THIS CONTRACTOR IS TO MAKE NECESSARY MODIFICATIONS FOR INSTALLATION OF NEW WATER CLOSET.
3. REMOVE AND REPLACE EXISTING URINAL WITH U-1. THIS CONTRACTOR IS TO MAKE NECESSARY MODIFICATIONS FOR INSTALLATION OF NEW URINAL.
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5. REMOVE AND REPLACE EXISTING LAVATORY WITH L-1. THIS CONTRACTOR IS TO MAKE NECESSARY MODIFICATIONS FOR INSTALLATION OF NEW LAVATORY.
6. REMOVE AND REPLACE EXISTING LAVATORY WITH L-2. THIS CONTRACTOR IS TO MAKE NECESSARY MODIFICATIONS FOR INSTALLATION OF NEW LAVATORY.
7. REMOVE AND REPLACE EXISTING FLOOR DRAIN WITH FD-1. THIS CONTRACTOR IS TO MAKE NECESSARY MODIFICATIONS FOR INSTALLATION OF NEW FLOOR DRAIN.
8. REMOVE AND REPLACE EXISTING FLOOR DRAIN WITH EDF-1. THIS CONTRACTOR IS TO MAKE NECESSARY MODIFICATIONS FOR INSTALLATION OF NEW ELECTRIC DRINKING FOUNTAIN.
9. REMOVE AND REPLACE EXISTING WATER CLOSET WITH WC-3. THIS CONTRACTOR IS TO MAKE NECESSARY MODIFICATIONS FOR INSTALLATION OF NEW WATER CLOSET.

1 ENLARGED SECOND FLOOR PLAN "BASE BID"
P402 1/4" = 1'-0"

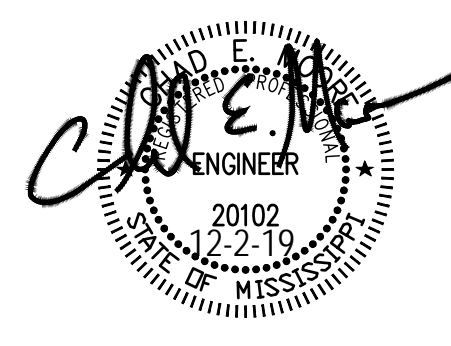
2 ENLARGED SECOND FLOOR PLAN "BASE BID"
P402 1/4" = 1'-0"

ADDENDUM #2: 01-10-20
1. INDICATED WHAT IS BASE BID AND WHAT IS ADD ALTERNATE #1.



3 ENLARGED SECOND FLOOR PLAN "ADD ALT. #1"
P402 1/4" = 1'-0"

4 ENLARGED SECOND FLOOR PLAN "ADD ALT. #1"
P402 1/4" = 1'-0"



Project Number: 19.003
Date: 2019.12.02
Drawn by: DG
Checked by: CM

Revisions	Date
1	01/10/20
2	
3	

Sheet Title

ENLARGED
NEW 2ND
FLOOR PLANS
PLUMBING

Sheet Number 1 of 6

LIGHTING FIXTURE SCHEDULE						
VOLTS	SYMBOL	WATTS	DESCRIPTION	MANUFACTURER	CAT. NO.	MOUNTING
120	A	LED	LED SURFACE MOUNT, 1'x4', 5000 DELIVER LUMENS, 3500K, 45W	KENALL LTG.	MLHA12-48-R-MW-CP-45L35K-DCC-1 120	SURFACE AT CEILING
120	AE	LED	LED SURFACE MOUNT, 1'x4', 5000 DELIVER LUMENS, 3500K, 45W, WITH EMERGENCY BATTERY PACK	KENALL LTG.	MLHA12-48-R-MW-CP-45L35K-DCC-1 120-PEL	SURFACE AT CEILING
120	B	LED	LED CEILING MOUNT, 15" DIA., 3000 DELIVER LUMENS, 3500K, 29W	KENALL LTG.	RHR15-W-PP-25L35K-DV	CEILING

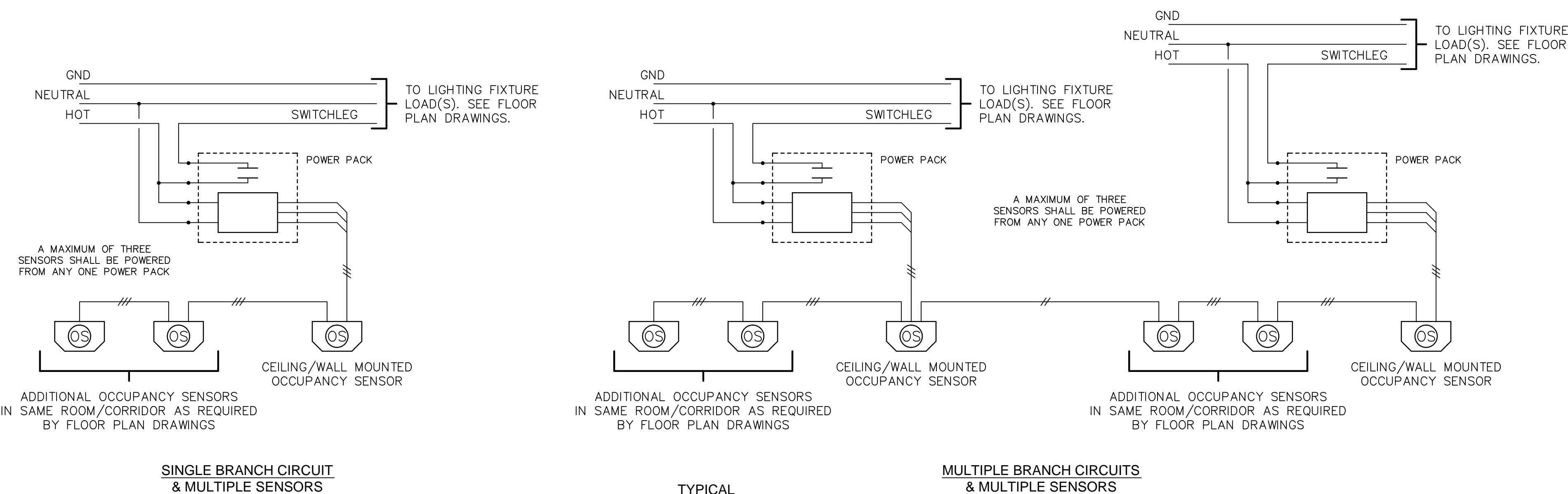
NOTE: PROVIDE UNISTRUT CHANNEL AS REQUIRED FOR AREAS WITH CEILING PANELS TO MOUNT TO STRUCTURE ABOVE.

ELECTRICAL SYMBOLS LEGEND

ELECTRICAL SERVICE & DISTRIBUTION	
	SWITCH, UNFUSED SAFETY DISCONNECT, AMPERE RATING, NUMBER OF POLES, PROPER VOLTAGE RATING FOR BRANCH CIRCUIT, SURFACE MOUNT C.L. UP 54" A.F.F. UNLESS INDICATED OTHERWISE.
	SWITCH, UNFUSED SAFETY DISCONNECT, NEMA 3R RATED, AMPERE RATING, NUMBER OF POLES, PROPER VOLTAGE RATING FOR BRANCH CIRCUIT, MOUNT C.L. UP 54" A.F.F. UNLESS INDICATED OTHERWISE.
	SWITCH, FUSED SAFETY DISCONNECT, NEMA 3R RATED, AMPERE RATING, NUMBER OF POLES, PROPER VOLTAGE RATING FOR BRANCH CIRCUIT, SURFACE MOUNT C.L. UP 54" A.F.F. UNLESS INDICATED OTHERWISE.
ABBREVIATIONS	
A.A.C.	ADJACENT TO ANY SYMBOL DENOTES DEVICE/OUTLET INSTALLED ABOVE ACCESSIBLE CEILING.
A.F.F.	DENOTES "ABOVE THE FINISHED FLOOR".
B.F.G.	DENOTES "BELOW THE FINISHED GRADE".
EDF	ADJACENT TO ANY OUTLET SYMBOL DENOTES DEVICE/OUTLET IS FOR ELECTRIC DRINKING FOUNTAIN, VERIFY MOUNTING HEIGHT & LOCATION FOR CONCEALMENT BEHIND EQUIPMENT.
TV	ADJACENT TO ANY OUTLET SYMBOL DENOTES DEVICE/OUTLET IS FOR WALL MOUNTED TELEVISION, VERIFY MOUNTING HEIGHT & LOCATION FOR CONCEALMENT BEHIND EQUIPMENT.
PROJ	ADJACENT TO ANY OUTLET SYMBOL DENOTES DEVICE/OUTLET IS FOR PROJECTOR, MOUNT OUTLET ADJACENT TO EQUIPMENT AT CEILING/STRUCTURE, VERIFY MOUNTING LOCATION PRIOR TO ROUGH-IN.
EX	ADJACENT TO ANY SYMBOL DENOTES DEVICE/OUTLET IS EXISTING.
FIRE DETECTION & ALARM SYS.	
	FIRE ALARM SYSTEM VISUAL ALARM DEVICE, MOUNT C.L. UP 80" A.F.F. OR 6" BELOW THE FINISHED CEILING WHICHEVER IS LOWER, STROBE CANDELA RATING - MINIMUM 15/75 WHERE NOT LISTED.
	FIRE ALARM SYSTEM AUDIBLE & VISUAL ALARM DEVICE, MOUNT C.L. UP 80" A.F.F. OR 6" BELOW THE FINISHED CEILING WHICHEVER IS LOWER, STROBE CANDELA RATING - MINIMUM 15/75 WHERE NOT LISTED.
	FIRE ALARM SYSTEM RACEWAY SYSTEM CONDUIT & CABLING, ROUTE CONCEALED ABOVE CEILING OR IN WALL, NUMBER OF CONDUITS, SIZE OF CONDUIT(S) AS INDICATED OR AS REQUIRED FOR SUPPLIED CABLING, NUMBER & TYPE OF WIRING AS REQUIRED FOR SYSTEM & INSTALLED ENVIRONMENT.
	FIRE ALARM SYSTEM HOMERUN RACEWAY SYSTEM CONDUIT & CABLING, ROUTE CONCEALED ABOVE CEILING OR IN WALL, NUMBER OF CONDUITS, SIZE OF CONDUIT(S) AS INDICATED OR AS REQUIRED FOR SUPPLIED CABLING, NUMBER & TYPE OF WIRING AS REQUIRED FOR SYSTEM & INSTALLED ENVIRONMENT. ROUTE TO FIRE ALARM SYSTEM CONTROL PANEL UNLESS OTHERWISE INDICATED.
ELECTRICAL GEAR	
	LIGHTING AND SMALL POWER PANEL, SURFACE MOUNTING, 250 VOLT SYSTEM.

ELECTRICAL SYMBOLS LEGEND

RACEWAYS & BOXES	
	BRANCH CIRCUIT (CONDUIT AND WIRING) CONCEALED ABOVE CEILING OR IN WALL, NUMBER OF CONDUCTORS. (---) INDICATES GREEN GROUNDING CONDUCTOR SIZED PER BRANCH CIRCUIT UNLESS OTHERWISE NOTED.
	BRANCH CIRCUIT (CONDUIT AND WIRING) EXPOSED IN FLEXIBLE METALLIC CONDUIT, NUMBER CONDUCTORS.
	BRANCH CIRCUIT (CONDUIT AND WIRING) EXPOSED IN LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT WITH PROPER LIQUID-TIGHT FITTINGS, NUMBER OF CONDUCTORS.
	BRANCH CIRCUIT(S) HOMERUN, PANEL & CIRCUIT DESIGNATIONS, ROUTE CONCEALED, NUMBER OF CONDUCTORS, MINIMUM 3/4" CONDUIT UNLESS NOTED OTHERWISE, ALL HOMERUNS GREATER THAN 50 FEET IN LENGTH SHALL USE #10 AWG CONDUCTORS MINIMUM.
LUMINAIRES	
	LIGHTING LUMINAIRE OUTLET WITH LUMINAIRE PER LIGHTING LUMINAIRE SCHEDULE, LUMINAIRE SYMBOL (#), BRANCH CIRCUIT DESIGNATION(S) (*), MOUNTING PER THE LUMINAIRE SCHEDULE.
	SURFACE LUMINAIRE OUTLET WITH LUMINAIRE PER LIGHTING LUMINAIRE SCHEDULE, LUMINAIRE SYMBOL (#), BRANCH CIRCUIT DESIGNATION(S) (*), SURFACE MOUNT PER THE LUMINAIRE SCHEDULE.
	RECESSED TROFFER LUMINAIRE WITH LUMINAIRE PER LIGHTING LUMINAIRE SCHEDULE, LUMINAIRE SYMBOL (#), BRANCH CIRCUIT DESIGNATION(S) (*), RECESS MOUNT PER THE LUMINAIRE SCHEDULE.
	HATCH LINES THRU ANY LIGHTING LUMINAIRE SYMBOL DENOTES LIGHTING LUMINAIRE IS EQUIPPED WITH A EMERGENCY BATTERY PACK.
SWITCHES & LIGHTING CONTROL DEVICES	
	TOGGLE SWITCH WITH BOX & PLATE, 20A1P, 120/277V, FLUSH MOUNT C.L. UP 48" A.F.F. UNLESS NOTED OTHERWISE.
	MANUAL MOTOR SWITCH WITH BOX AND PLATE, 20A1P, 120/277V, FLUSH MOUNT C.L. UP 48" A.F.F. UNLESS NOTED OTHERWISE.
	SWITCH WITH BOX & PLATE, OCCUPANCY SENSOR TYPE, PASSIVE INFRARED, MOUNT C.L. UP 48" A.F.F. UNLESS NOTED OTHERWISE.
	OCCUPANCY SENSOR. SEE DETAIL THIS SHEET. MT DENOTES MULTI-TECHNOLOGY TYPE.
RECEPTACLES & POWER OUTLETS	
	DUPLEX GROUNDING RECEPTACLE WITH BOX, PLATE & BRANCH CIRCUIT, 120 VOLTS, NEMA 5-20R, MOUNT C.L. UP 18" A.F.F. UNLESS OTHERWISE INDICATED, CIRCUIT DESIGNATION.
	DUPLEX GROUNDING RECEPTACLE WITH BOX, PLATE & BRANCH CIRCUIT, 120 VOLTS, NEMA 5-20R, MOUNT C.L. UP 4" ABOVE COUNTER/BACKSPASH UNLESS OTHERWISE INDICATED, CIRCUIT DESIGNATIONS.
	DUPLEX GROUNDING RECEPTACLE WITH BOX, PLATE & BRANCH CIRCUIT, G.F.I. TYPE, 120 VOLTS, NEMA 5-20R, MOUNT C.L. UP 18" A.F.F. UNLESS OTHERWISE INDICATED, CIRCUIT DESIGNATION.
	DUPLEX GROUNDING RECEPTACLE WITH BOX, PLATE & BRANCH CIRCUIT, G.F.I. TYPE, 120 VOLTS, NEMA 5-20R, MOUNT C.L. UP 4" ABOVE COUNTER/BACKSPASH WHERE PRESENT OR C.L. UP 48" A.F.F. UNLESS OTHERWISE INDICATED, CIRCUIT DESIGNATION.



ROOM OCCUPANCY SENSOR(S) SCHEMATIC WIRING DIAGRAMS
NO SCALE

- GENERAL BRANCH CIRCUIT NOTES: (APPLICABLE TO ALL SHEETS.)
- LIGHTING & POWER BRANCH CIRCUITS (CONDUITS & CONDUCTORS) ALTHOUGH NOT SHOWN ON THE DRAWINGS SHALL BE PROVIDED & CONNECTED AS REQUIRED FOR PROPER OPERATION OF THE INDICATED LIGHTING LUMINAIRES, LIGHTING CONTROL SYSTEM, DEVICES, ETC.
 - ALL BRANCH CIRCUITS SHALL BE ROUTED IN CONDUIT PER THE SPECIFICATIONS. ALL BRANCH CIRCUITS SHALL HAVE DEDICATED NEUTRAL CONDUCTOR. ALL BRANCH CIRCUITS SHALL HAVE A PROPERLY SIZED EQUIPMENT GROUNDING CONDUCTOR.
 - ALL 120V BRANCH CIRCUITS IN EXCESS OF 50 FEET IN LENGTH SHALL UTILIZE #10 CONDUCTORS FOR PHASE, NEUTRAL & GROUND CONDUCTORS. ALL 277V BRANCH CIRCUITS IN EXCESS OF 100 FEET IN LENGTH SHALL UTILIZE #10 CONDUCTORS FOR PHASE, NEUTRAL & GROUND CONDUCTORS.
 - WALL SWITCH(ES) AND/OR OCCUPANCY SENSOR(S) WHERE INDICATED IN A ROOM/SPACE SHALL BE PROVIDED & CONNECTED TO CONTROL ALL LUMINAIRES IN THAT ROOM/SPACE UNLESS INDICATED OTHERWISE. 3-WAY & 4-WAY SWITCHES SHALL BE PROVIDED & CONNECTED FOR PROPER OPERATION & SHALL CONTROL ALL LUMINAIRES IN THE ASSOCIATED ROOM/SPACE UNLESS OTHERWISE INDICATED.
 - WHERE WALL SWITCHES ARE INDICATED IN THE SAME ROOM/SPACE WITH OCCUPANCY SENSORS, THE WALL SWITCHES SHALL BE CONNECTED BETWEEN THE OCCUPANCY SENSOR & THE LIGHTING LUMINAIRE. SEE APPROPRIATE DETAILS.
 - WHERE EMERGENCY BATTERY PACKS ARE INDICATED OR SPECIFIED THEY SHALL BE PROPERLY CONNECTED PER THE MANUFACTURER'S RECOMMENDATIONS TO A NON-SWITCHED LEG OF THE BRANCH CIRCUIT INDICATED FOR THE ASSOCIATED LIGHTING LUMINAIRE.
 - BRANCH CIRCUIT HOMERUNS & JUNCTION BOXES SHOWN ON THE FLOOR PLAN DRAWINGS ARE FOR INDICATING BRANCH CIRCUITS SHARING A COMMON HOMERUN RACEWAY & FOR GENERAL LOCATION OF THE HOMERUN. THE ACTUAL JUNCTION BOX & HOMERUN ORIENTATION LOCATION SHALL BE FIELD DETERMINED BASED ON THE FINISHES OF THE AREA IN WHICH LOCATED TO INSURE INSTALLATION COMPLIES WITH THE ACCESSIBILITY REQUIREMENTS OF THE NEC.
 - LIGHTING LUMINAIRE(S) INDICATED TO BE CONTROLLED BY 0-10V DIMMING SHALL HAVE PROPER PURPLE/GRAY CONTROL WIRES PROVIDED & ROUTED IN THE SAME CONDUIT AS THE POWER WIRING. CONTROL WIRING SHALL BE MINIMUM #14 AWG & RATED FOR 600V.

Seal

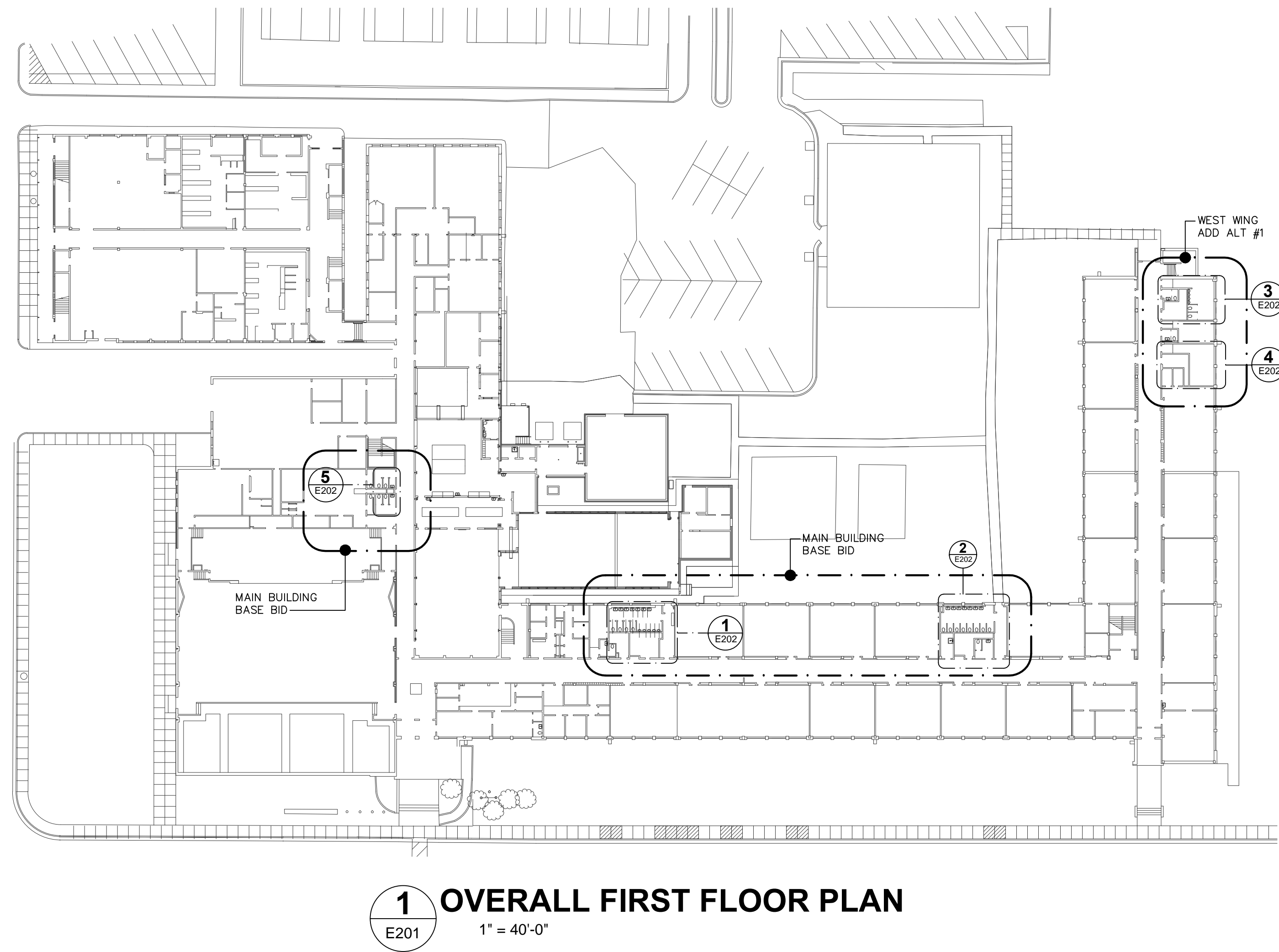
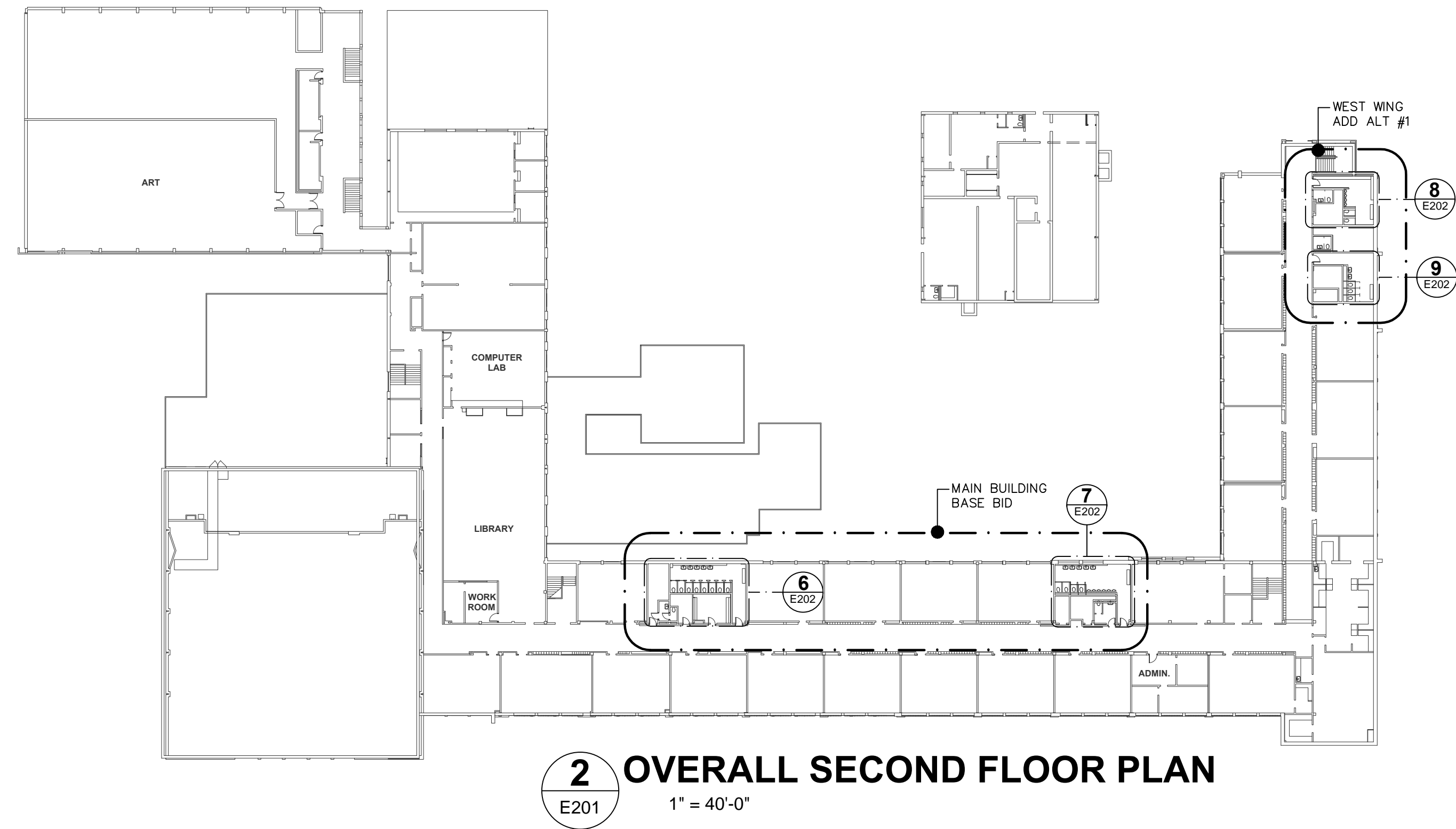
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ELECTRICAL SYMBOLS, LIGHTING SCHEDULE

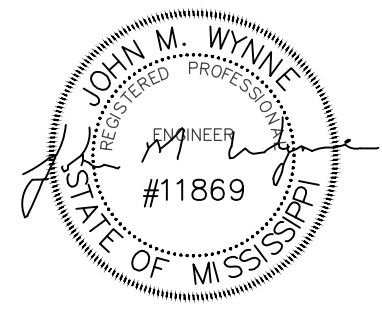
Sheet Number . . . of . . .

E101

Schultz & Wynne
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4523 Office Park Drive, Jackson, MS 39206
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TEL. 601-982-3313 FAX. 601-982-7685
FINAL DRAWING S/W JOB NO: 219085B



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Seal

Project
JPS 2018 BOND PROJECTS
LANIER HIGH SCHOOL RESTROOM IMPROVEMENTS
833 MAPLE STREET
JACKSON, MS 39203

Project Number: 19.003
Date: 12.02.2019
Drawn by: DWV.
Checked by: J.M.W.
Revisions
1 ALT. 2 - 1-13-20
2
3

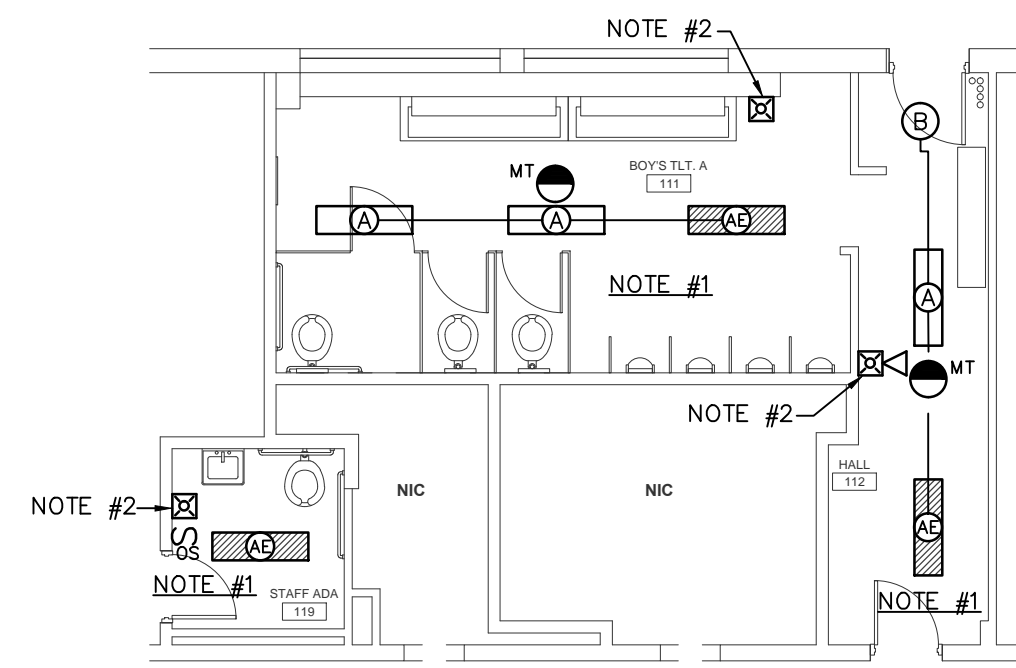
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OVERALL FIRST AND SECOND LOCATION PLANS
Sheet Number . . . of . . .

E201

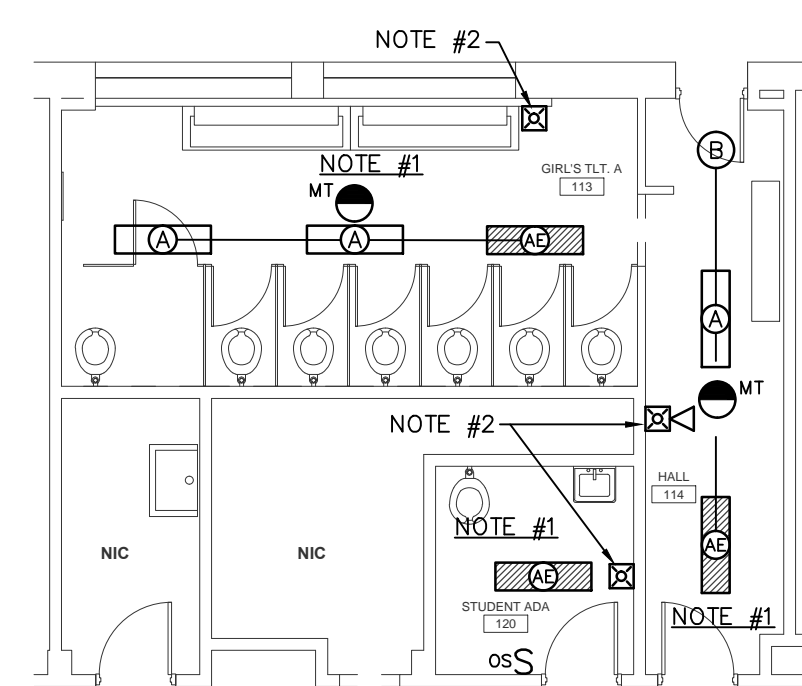
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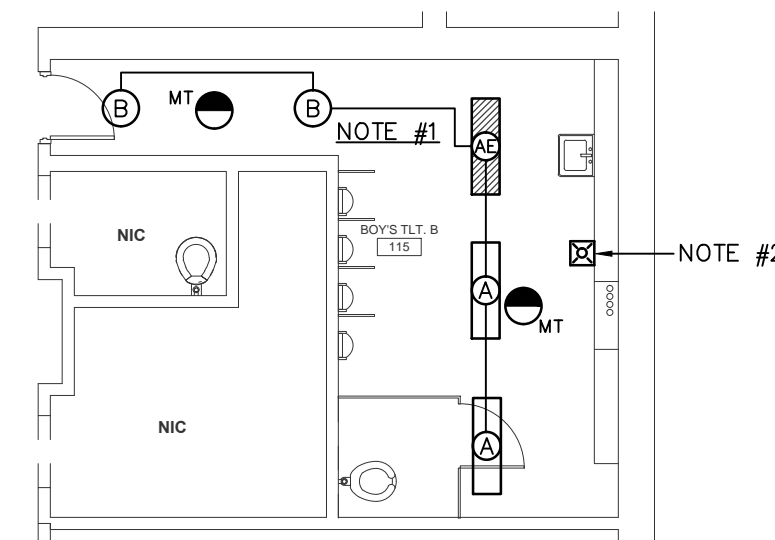
1. ALL EXISTING LIGHTING FIXTURES SHALL BE DISCONNECTED, REMOVED AND RETURNED TO OWNER PER THE ARCHITECTS DEMOLITION DIRECTIVE. NEW LIGHTING FIXTURES SHALL BE INSTALLED AND CONNECTED TO EXISTING LIGHTING CIRCUIT SERVING THIS ROOM/AREA. REWORK EXISTING BRANCH CIRCUITRY AS REQUIRED FOR NEW OCCUPANCY SENSORS AND EMERGENCY BATTERY PACKS.
2. EXTEND NEW FIRE ALARM SYSTEM DEVICE TO THE EXISTING FIRE ALARM SYSTEM AS REQUIRED.



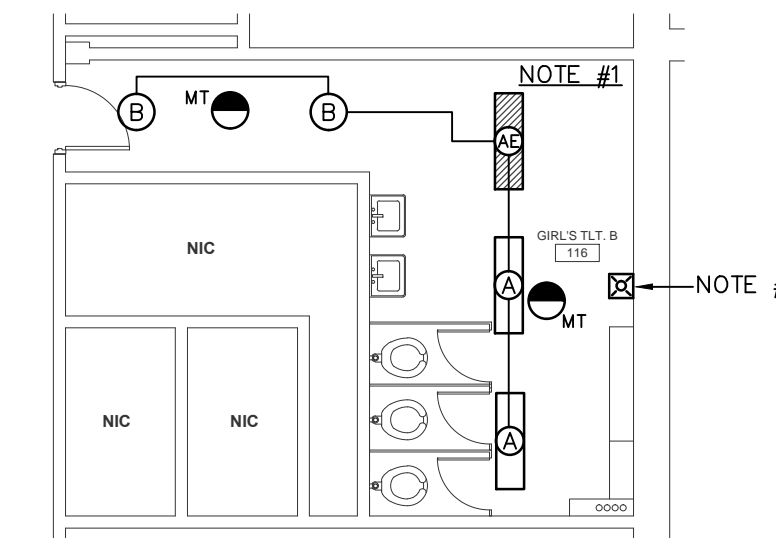
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BASE BID FIRST FLOOR ELECT. PLAN
 1/8" = 1'-0"



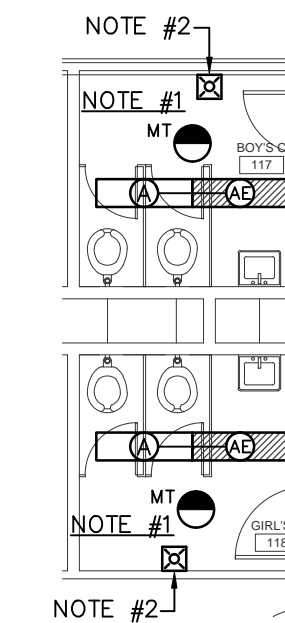
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BASE BID FIRST FLOOR ELECT. PLAN
 1/8" = 1'-0"



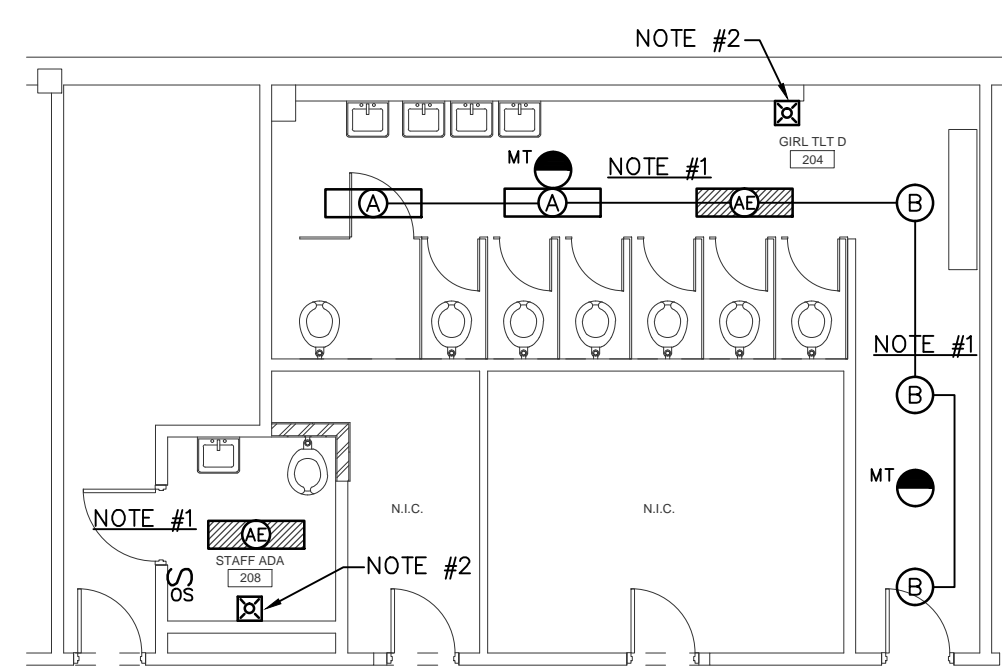
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 E202
ALTERNATE #1 FIRST FLOOR ELECT. PLAN
 1/8" = 1'-0"



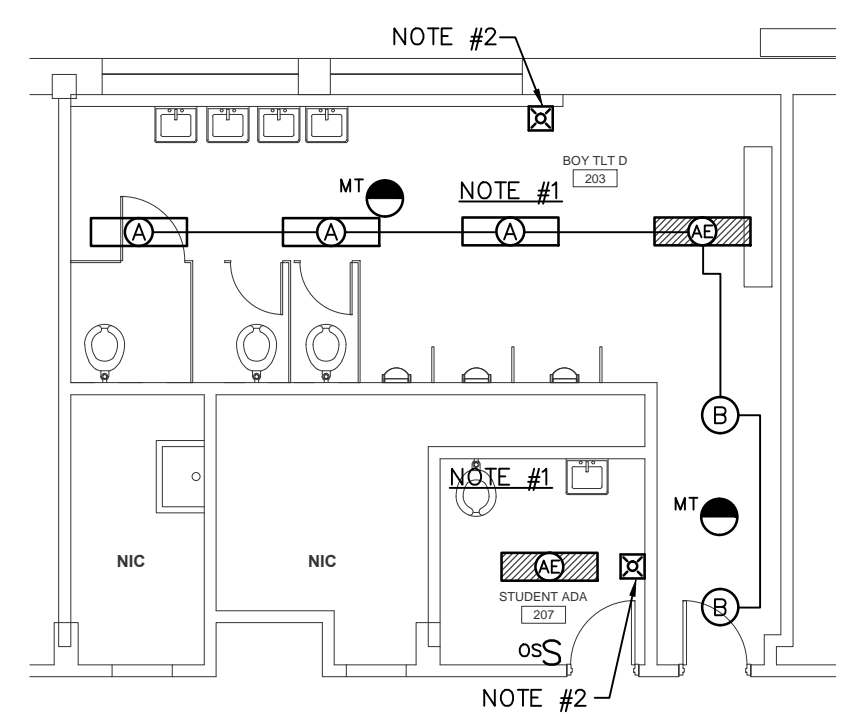
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ALTERNATE #1 FIRST FLOOR ELECT. PLAN
 1/8" = 1'-0"



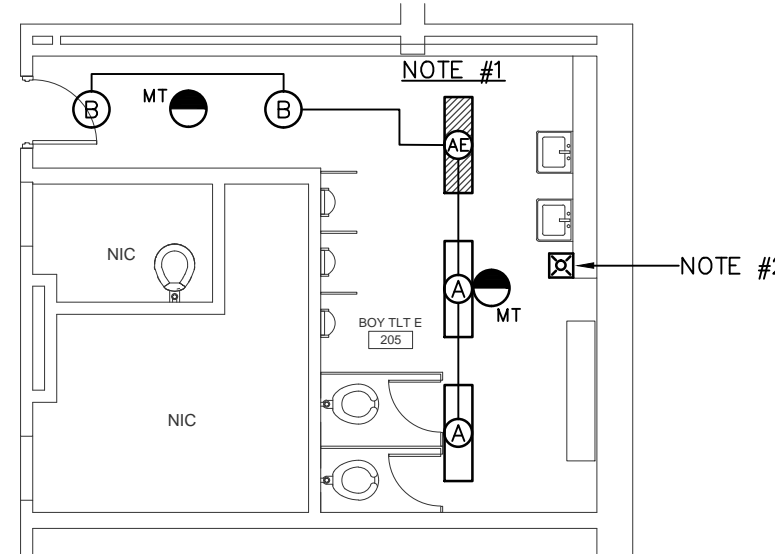
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BASE BID FIRST FLOOR ELECT. PLAN
 1/8" = 1'-0"



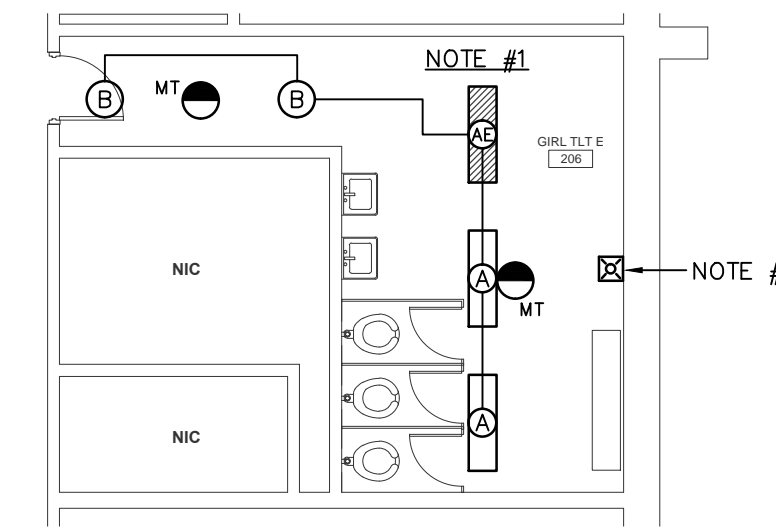
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BASE BID SECOND FLOOR ELECT. PLAN
 1/8" = 1'-0"



7
 E202
BASE BID SECOND FLOOR ELECT. PLAN
 1/8" = 1'-0"



8
 E202
ALTERNATE #1 SECOND FLOOR ELECT. PLAN
 1/8" = 1'-0"



9
 E202
ALTERNATE #1 SECOND FLOOR ELECT. PLAN
 1/8" = 1'-0"

Project
JPS 2018 BOND PROJECTS
LANIER HIGH SCHOOL RESTROOM IMPROVEMENTS

833 MAPLE STREET
 JACKSON, MS 39203

Project Number: 19.003
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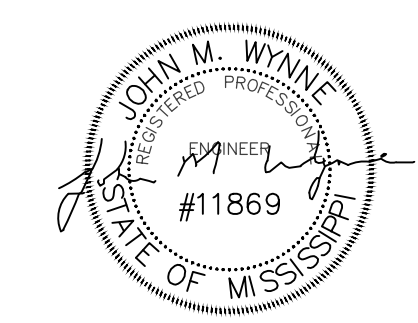
Revisions
 1 ALT. 2 - 1-13-20
 2
 3

Sheet Title

ELECTRICAL FLOOR PLANS
 A.D.A. TOILET RENOVATIONS

Sheet Number . . . of . . .

E202



Schultz & Wynne
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