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SCHOOL HOUSE LANE

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DUBLIN TWO

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# 5 REASONS TO CHOOSE

## 5 SCHOOL HOUSE LANE

### DUBLIN TWO

1

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#### HEADQUARTER BUILDING

UNIQUE 16,000 SQ. FT. OWN-DOOR HQ OPPORTUNITY

2

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#### LOCATION

SUPERB LOCATION IN THE HEART OF THE CBD,  
NESTLED BETWEEN; DÁIL ÉIREANN; ST. STEPHEN'S GREEN;  
TRINITY COLLEGE AND GRAFTON STREET

3

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#### SPECIFICATION

RE-DEVELOPED TO THE HIGHEST SPECIFICATION  
AND STANDARDS BY KENNEDY WILSON

4

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#### GREEN CREDENTIALS

TARGETING LEED GOLD CERTIFICATION

5

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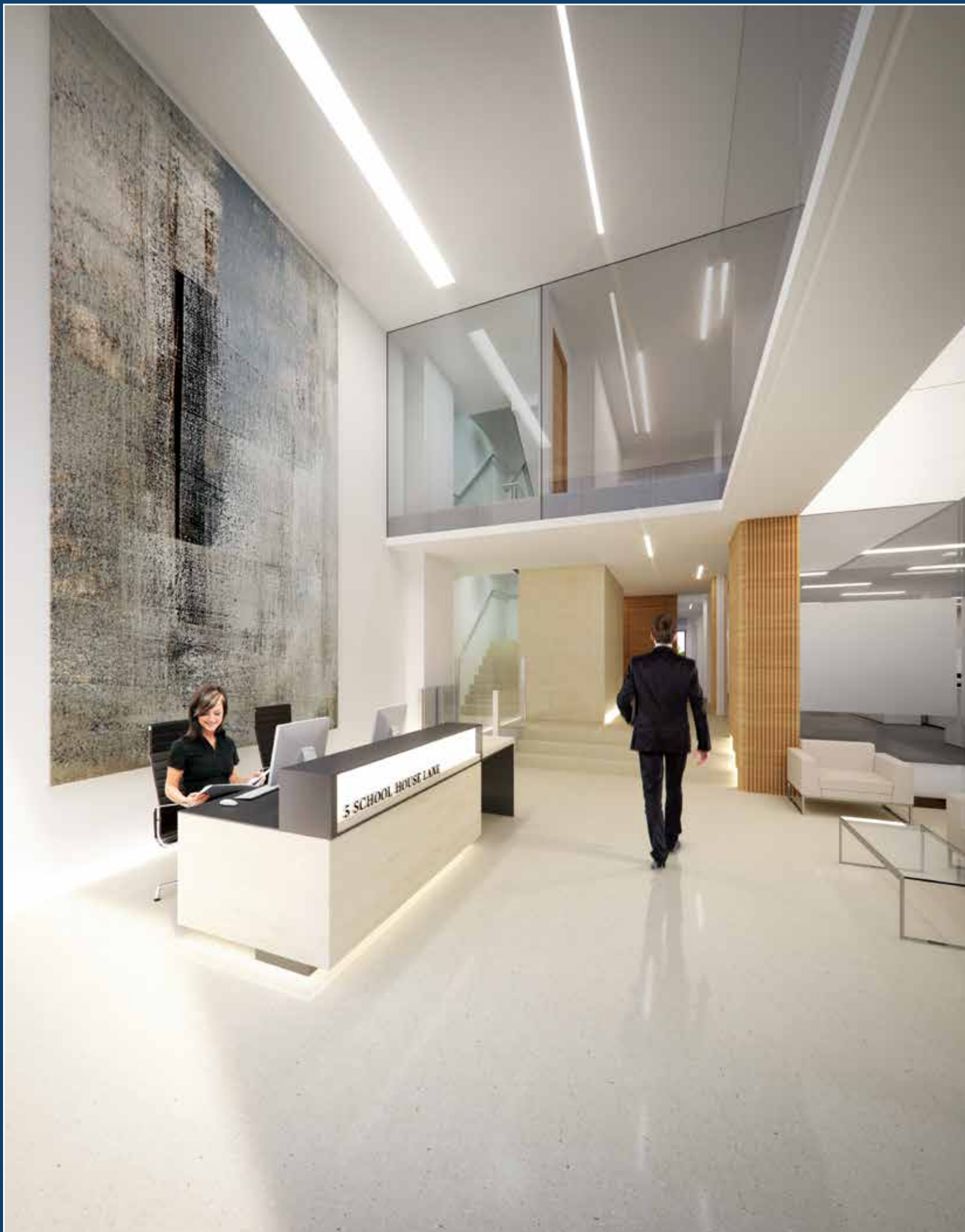
#### TIMING

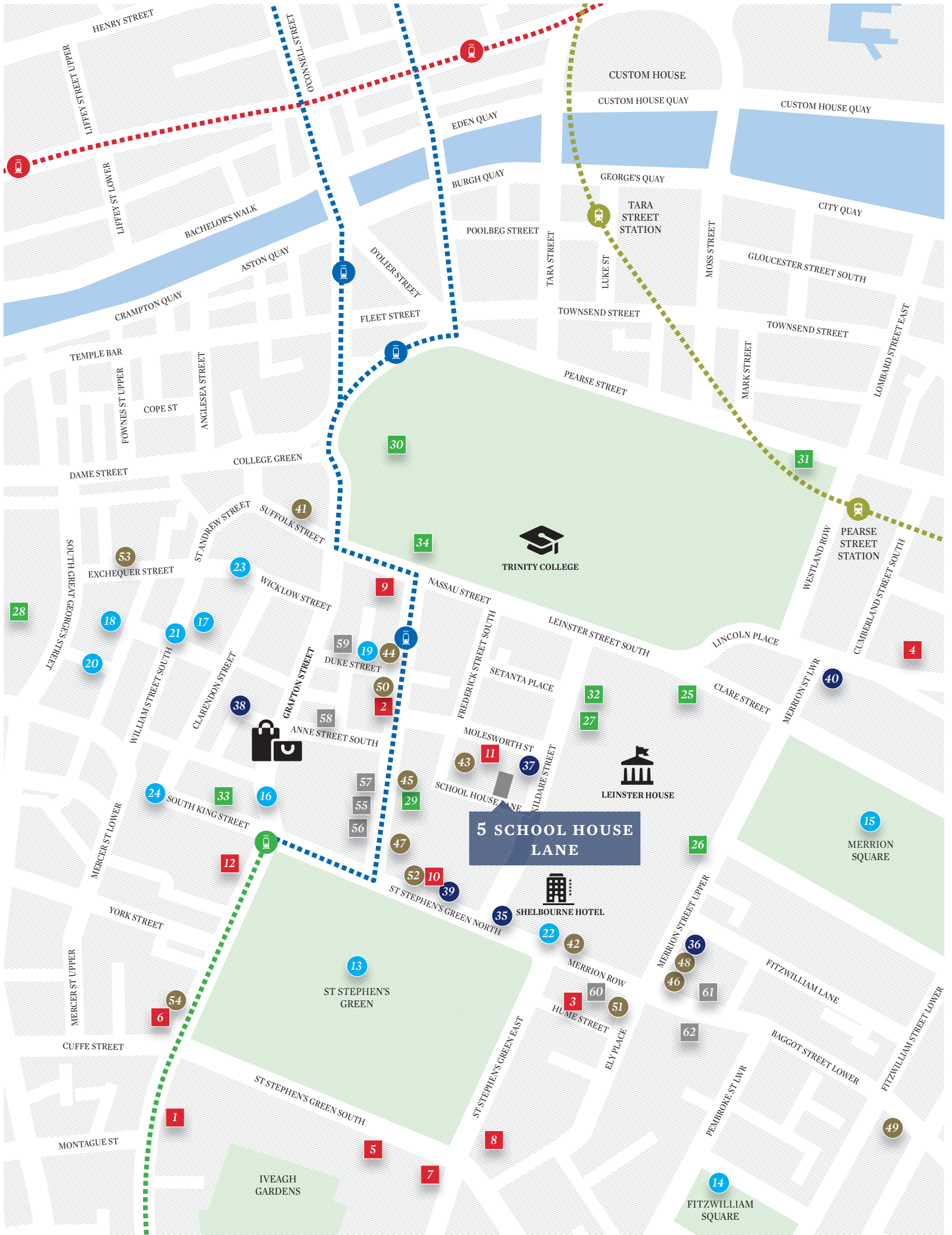
READY FOR OCCUPATION IN SUMMER 2017

## HEADQUARTER PRESENCE

5 SCHOOL HOUSE LANE IS A UNIQUE OPPORTUNITY TO OCCUPY A STAND-ALONE, 16,000 SQ. FT. HQ BUILDING IN DUBLIN'S CENTRAL BUSINESS DISTRICT.







## CENTRAL LOCATION

### LANDMARKS

LOCATED IN THE HEART OF THE CBD AND POSITIONED ONLY A FEW MINUTES' WALK FROM GOVERNMENT BUILDINGS, GRAFTON STREET, ST. STEPHEN'S GREEN AND TRINITY COLLEGE.

### AMENITIES

SURROUNDED BY ALL THE CITY'S AMENITIES, OFFERING OCCUPANTS EXCELLENT CHOICE OF BARS, CAFÉS, RESTAURANTS AND HIGH-STREET SHOPPING.

### TRANSPORT

ALL OF DUBLIN CITY'S TRANSPORT LINKS ARE HIGHLY CONVENIENT TO THE PROPERTY, INCLUDING THE LUAS, DART, DUBLIN BIKE STATIONS AND NUMEROUS BUS ROUTES.

#### LOCAL OCCUPIERS

1. KPMG
2. Davy
3. Sigmar Recruitment
4. Twitter
5. HedgeServ
6. Escher Group
7. Aercap
8. Permanent TSB
9. New Relic
10. Intercom
11. Maples FS
12. Indeed

#### CULTURAL

25. The National Gallery
26. National Museum of Ireland
27. The National Library
28. Dublin Castle
29. Mansion House
30. Trinity College Dublin
31. Science Gallery
32. Royal College of Physicians
33. Gaiety Theatre
34. The Douglas Hyde Gallery

#### RESTAURANTS

41. Avoca Café
42. KC Peaches
43. One Pico
44. Carluccio's
45. Fire
46. Pearl Brasserie
47. The Greenhouse
48. Patrick Guilbaud
49. L'Ecrivain
50. Marco Pierre White
51. Ely Wine Bar
52. Peploe's
53. Fallon & Byrne
54. Shanahan's on the Green



#### DUBLIN BIKES

1 minute walk



#### AIR COACH

1 minute walk



#### TAXI RANK

1 minute walk



#### LUAS

2 minute walk



#### DART PEARSE STREET

10 minute walk



#### DUBLIN AIRPORT

20 minute drive



#### MULTI-STOREY CAR PARK

on doorstep

#### LIFESTYLE

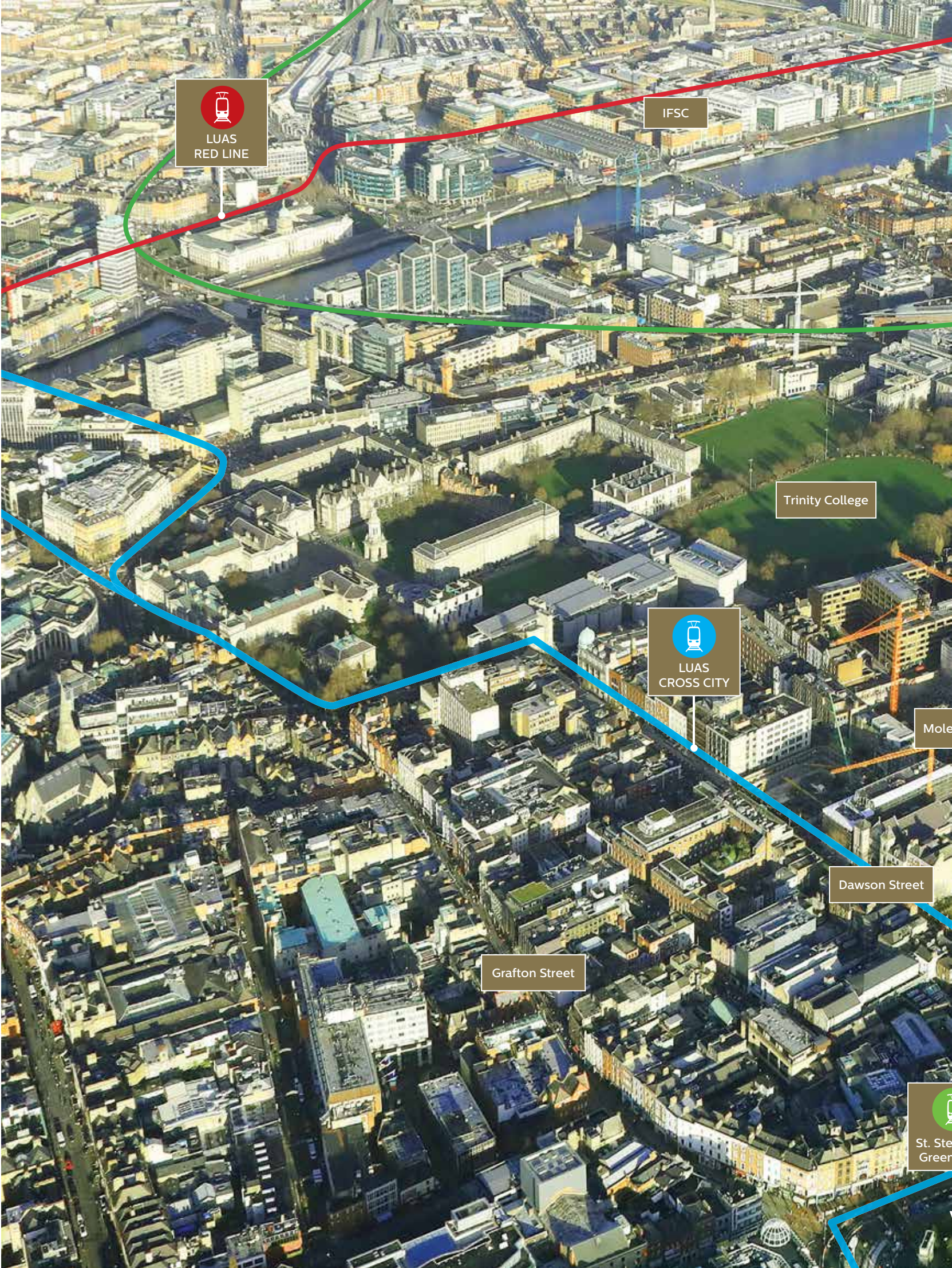
13. St. Stephen's Green
14. Fitzwilliam Square
15. Merrion Square
16. Grafton Street
17. Powerscourt Centre
18. George's Street Arcade
19. Duke Street
20. Fade Street
21. South William Street
22. The Spa at the Shelbourne
23. Wicklow Street
24. South King Street

#### HOTELS

35. The Shelbourne
36. The Merrion
37. Buswells
38. The Westbury
39. Cliff Townhouse
40. O'Callaghans

#### BARS AND NIGHTLIFE


55. 37 Dawson Street
56. Sams Bar
57. Café en Seine
58. Kehoes
59. The Bailey
60. O'Donoghues
61. Doheny and Nesbitt
62. Toners



  
LUAS  
RED LINE

IFSC

Trinity College

  
LUAS  
CROSS CITY

Mole

Dawson Street

Grafton Street

  
St. Ste  
Green





CAPITAL DOCK

Convention Centre

  
Pearse Street  
Train Station

Merrion Square

Government Buildings

Kildare Street

Dáil Éireann

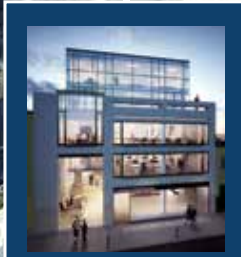
The Merrion Hotel

Swinsboro Street

Dept. of Jobs Enterprise  
& Employment

Dept. of Agriculture

The Mansion House



**5**  
SCHOOL  
HOUSE LANE

Shelbourne Hotel

  
St. Stephen's  
Green LUAS

St. Stephen's Green

## LOCAL AMENITIES

### CULTURAL & LIFESTYLE

PROXIMITY TO PUBLIC PARKS INCLUDING ST. STEPHEN'S GREEN, FITZWILLIAM SQUARE AND MERRION SQUARE. CULTURAL ATTRACTIONS SUCH AS THE NATIONAL HISTORY MUSEUM, NATIONAL GALLERY, MANSION HOUSE AND TRINITY COLLEGE DUBLIN ARE WITHIN A FIVE-MINUTE WALK OF THE PROPERTY.



The Mansion House



Merrion Square



Trinity College



St. Stephen's Green



Government Buildings



The Shelbourne Hotel - under the proud ownership of Kennedy Wilson



Grafton Street



South Anne Street

### RETAIL

WITHIN THREE MINUTES' WALK OF GRAFTON STREET, A PRIME SHOPPING AND DINING LOCATION. DAWSON STREET IS A ONE MINUTE STROLL AND IS RENOWNED FOR HIGH QUALITY BARS AND NIGHTLIFE.

### TRANSPORT LINKS

SITUATED WITHIN ONE OF THE CITY'S MAIN TRANSPORTATION HUBS.



Local Restaurants

### RESTAURANTS

SURROUNDED BY FINE DINING RESTAURANTS AND EXCELLENT CAFÉS.

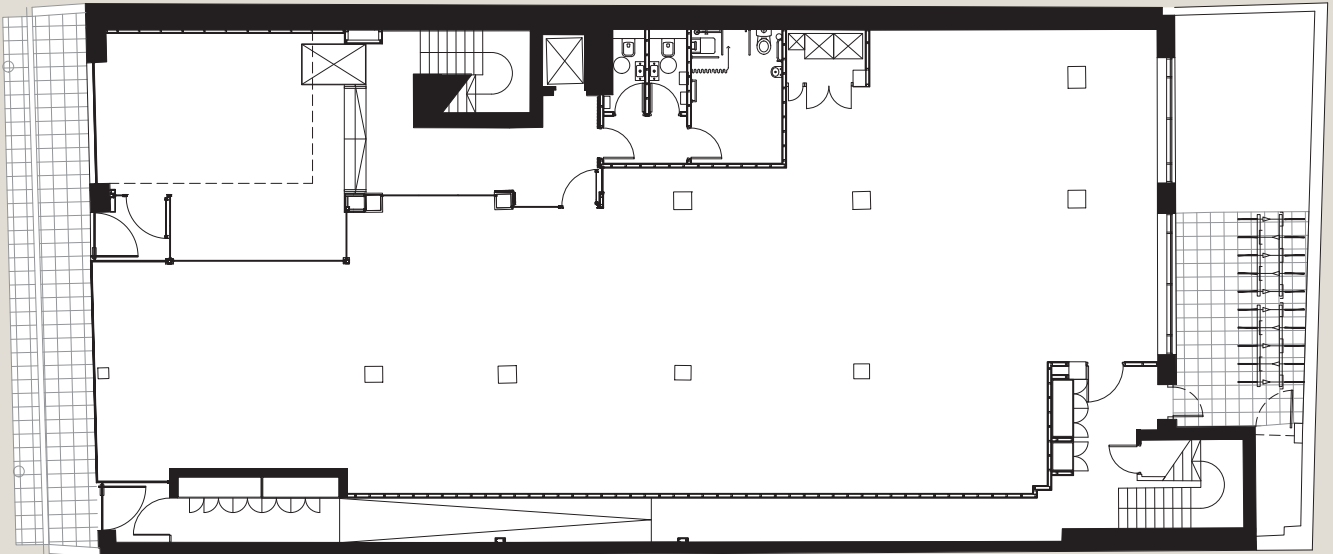


LUAS St. Stephen's Green

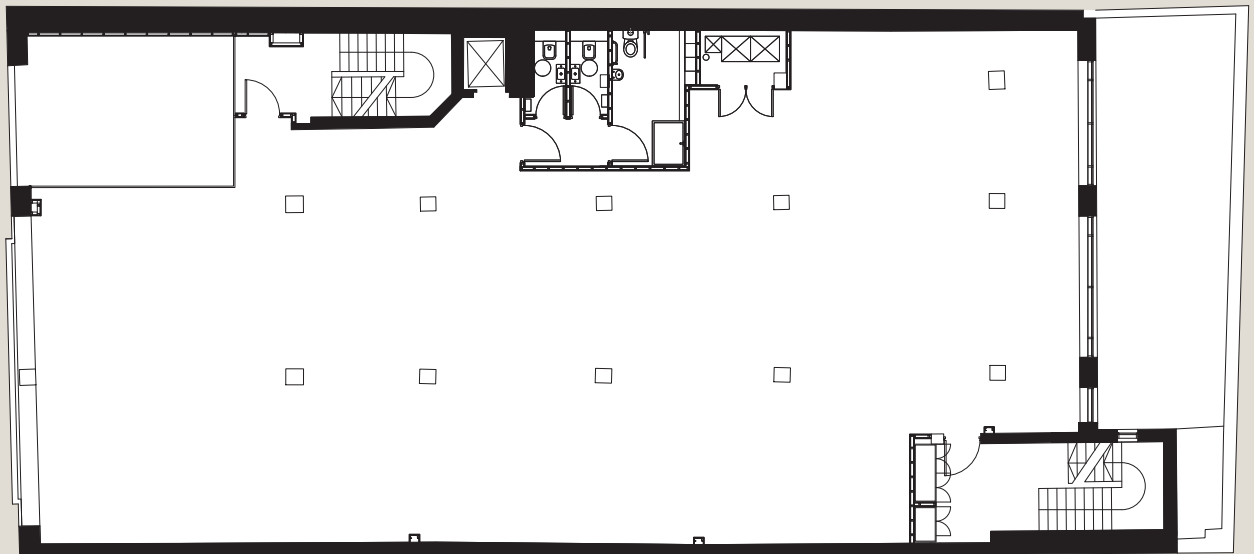
## FLOOR PLANS

FLOOR	SQ. M.	SQ. FT.
GROUND	318	3,420
1ST FLOOR	331	3,569
2ND FLOOR	360	3,873
3RD FLOOR	240	2,584
4TH FLOOR	243	2,616
TOTAL	1,492	16,062

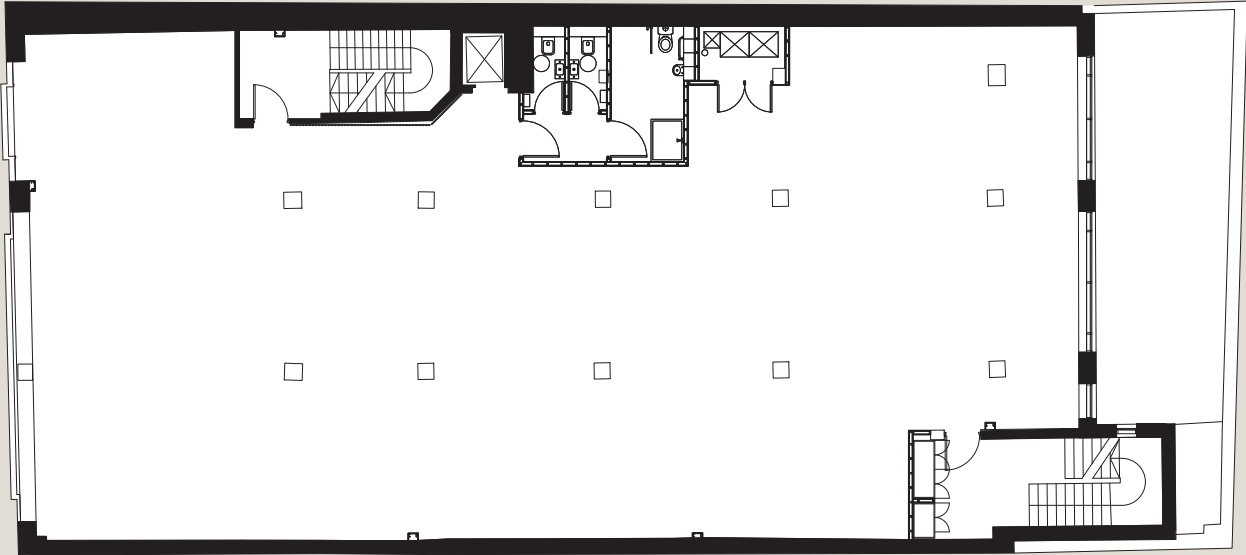
GROUND FLOOR 3,420 sq. ft.



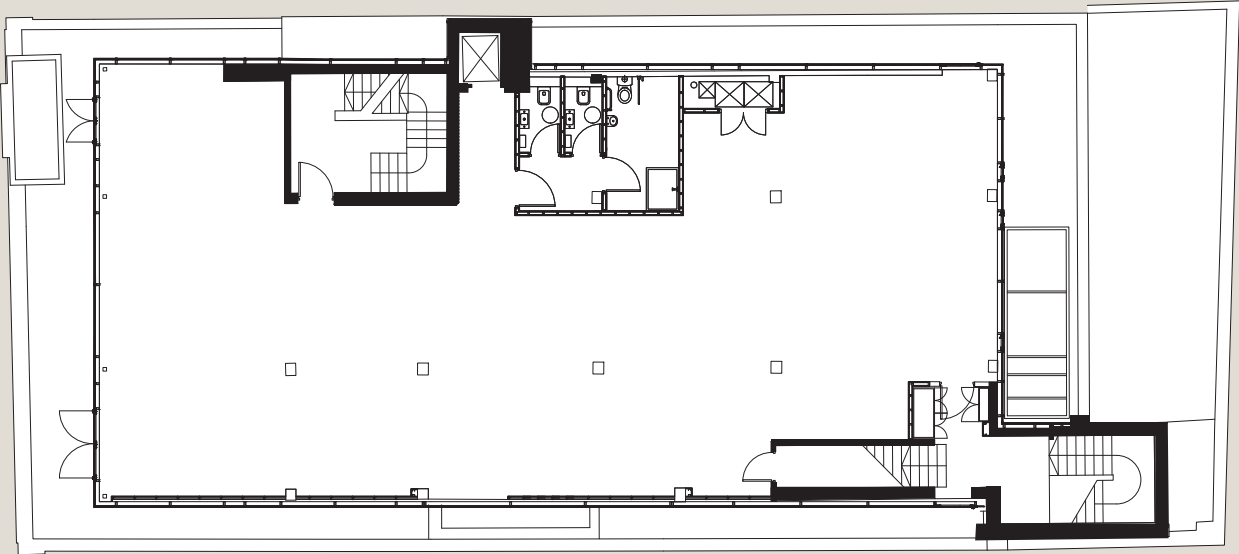
FIRST FLOOR 3,569 sq. ft.



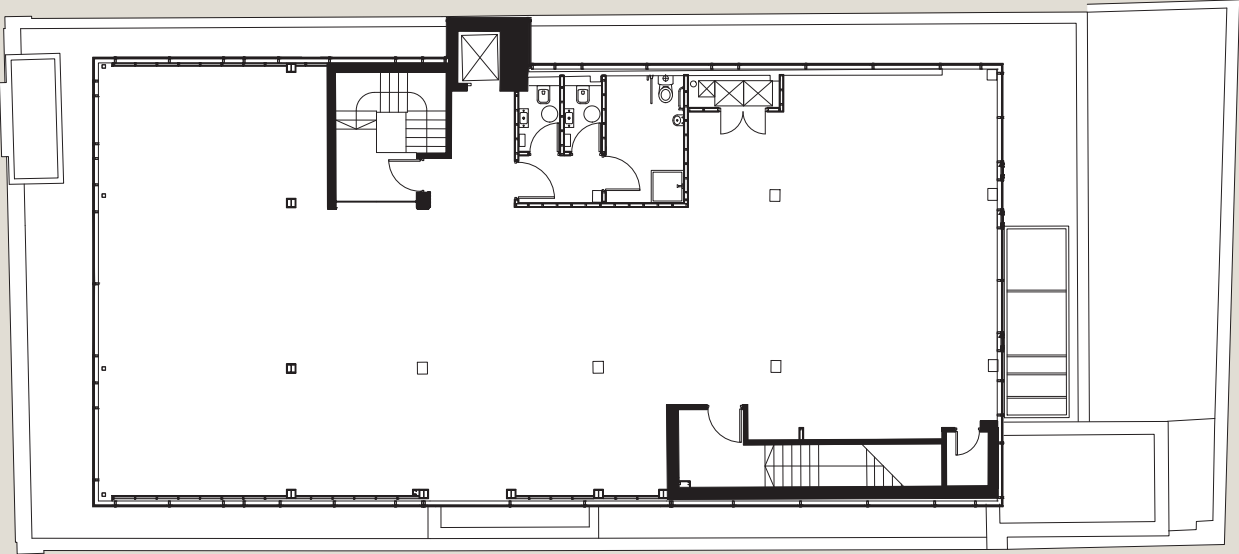
SECOND FLOOR 3,873 sq. ft.



THIRD FLOOR 2,584 sq. ft.



FOURTH FLOOR 2,616 sq. ft.



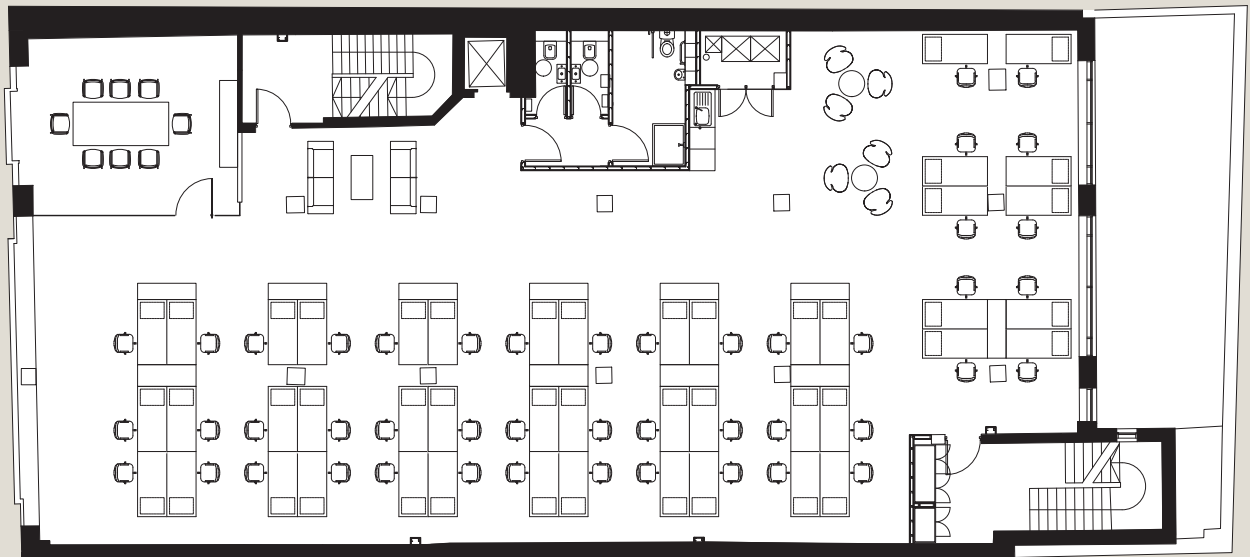
## SAMPLE TENANT FIT-OUT – SECOND FLOOR

5 SCHOOL HOUSE LANE

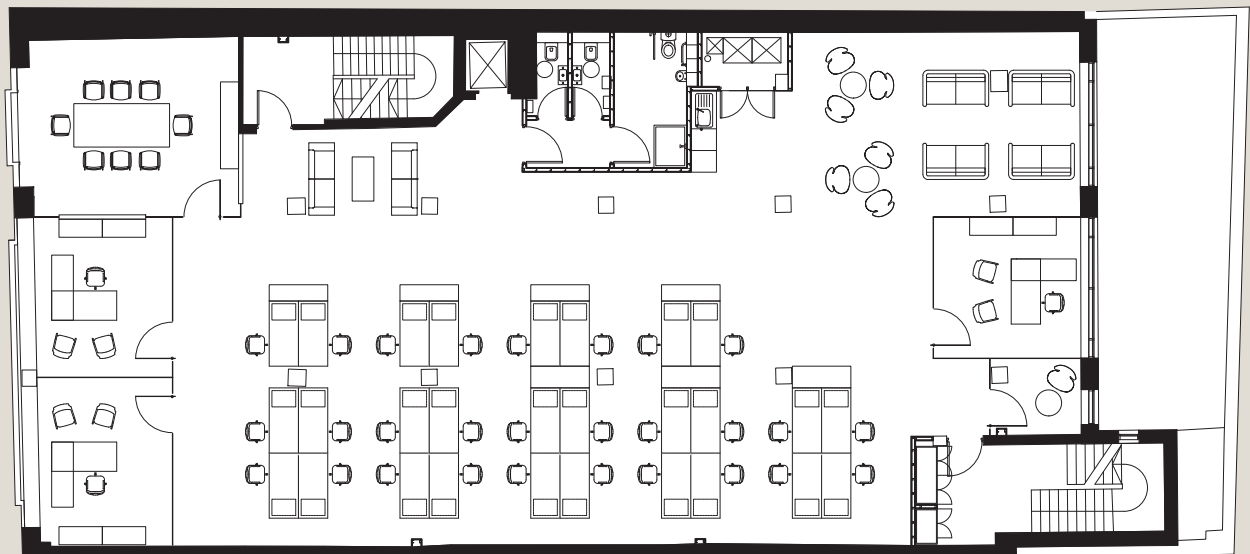
10 sq. m.  
PER PERSON  
(37 people)



8 sq. m.  
PER PERSON  
(46 people)



12 sq. m.  
PER PERSON  
(31 people)



## SPECIFICATION

### A COMMITMENT TO GREEN CREDENTIALS AND ENERGY EFFICIENCY

Targeting LEED Gold standard.

Target BER A3.



### BENEFITS OF LEED GOLD

THE TANGIBLE BENEFITS FOR OCCUPIERS COMPARED TO EXISTING BUILDINGS WITH A BER C1 RATING INCLUDE:

**57%**

Predicted reduction in energy consumption

**55%**

Predicted reduction in carbon emissions

**30%**

Predicted reduction in water usage

RE-DEVELOPED IN ONE OF DUBLIN'S MOST DISTINGUISHED LOCATIONS, 5 SCHOOL HOUSE LANE COMPRISES OVER 16,000 SQ. FT. OF GRADE A OFFICE SPACE WITH TENANT FRIENDLY AND FLEXIBLE FLOOR PLATES CONSTRUCTED TO THE HIGHEST MODERN DESIGN STANDARDS AND SPECIFICATIONS.

### SUMMARY SPECIFICATION

- Newly refurbished with stunning contemporary design featuring an attractive double height reception
- Bright efficient floor plates with floor-to-ceiling heights of 2.6m to 2.7m
- Linear core arrangement for maximum open space and flexible layouts
- Suspended ceiling with 1200mm x 300mm ceiling tiles and LED lighting
- New VRV heating and cooling air conditioning system
- WC, shower and changing facilities on every floor
- Raised access flooring of 600mm x 600mm
- Balcony area on third floor
- Passenger lift has an average waiting time of <25 seconds
- Dedicated bicycle storage with independent access

#### BY THE NUMBERS

**16,062 sq. ft.**

NET INTERNAL AREA

**1:8 sq. m.**

DESIGN OCCUPANCY LEVELS

**2.6 – 2.7m**

FLOOR-TO-CEILING HEIGHT

**5**

GRADE A OFFICE FLOORS

**15**

TOILET AND SHOWER FACILITIES

**8**

CAFÉS WITHIN 100M

**5**

MODES OF TRANSPORT WITHIN 100M

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[www.5shl.com](http://www.5shl.com)

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