



# SCHWERDT DESIGN GROUP, INC

Architecture

Interiors

Planning

Topeka, Kansas  
Oklahoma City, Oklahoma

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## ADDENDUM NO. 2

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**DATE:** October 8, 2019  
10/08/19

**PROJECT NO:** 190121

**RE:** AE Gage Center – Building A  
ADD-2, REV #2

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You are instructed to read and to note the following described changes, corrections, clarifications, omissions, deletions, additions and statements pertinent to the Contract Bid and Construction Documents:

The Addendum No. 2 is part of the contract Bid and Construction Documents and shall govern in the performance of the Work.

### **Architectural Items:**

- A-1 Sheet A-100 – BUILDING A – LOWER LEVEL FLOOR PLAN:
  - A-1.A Add note at West wall opening, Provide waterstop around existing opening, dowel reinforcement into existing foundation and infill opening with concrete.
  - A-1.B Waterproof West exterior foundation wall where dock was removed before backfilling.
  - A-1.C Infill both openings in the West wall of the North stair tower with CMU to match existing, tooth in new CMU infill.
  - A-1.D Add section mark 1/A304 and callout 2/A-304 at North Stair.
  - A-1.E The South stair shall be marked as similar to the North stair. The South stair will need a similar handrail and/or guardrail as the North stair. The GWB finish is not required, paint existing CMU.
- A-2 Sheet A-101 – BUILDING A – FIRST FLOOR PLAN:
  - A-2.A Add section mark 1/A304 and callout 3/A-304 at North Stair.
  - A-2.B The South stair shall be marked as similar to the North stair. The South stair will need a similar handrail and/or guardrail as the North stair. The GWB finish is not required, paint existing CMU.
  - A-2.C Add Detail callout C5/A-206 at end of Reception Desk.
  - A-2.D Add plan note symbol 19 for existing walls in Elev Lobby A125.
- A-3 Sheet A-102 – BUILDING A – SECOND FLOOR PLAN:
  - A-3.A Add section mark 1/A304 and callout 4/A-304 at North Stair.
  - A-3.B The South stair shall be marked as similar to the North stair. The South stair will need a similar handrail and/or guardrail as the North stair. The GWB finish is not required, paint existing CMU.
- A-4 Sheet A-112 – REFLECTED CEILING PLAN – BUILDING A – SECOND FLOOR: Revise ceiling height in Stairs AS2N to 10'-0"
- A-5 Sheet A-205 – INTERIOR ELEVATIONS AND MILLWORK DETAILS – BUILDING A: Stone tile to wrap corner as shown, ref detail.

### ADDENDUM NO. 2

- A-6 Sheet A-206 – MILLWORK DETAILS:
  - A-6.A Detail C1/A-206 – Section at Reception Desk – Revised desk end panel dimensions to 3’-0” tall and 3’-4” wide.
  - A-6.B ADD detail C5/A-206 – Reception Desk – End Panel Detail
- A-7 Sheet A-301 – WALL SECTIONS – BUILDING A:
  - A-7.A 2/A-301 BUILDING A – SMALL FIN SECTION: Wall assembly shall be (SC-1) Typical Stone Clad Assembly: 4” Full depth stone, bracing and clips as required by installer, 1” NOM air gap, continuous fluid applied moisture barrier, 5/8” gyp sheathing, 6” CFM Stud framing (18 GA. Min.) at 16” O.C.
  - A-7.B Stone coping shall be 2’- 1 ¼”
  - A-7.C Provide thru wall flashing at base of wall, term at term bar; typ.
- A-8 ADD Sheet A-304 – ENLARGED STAIR PLAN AND SECTION.
- A-9 Sheet A-501 – BUILDING A – DETAILS – ADD detail 9/A-501 Wall to Low Roof Transition
- A-10 Specification Section 102800-3 TOILET, BATH AND LAUNDRY ACCESSORIES: 2.3 Public-Use Washroom Accessories:
  - A-10.A B. Semi-recessed manual Roll Paper Towel Dispenser: Quantity: ADD one at Mothers Rm A221.
  - A-10.B C. Surfaced Mounted Manual Roll Paper Towel Dispenser: Quantity: ADD one at Break Rm A111 & A209.

**END OF ADDENDUM**

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2

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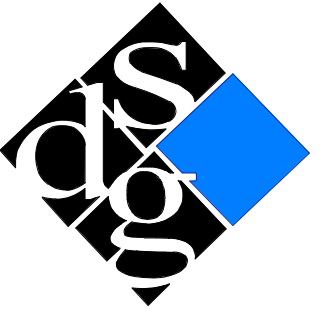
### PLAN LEGEND & NOTES

#### GENERAL PLAN NOTES:

- CONTRACTOR TO VERIFY EXISTING SITE AND BUILDING CONDITIONS.
- CONTRACTOR TO PROVIDE BLOCKING, AS REQUIRED, FOR ALL WALL MOUNTED ELEMENTS, TO INCLUDE BUT NOT LIMITED TO SHELVING, EQUIPMENT, HANDRAILS, MARKERBOARDS (MB), DIGITAL DISPLAYS (TV) ETC.
- VERIFY REQUIREMENTS OF ALL OWNER FURNISHED ITEMS WITH OWNER BEFORE PROCEEDING W/ WORK.
- ALL INTERIOR WALLS SHALL BE TYPE (3M) UNLESS NOTED OTHERWISE.
- ALL INTERIOR FURRING ON EXTERIOR MASONRY OR CONCRETE WALLS SHALL BE TYPE (0Fa) UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WINDOWS SHALL BE PROVIDED WITH ROLLER WINDOW SHADES, TYPICAL. REFERENCE FRAME ELEVATIONS, PLAN NOTES AND SPECIFICATIONS.
- REFERENCE MEP FOR ALL MECHANICAL EQUIPMENT NOT INDICATED IN PLANS AND DETAILS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- ALL NEW AND EXISTING PARTITIONS TO BE PAINTED SCREENS, WHERE INDICATED, TO BE COORDINATED WITH OWNERS AV PROVIDER.
- ALL EXPOSED STEEL TO BE PREPPED AND PAINTED.

#### PLAN NOTES:

- PIPING CHASE, REF MEP, CHASE IS CONTINUOUS VERTICALLY THROUGH LEVEL 1 & 2, TYP. - REF PLANS
- TV AND MOUNT, BY OWNER, COORDINATE W/ MEP. COORDINATE W/ OWNER FOR EXACT MOUNTING LOCATION; GC TO PROVIDE BLOCKING / ANCHORING AS REQUIRED FOR TV MOUNT
- OVERHEAD PROJECTOR & SCREEN, BY OWNER; BLOCKING / BRACING FOR MOUNTING BY GC, REF MEP FOR LOCATION COORDINATION; COORDINATE W/ OWNER & OWNER'S AV CONSULTANT AS REQUIRED FOR EQUIPMENT LOCATION, TYP.
- PROVIDE NEW STEEL ROOF ACCESS LADDER IN ACCORDANCE W/ OSHA 1926, ENSURE LADDER IS SLIP RESISTANT AND EQUIPPED WITH A POLE EXTENSION LADDER SAFETY DEVICE.
- ELECTRICAL PANEL, FULLY RECESSED IN LOCATIONS WHERE A MIN. 6" STUD WALL HAS BEEN PROVIDED; REF ELECT
- ALTERNATE REMOVED FROM PROJECT IN ADDENDUM #1
- NEW FLOOR SINK, REF PLUMBING
- INFILL OPENING WITH CMU TO MATCH EXISTING, TOOTH IN NEW CMU
- PROVIDE NEW HANDRAIL, REF TYP. DETAIL; HANDRAIL MUST EXTEND PAST RISER A MIN OF 12" AT TOP AND BOTTOM OF STAIR.
- INFILL OPENING WITH METAL STUD, SOUND ATTENUATING BATT INSULATION AND GYPSUM WALL BOARD PARTITION; MATCH EXISTING ADJACENT WALL THICKNESS AND FINISH
- CORNER GUARD REQUIRED, CG-1 REF A-604 FINISH LEGEND
- OWNER PROVIDED SODA MACHINE. PROVIDE CONDUIT REQUIRED FOR SYRUP LINES AND CO<sup>2</sup> TO ADJACENT STORAGE ROOM, REF MEP
- OWNER PROVIDED BREAK ROOM EQUIPMENT INCLUDES BUT IS NOT LIMITED TO: (2) REFRIGERATORS, (2) MICROWAVES, COFFEE MACHINE, COMMERCIAL COFFEE GRINDER, TEA MACHINE AND ICE MACHINE; REF PLUMBING FOR REQUIRED WATER LINES AND FLOOR DRAINS AND ELECT FOR POWER REQUIREMENTS
- OWNER PROVIDED ROOM SCHEDULER, REF TELECOM FOR CONTRACTOR INSTALLED INFRASTRUCTURE REQUIREMENTS
- BACK-LIT SIGNAGE BY OWNER, COORDINATE W/ OWNERS SIGNAGE PROVIDER FOR ELECTRICAL AND BLOCKING REQUIREMENTS
- ESD FLOOR TILE REQUIRES GROUNDING, REF FINISH SCHEDULE AND ELECT.
- SAW CUT FLOOR FOR FLOOR BOX AND CABLING AS REQUIRED, REF ELECT AND TELECOM
- ACCESS CONTROL REQUIRED AT ELEVATOR TO RESTRICT ACCESS TO CERTAIN LEVELS. COORDINATE TRAVELING CABLE REQUIREMENTS WITH OWNERS ACCESS CONTROL PROVIDER.
- REMOVE GWB WITH ORANGE PEEL TEXTURE AND REPLACE WITH NEW GWB, TYP.
- CONCRETE FLOOR AND METAL DECK INFILL, REF STRUCT
- ROOF DRAIN LEADER, REF PLUMBING



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# ADVISORS EXCEL - GAGE CENTER CAMPUS PHASE 1 - BUILDING A - REMODEL TOPEKA, KANSAS 66604

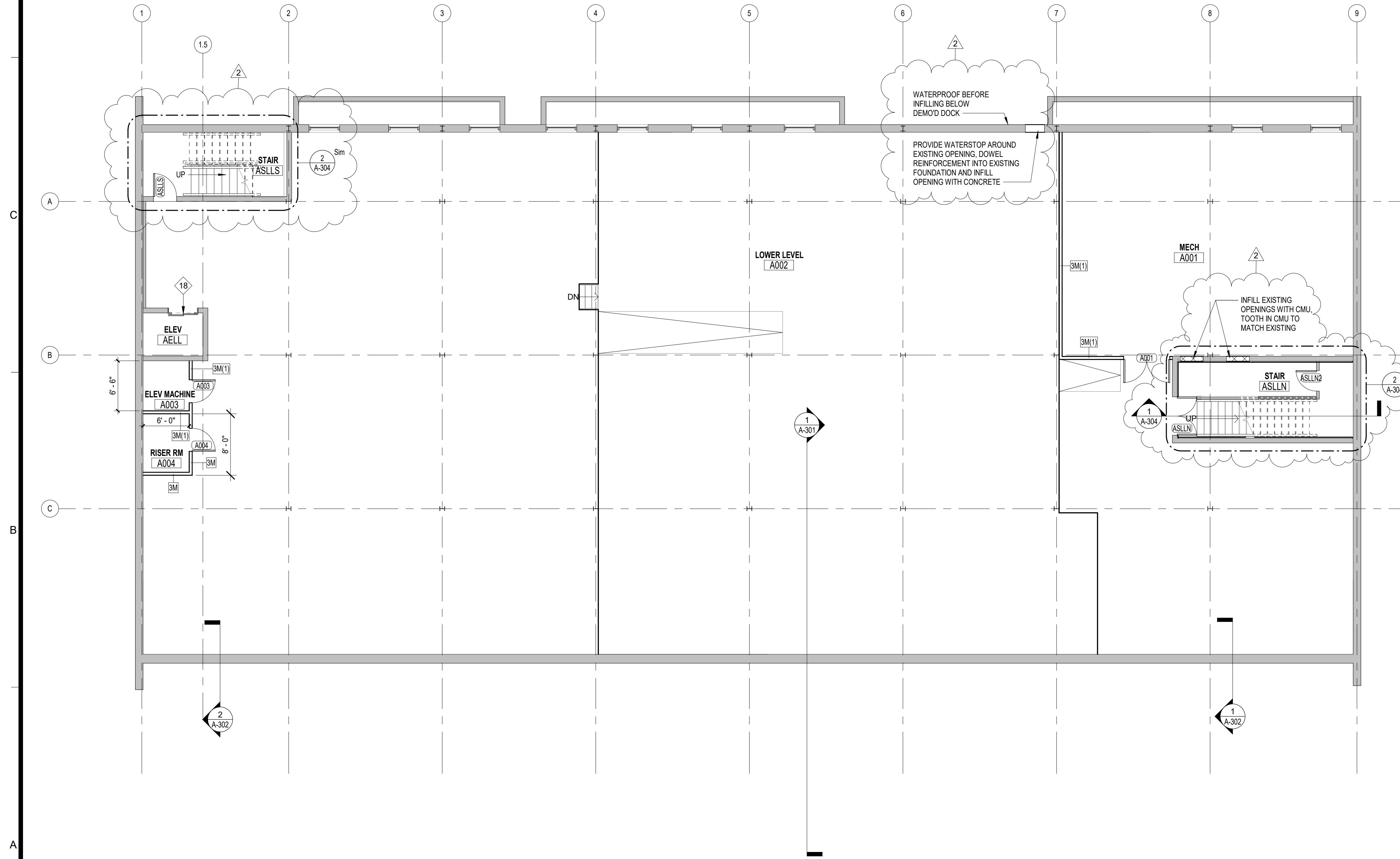
#### SUBMISSION DATES

ADD-1, REV#2 10/4/2019  
 ADD-1, REV #1 10/02/2019

SHEET TITLE  
 BUILDING A - LOWER  
 LEVEL FLOOR PLAN

PROJECT NUMBER  
**190121**

SHEET NUMBER  
**A-100**



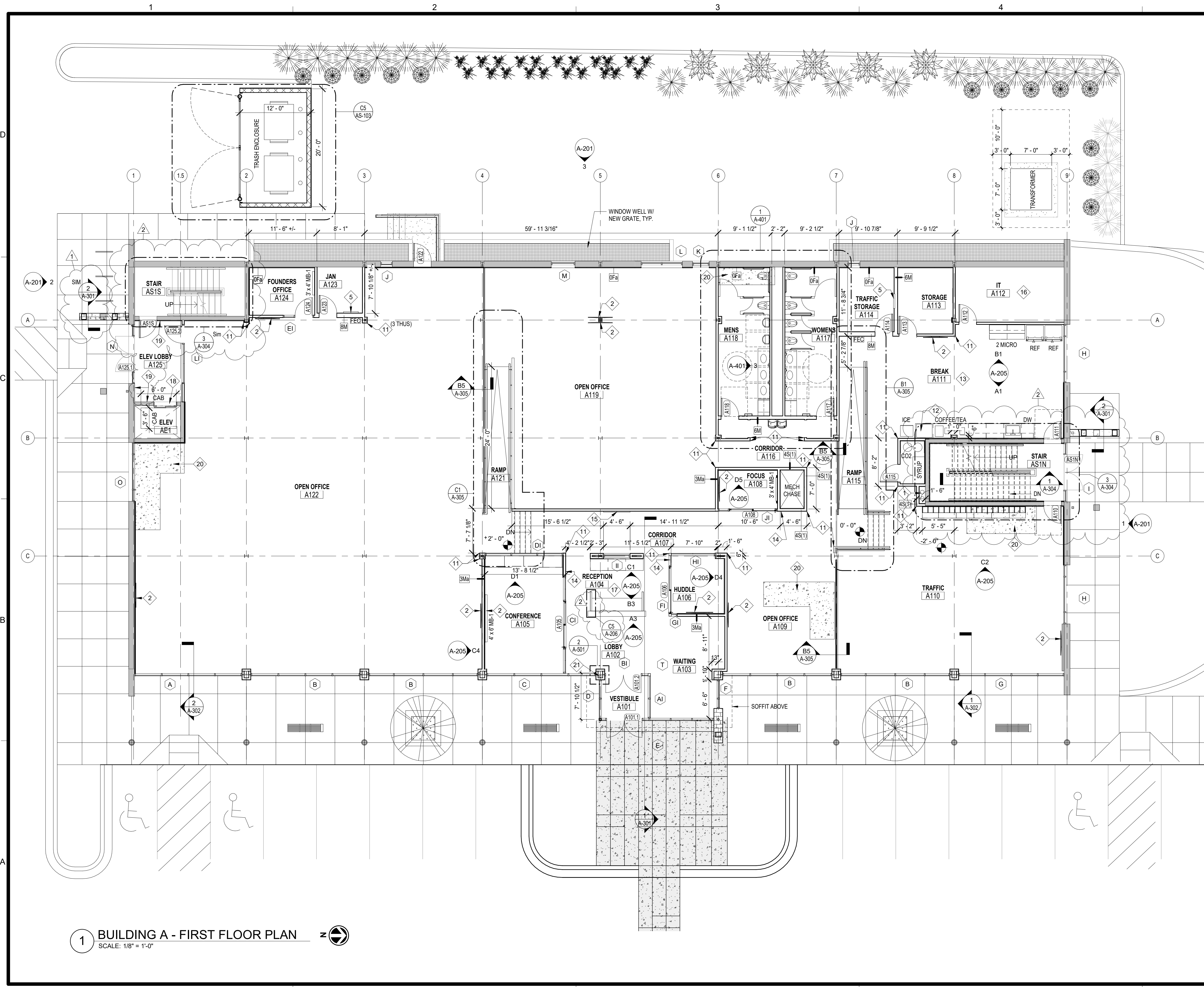
**1 BUILDING A - LOWER LEVEL FLOOR PLAN**

SCALE: 1/8" = 1'-0"

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**1 BUILDING A - FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

**PLAN LEGEND & NOTES**

- GENERAL PLAN NOTES:**
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  - ALL INTERIOR WALLS SHALL BE TYPE (3M) UNLESS NOTED OTHERWISE.
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- PLAN NOTES:**
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**ADVISORS EXCEL - GAGE CENTER CAMPUS  
 PHASE 1 - BUILDING A - REMODEL  
 TOPEKA, KANSAS 66604**

**SUBMISSION DATES**

ADD-1, REV#2	10/4/2019
ADD-1, REV #1	10/02/2019

**SHEET TITLE**  
 BUILDING A - FIRST FLOOR PLAN

**PROJECT NUMBER**  
 190121

**SHEET NUMBER**  
 A-101



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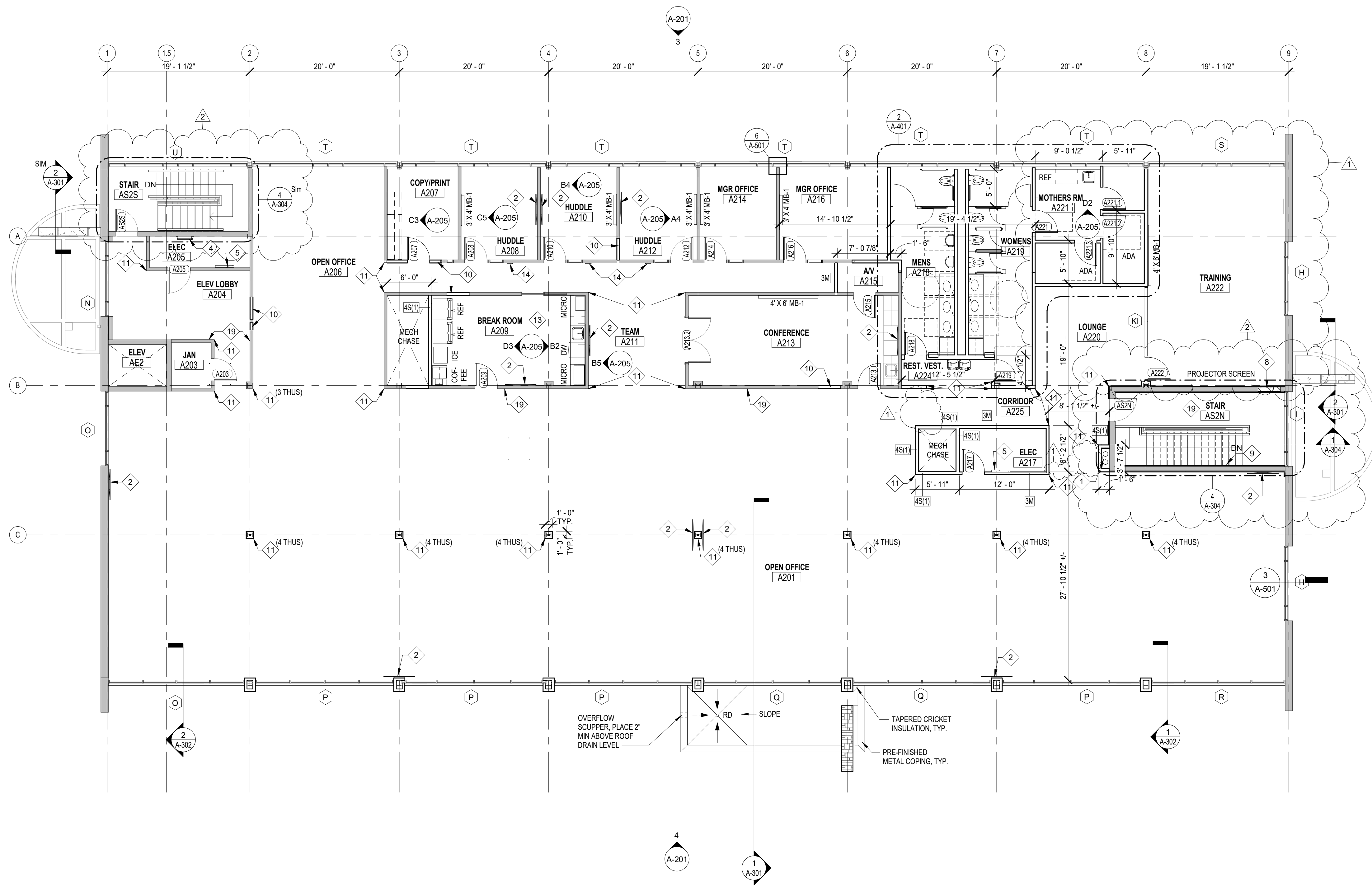
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  - REMOVE GWB WITH ORANGE PEEL TEXTURE AND REPLACE WITH NEW GWB, TYP.
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  - ROOF DRAIN LEADER, REF PLUMBING



**1 BUILDING A - SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

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**ADVISORS EXCEL - GAGE CENTER CAMPUS  
PHASE 1 - BUILDING A - REMODEL  
TOPEKA, KANSAS 66604**

**SUBMISSION DATES**

ADD-1, REV#2	10/4/2019
ADD-1, REV #1	10/02/2019

**SHEET TITLE**  
BUILDING A - SECOND FLOOR PLAN

**PROJECT NUMBER**  
**190121**

**SHEET NUMBER**  
**A-102**

1 2 3 4 5

REFLECTED CEILING LEGEND

**RCP HATCH LEGEND**

ACT-1		2 X 2 ACOUSTIC CEILING TILE
ACT-2		2 X 4 ACOUSTIC CEILING TILE
ACT-3		4 X 4 ACOUSTIC CEILING CLOUDS
ACT-4		4 X 4 ACOUSTIC CEILING CLOUDS COLOR - 1
ACT-5		4 X 4 ACOUSTIC CEILING CLOUDS COLOR - 2
ACT-6		1-11 X 5-10" ACOUSTIC CEILING CLOUDS
GWB		GYP CEILING

RCP SYMBOL LEGEND

	2 X 4 TROFFER LIGHT
	2 X 2 TROFFER LIGHT
	8" RECESSED CAN
	8'-0" ELEVATION

RCP GENERAL PLAN NOTES

1. PREP AND PAINT EXPOSED EXISTING STRUCTURE.
2. NO CEILING WORK IN HATCHED AREA.
3. COORDINATE W/ OWNERS AV CONSULTANT FOR ALL CEILING MOUNTED EQUIPMENT NOT SHOWN IN RCP. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
4. INSTALL LIGHT FIXTURES AT THE CENTER OF THE ACOUSTICAL CEILING PANEL, UNO.
5. INSTALL SUSPENDED CEILING GRID TO BE LEVEL WITHIN A TOLERANCE OF 1/8" / 12'-0". ANCHOR AS REQUIRED.
6. ALL LIGHTING NOT SHOWN ON ARCHITECTURAL RCP. REFERENCE ELECTRICAL FOR ALL LIGHTING REQUIREMENTS; NOTIFY ARCHITECT OF ANY DISCREPANCIES.

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**ADVISORS EXCEL - GAGE CENTER CAMPUS  
 PHASE 1 - BUILDING A - REMODEL  
 TOPEKA, KANSAS 66604**

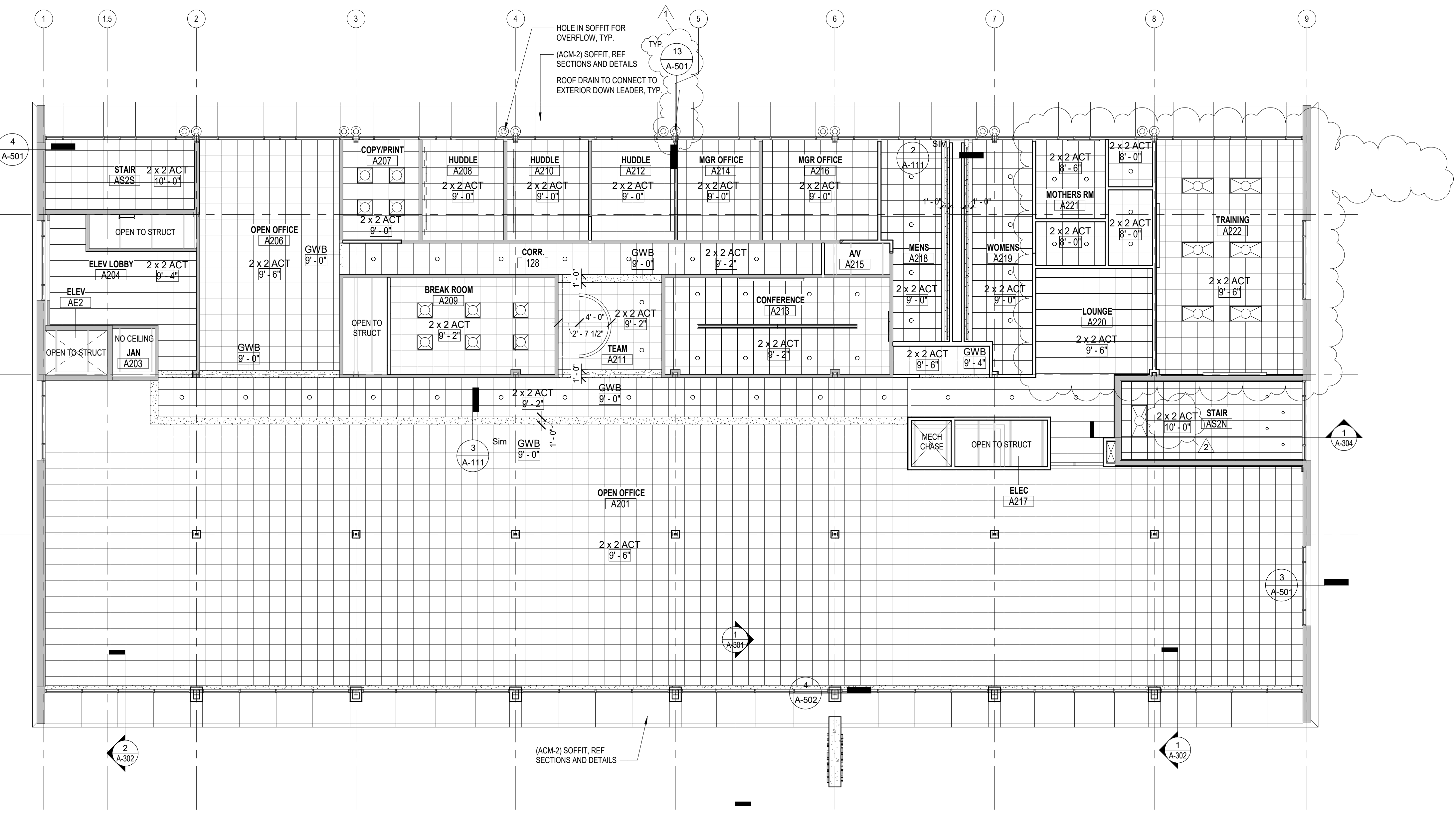
**SUBMISSION DATES**

ADD-1, REV#2	10/4/2019
ADD-1, REV #1	10/02/2019

**SHEET TITLE**  
 REFLECTED CEILING PLAN  
 - BUILDING A - SECOND  
 FLOOR

**PROJECT NUMBER**  
**190121**

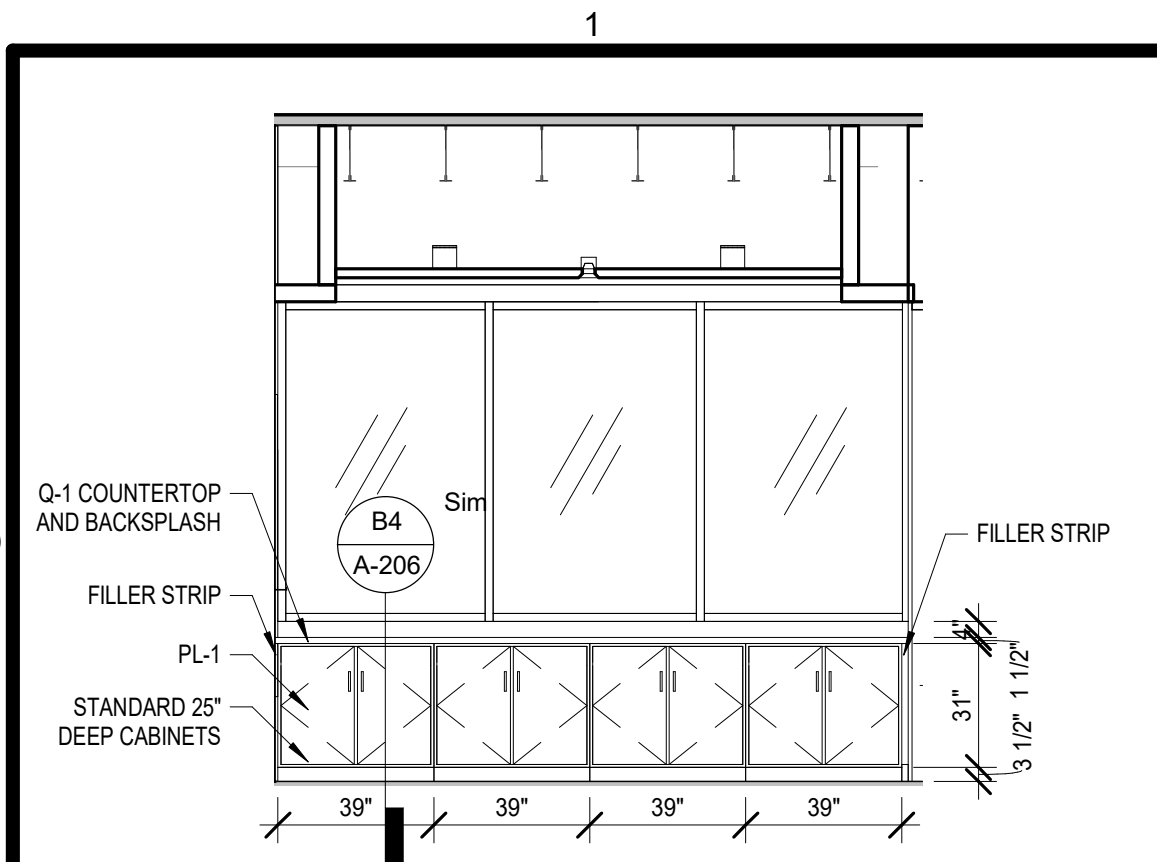
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**A-112**



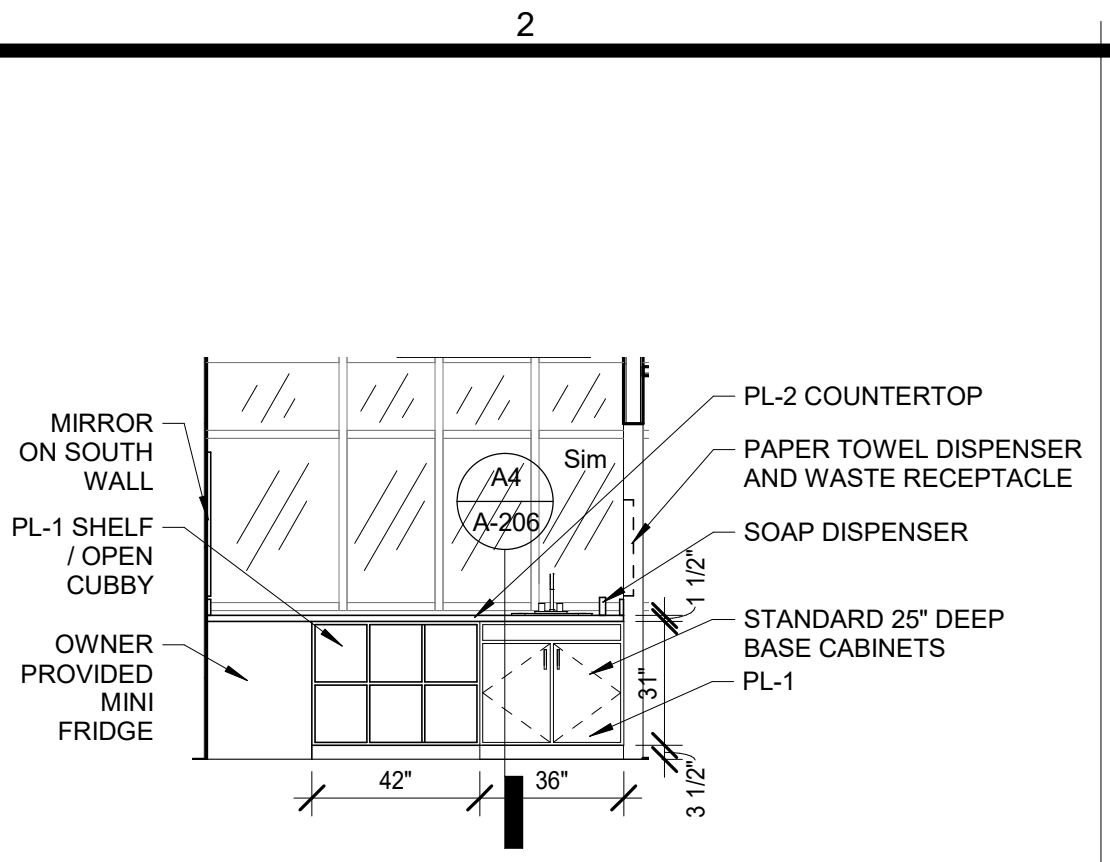
**REFLECTED CEILING PLAN - BUILDING A - SECOND FLOOR**  
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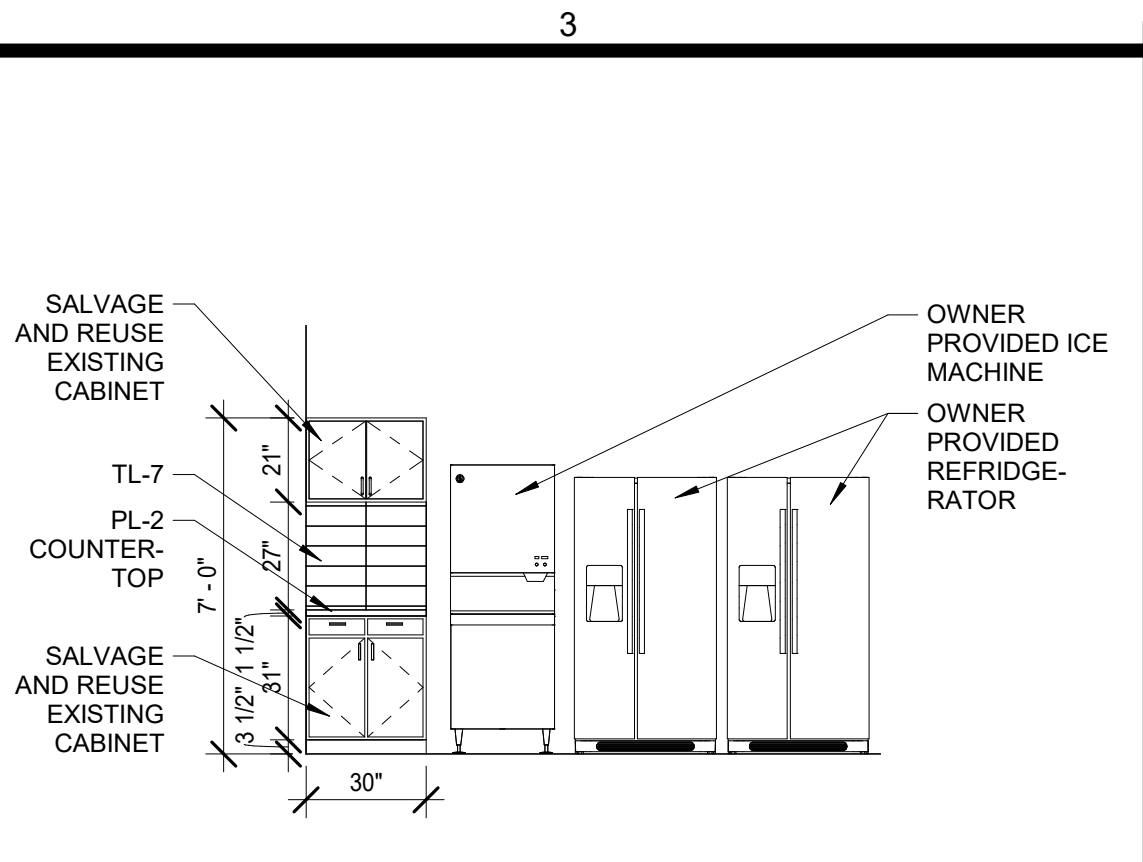




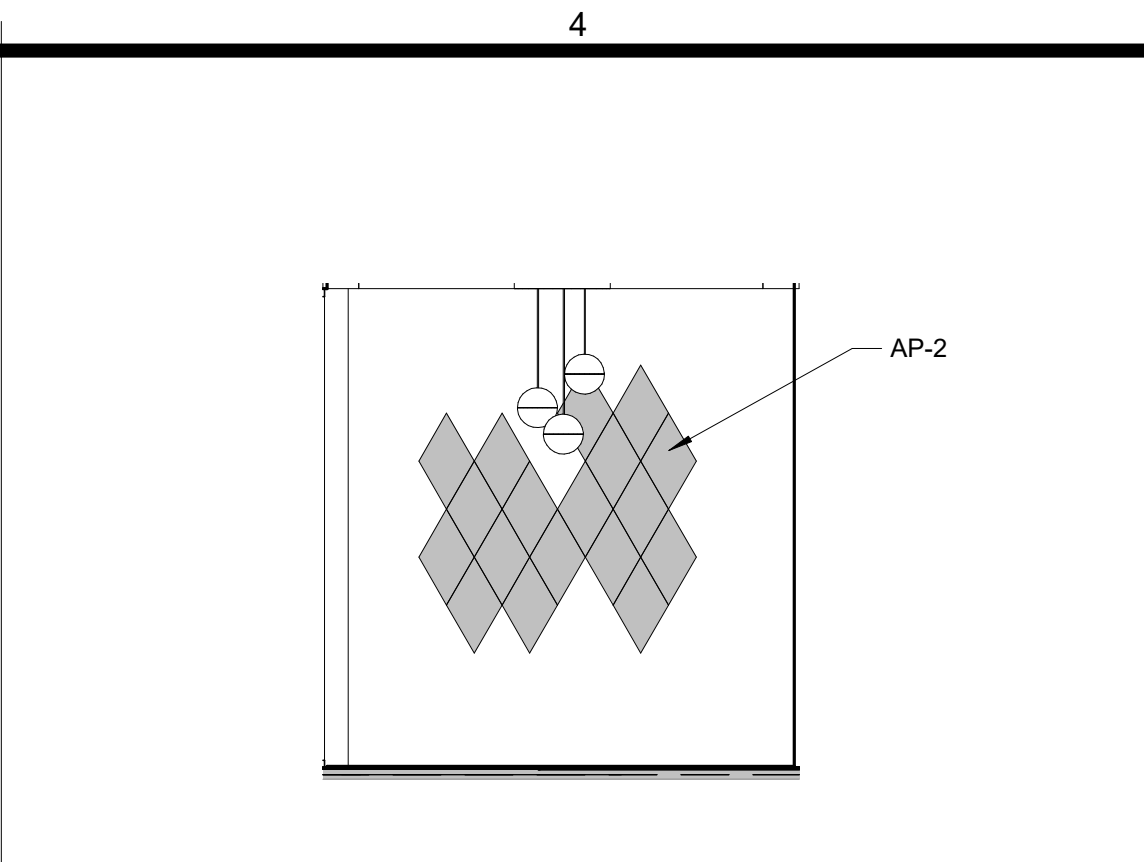
**D1 CONFERENCE A105 NORTH**  
SCALE: 1/4" = 1'-0"



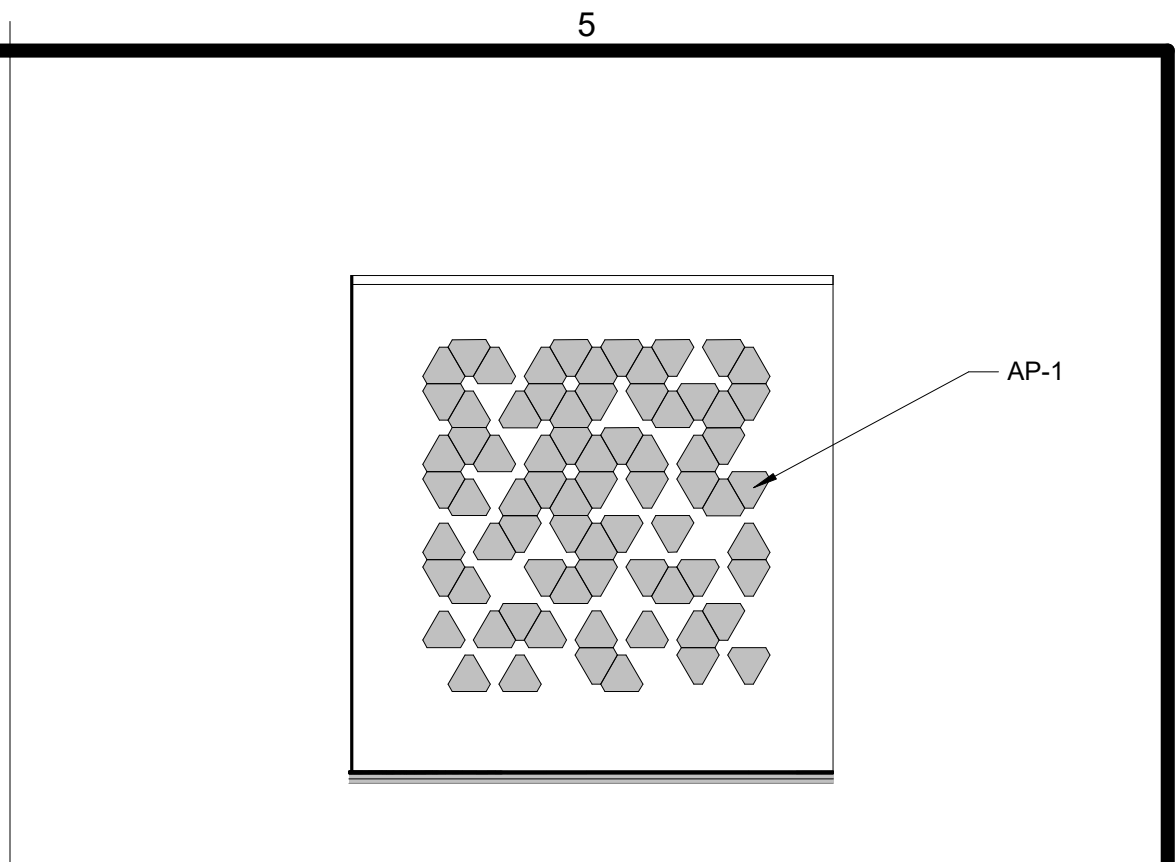
**D2 MOTHERS RM A221**  
SCALE: 1/4" = 1'-0"



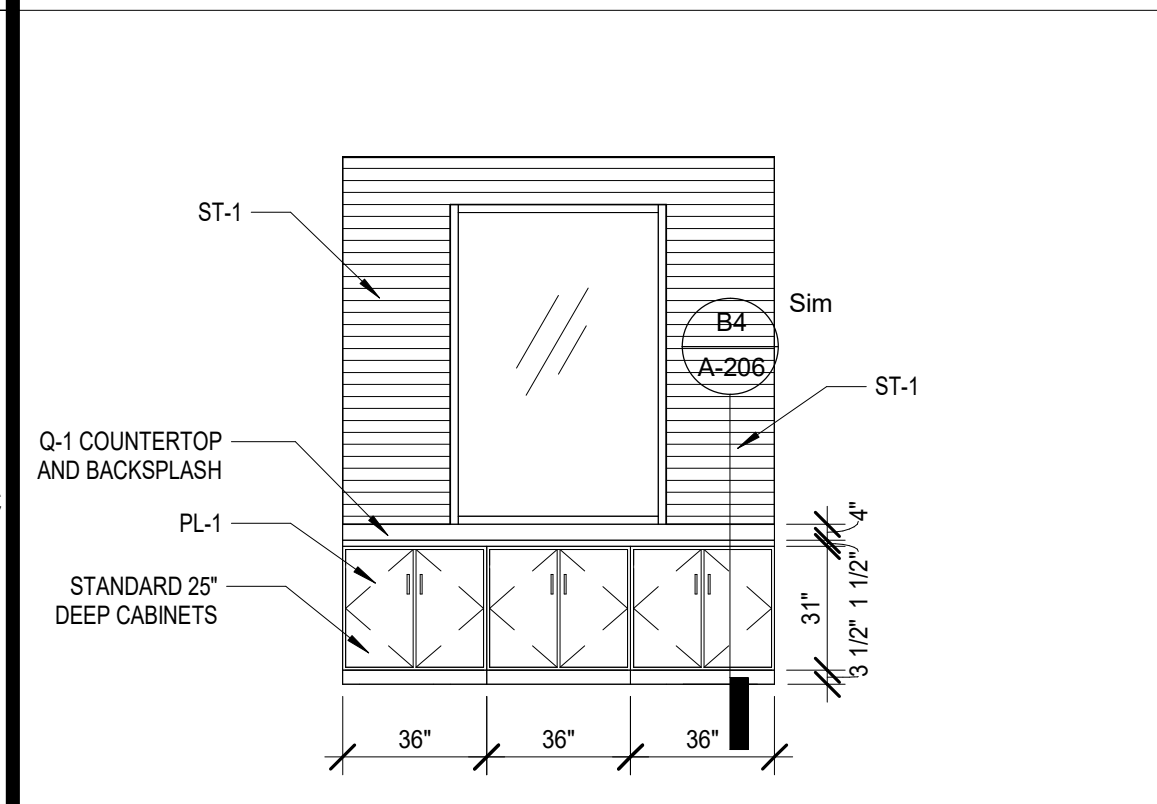
**D3 BREAK A209 SOUTH**  
SCALE: 1/4" = 1'-0"



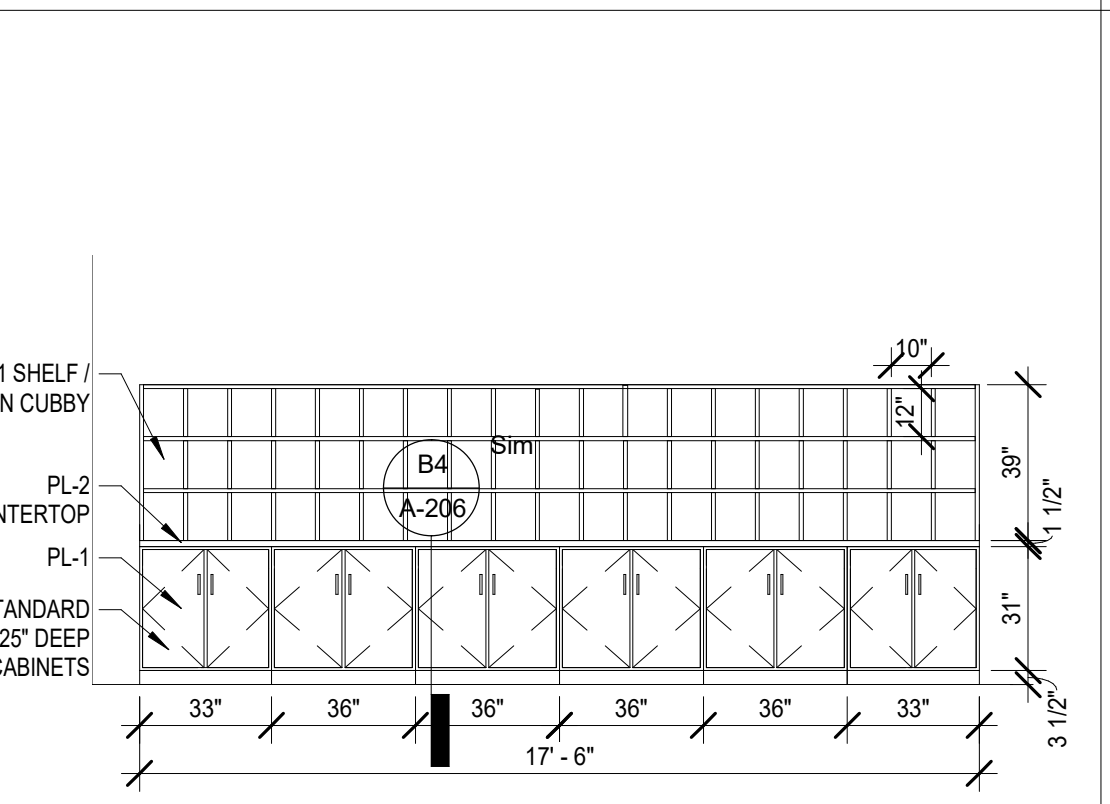
**D4 HUDDLE A106 NORTH**  
SCALE: 1/4" = 1'-0"



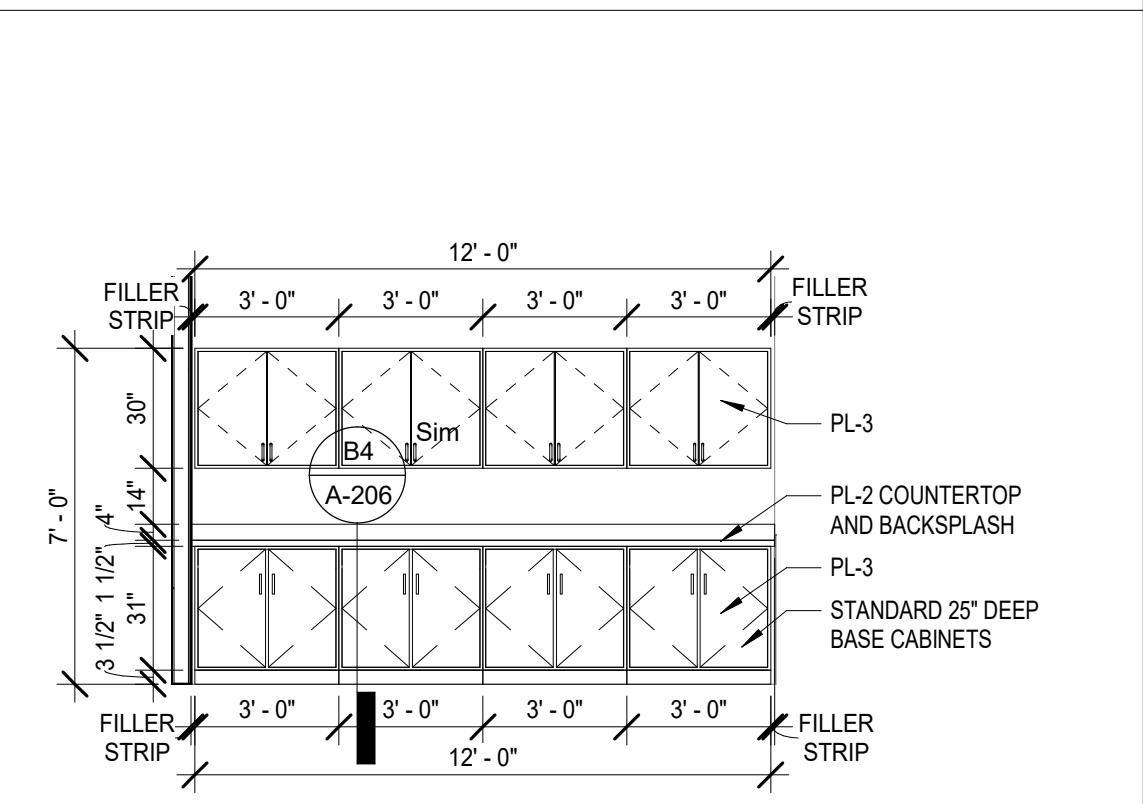
**D5 FOCUS A108 WEST**  
SCALE: 1/4" = 1'-0"



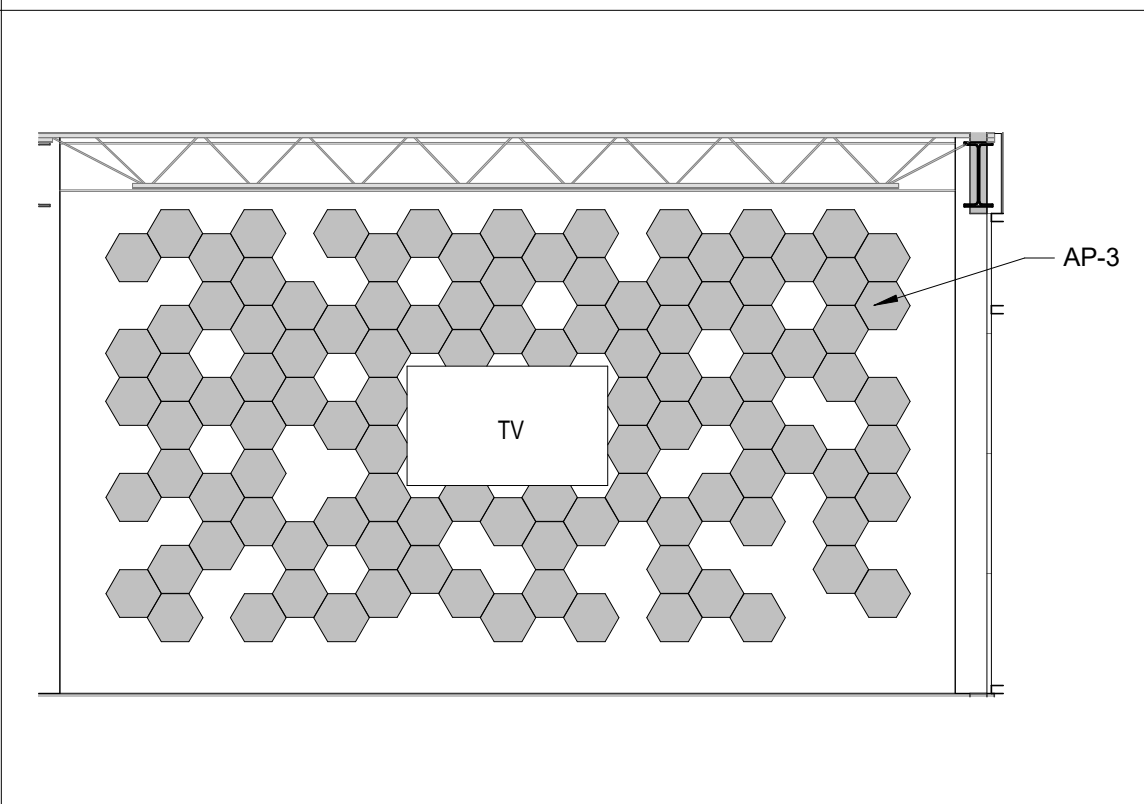
**C1 BACK OF RECEPTION**  
SCALE: 1/4" = 1'-0"



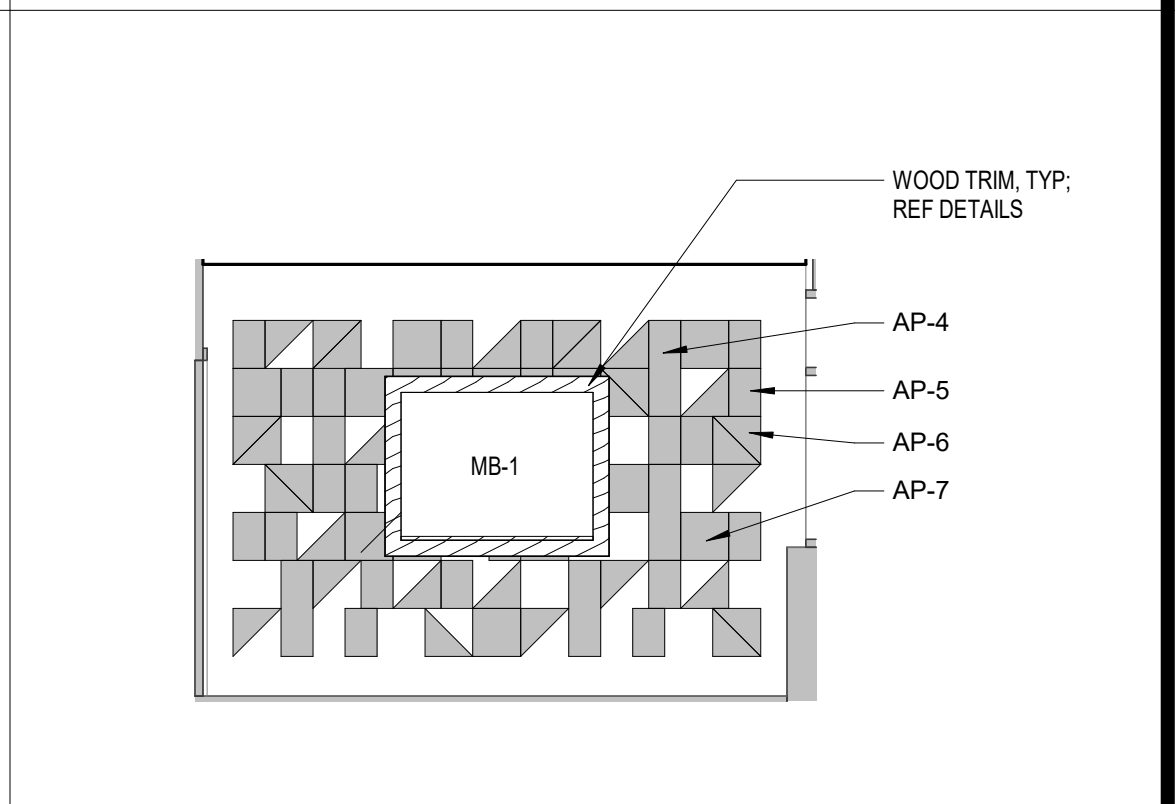
**C2 OPEN OFFICE A110 TRAFFIC TEAM**  
SCALE: 1/4" = 1'-0"



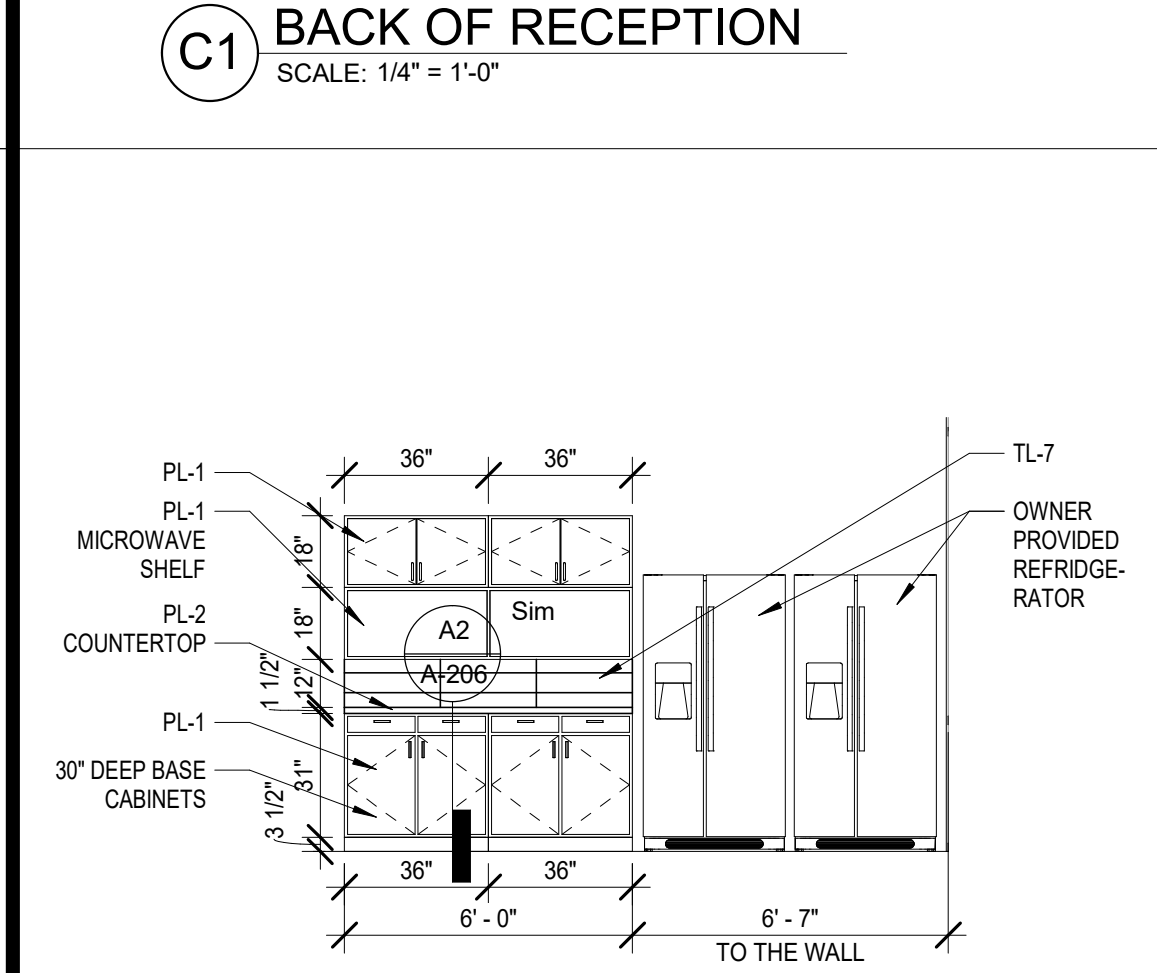
**C3 COPY/PRINT A207 SOUTH**  
SCALE: 1/4" = 1'-0"



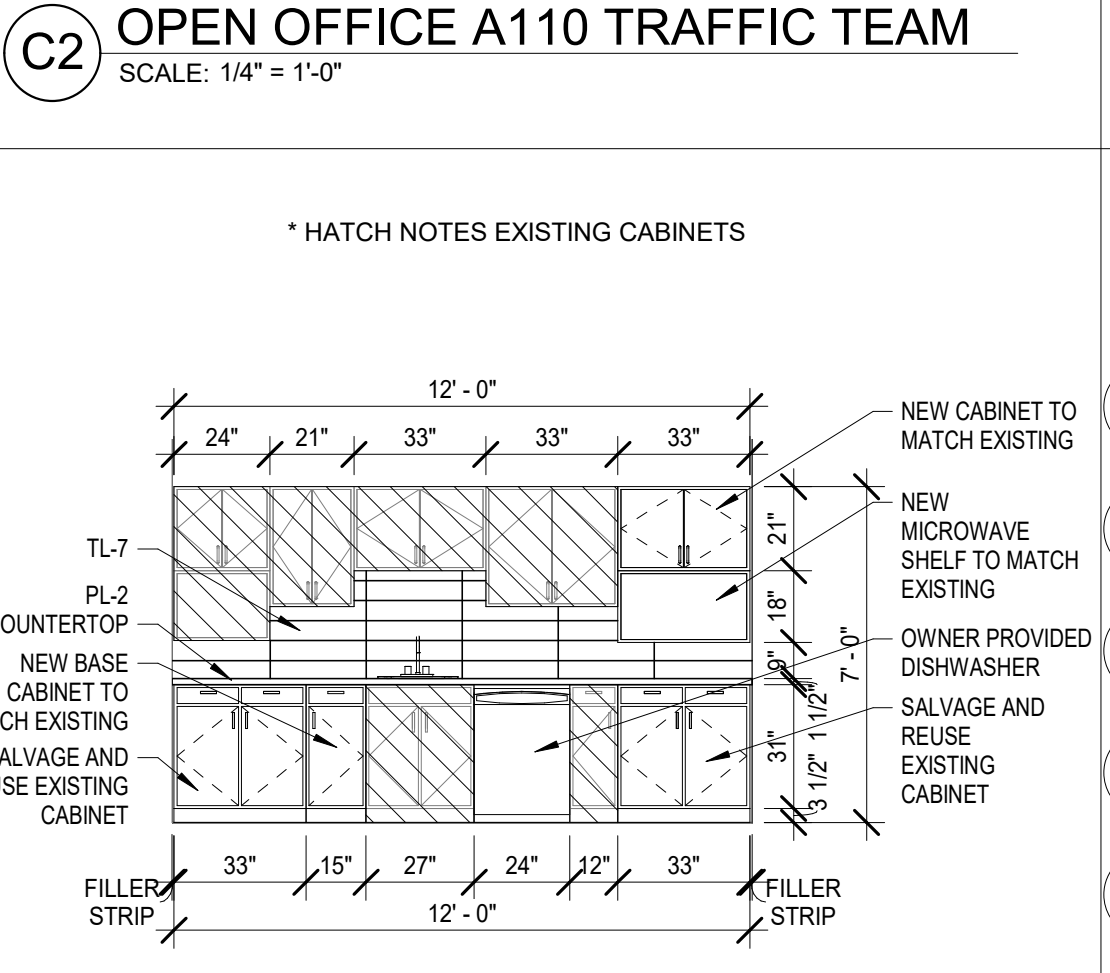
**C4 OPEN OFFICE A122 NORTH**  
SCALE: 1/4" = 1'-0"



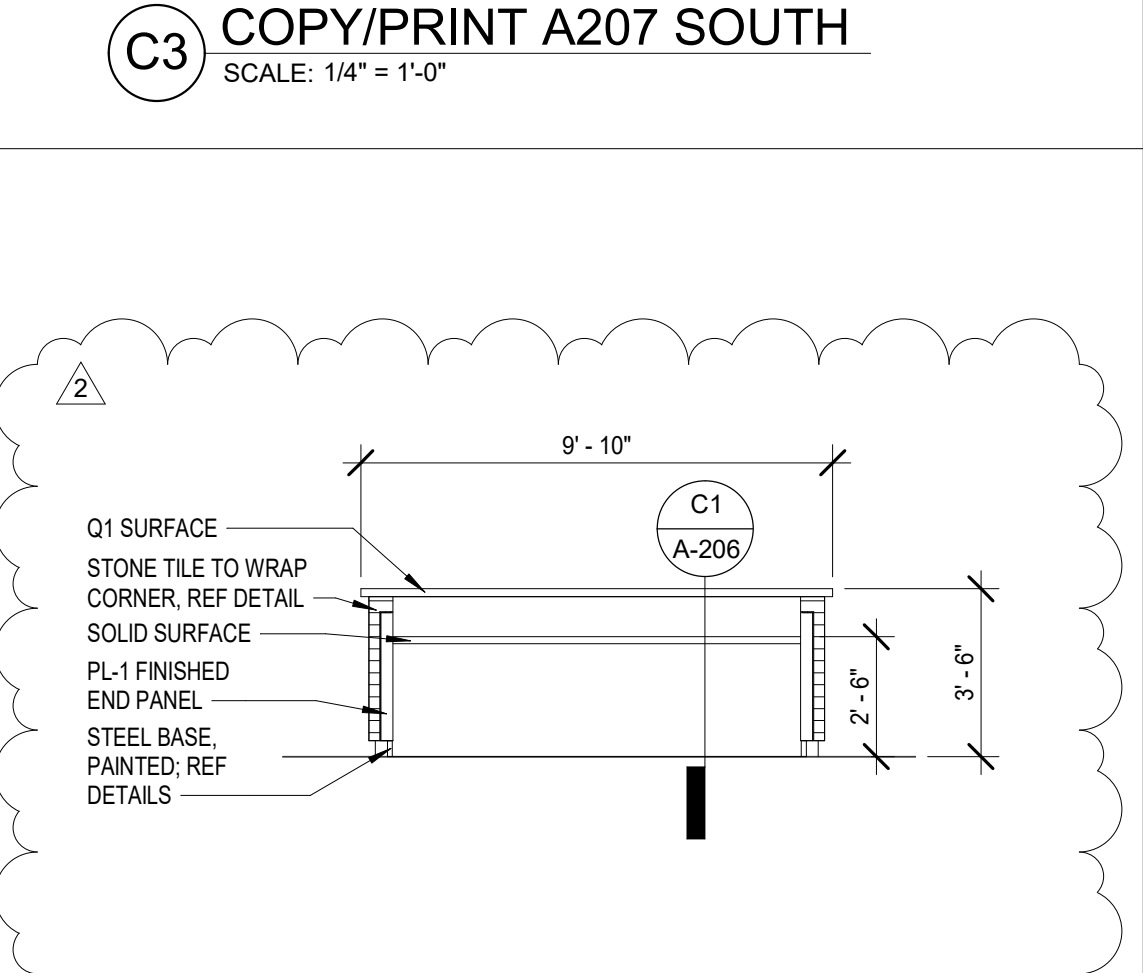
**C5 HUDDLE A208 SOUTH**  
SCALE: 1/4" = 1'-0"



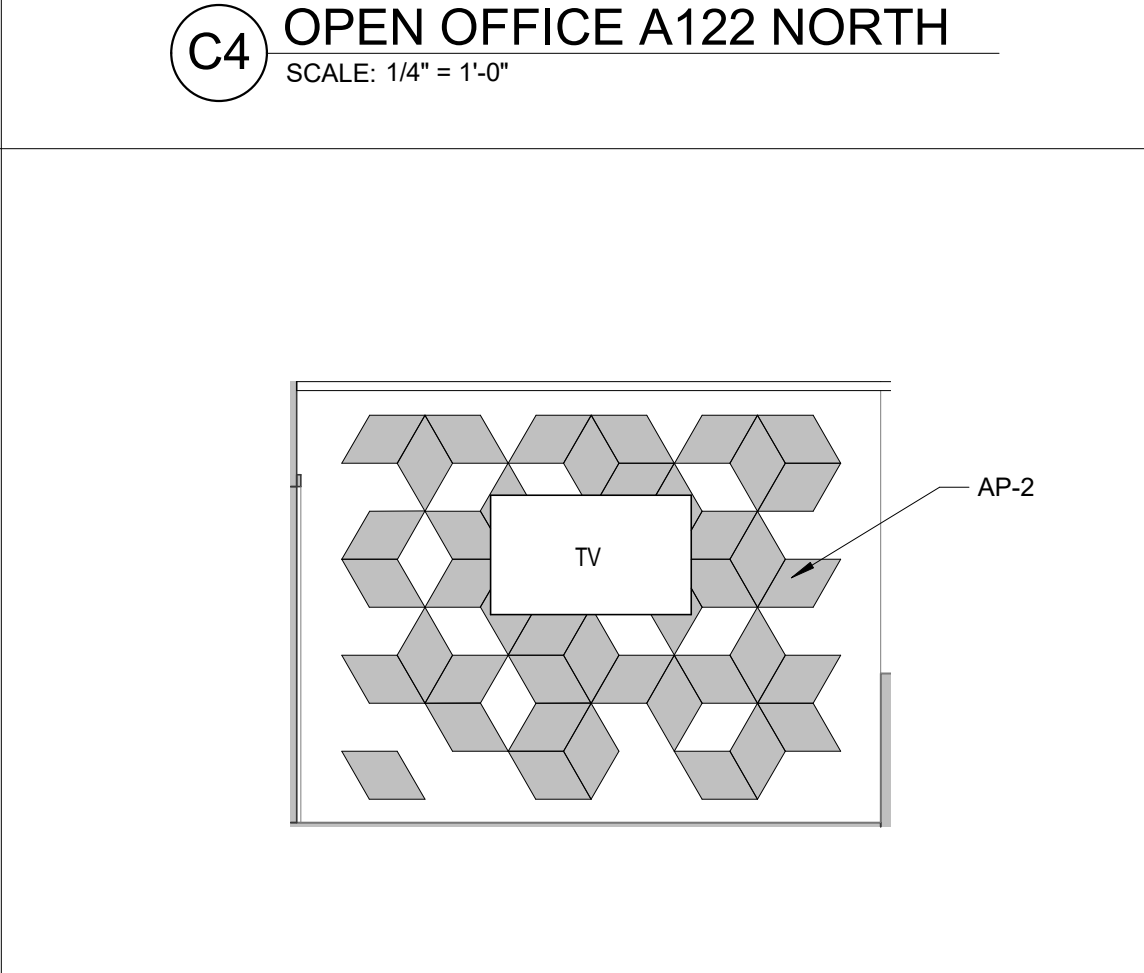
**B1 BREAK A111 WEST**  
SCALE: 1/4" = 1'-0"



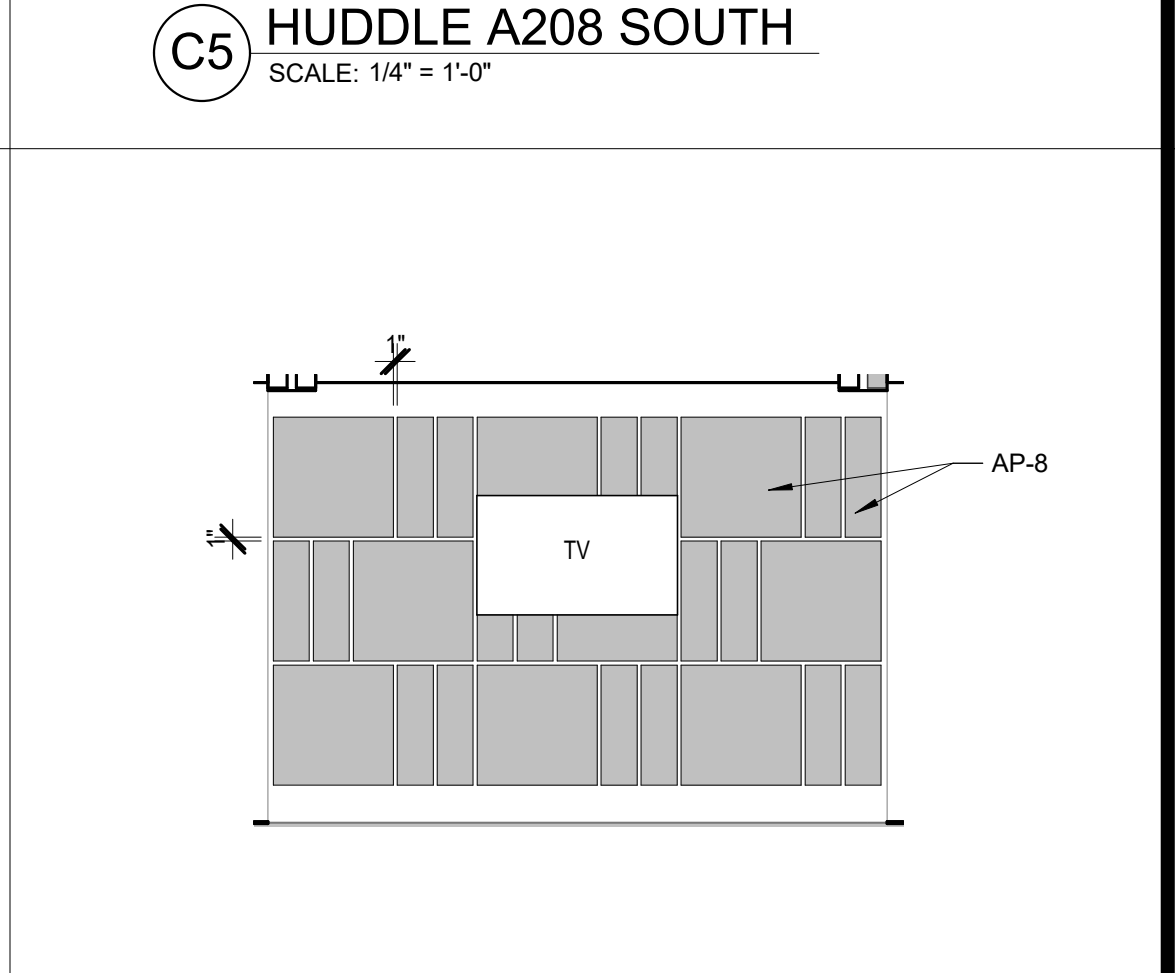
**B2 BREAK A209 NORTH**  
SCALE: 1/4" = 1'-0"



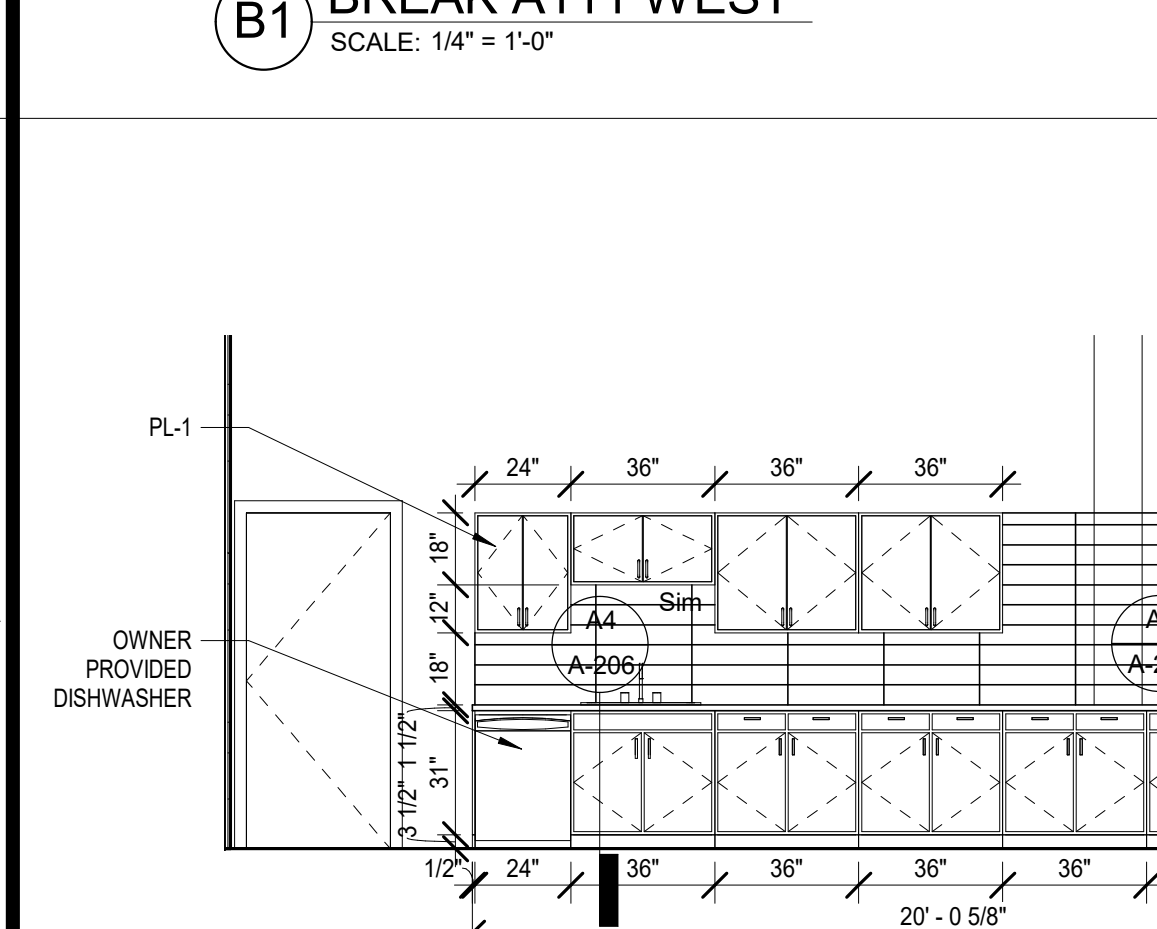
**B3 RECEPTION DESK BACK**  
SCALE: 1/4" = 1'-0"



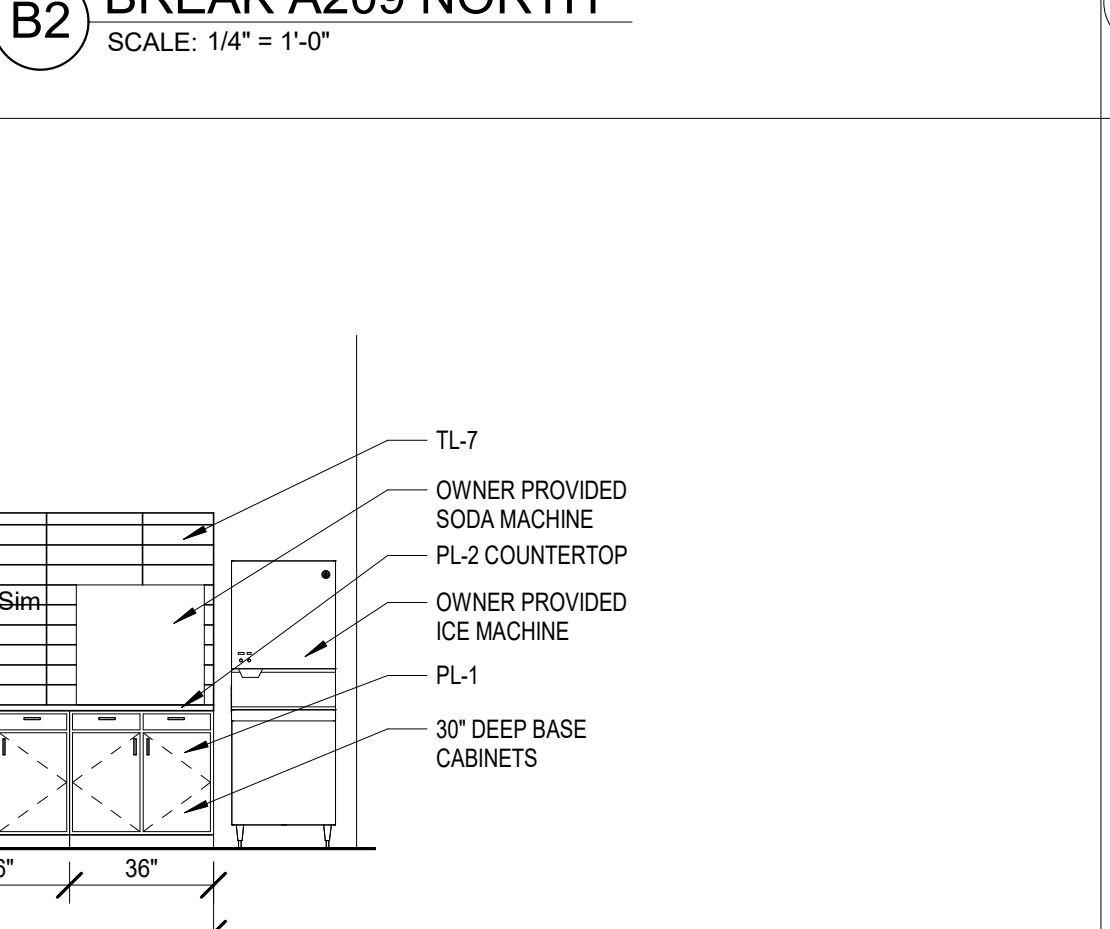
**B4 HUDDLE A210 SOUTH**  
SCALE: 1/4" = 1'-0"



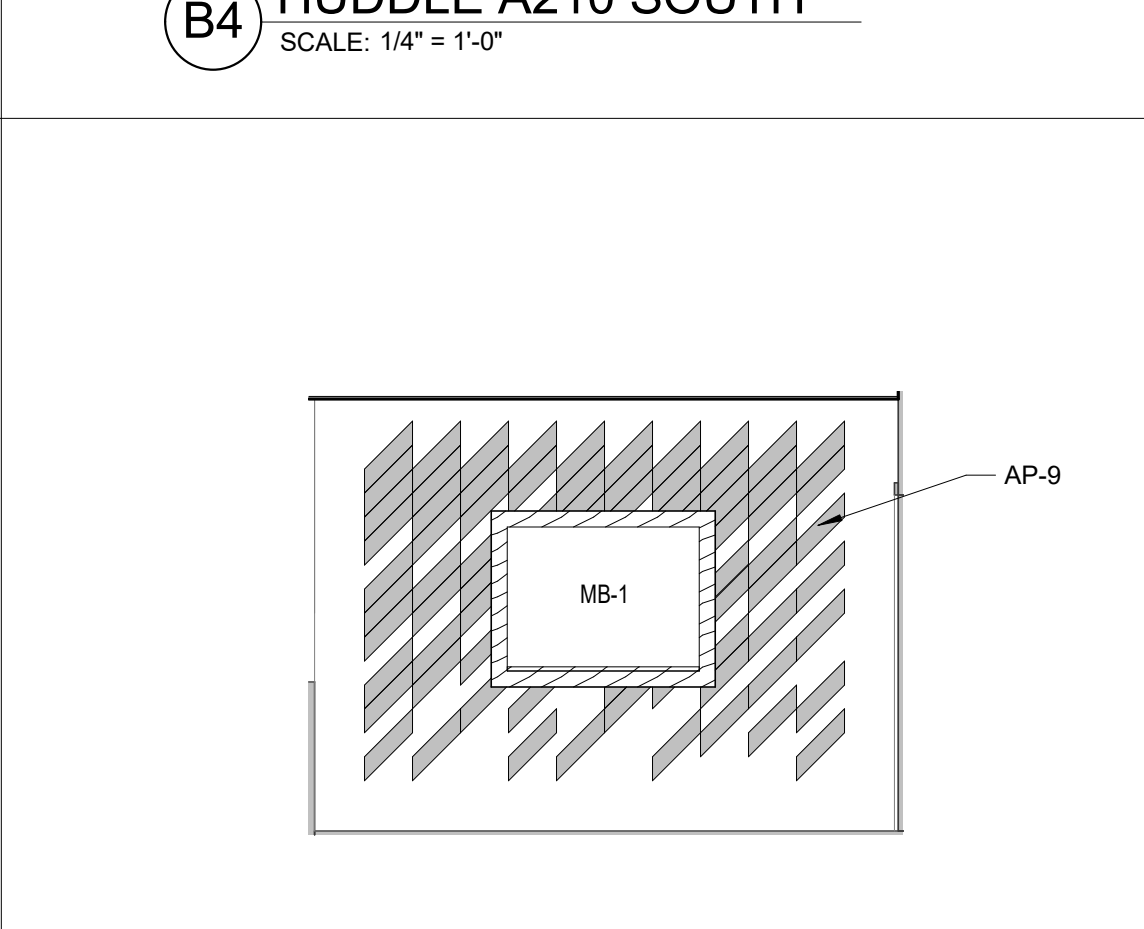
**B5 TEAM A211 SOUTH**  
SCALE: 1/4" = 1'-0"



**A1 BREAK A111 EAST**  
SCALE: 1/4" = 1'-0"



**A3 RECEPTION DESK FRONT**  
SCALE: 1/4" = 1'-0"



**A4 HUDDLE A212 NORTH**  
SCALE: 1/4" = 1'-0"

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**ADVISORS EXCEL - GAGE CENTER CAMPUS  
PHASE 1 - BUILDING A - REMODEL  
TOPEKA, KANSAS 66604**

SUBMISSION DATES	
ADD-1, REV#2	10/4/2019

SHEET TITLE  
INTERIOR ELEVATIONS &  
MILLWORK DETAILS -  
BUILDING A

PROJECT NUMBER  
**190121**

SHEET NUMBER  
**A-205**



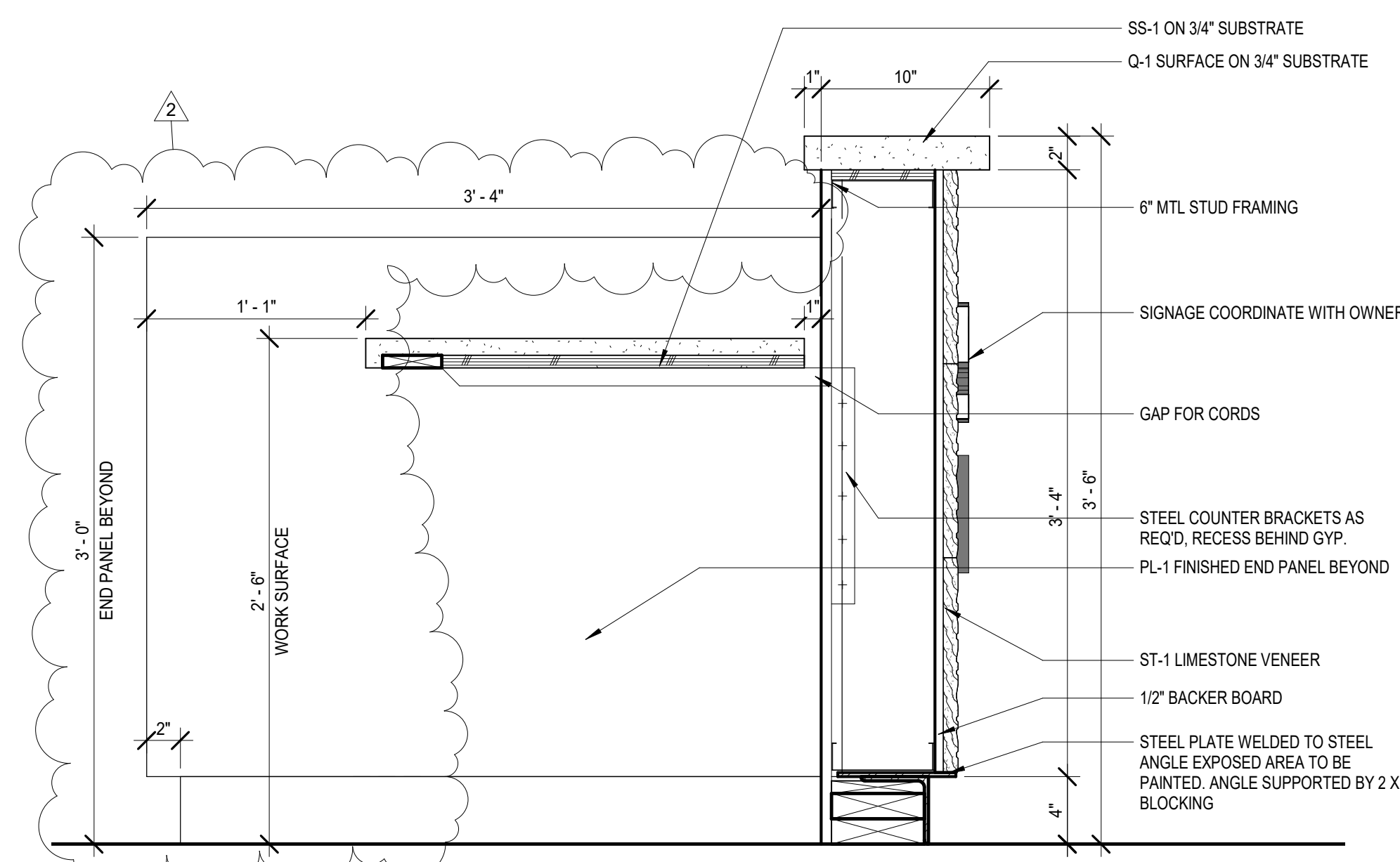
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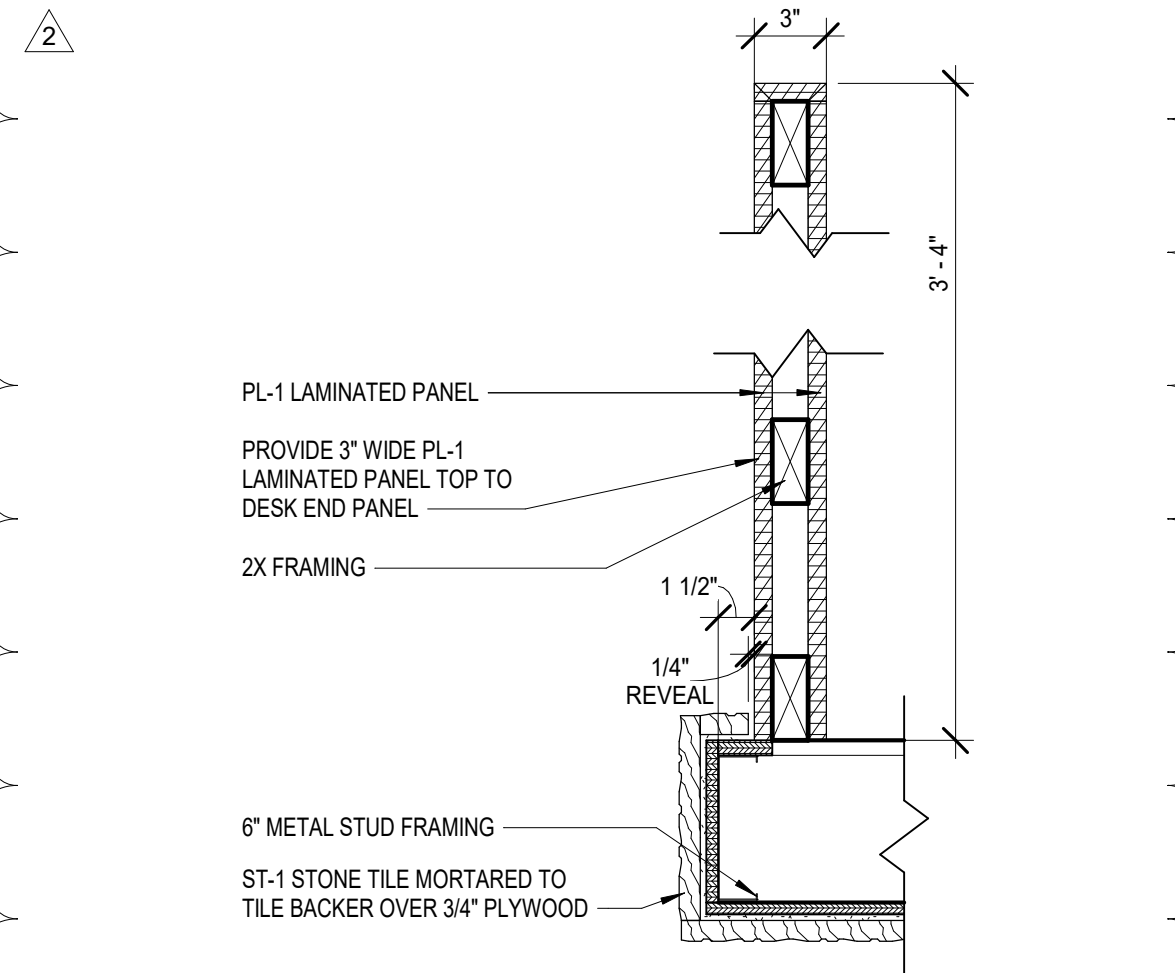
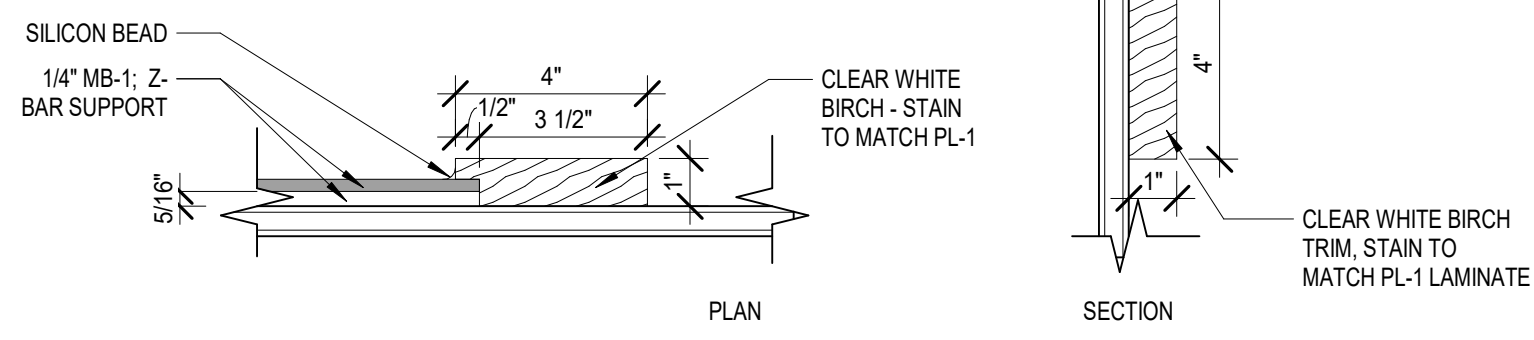
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5

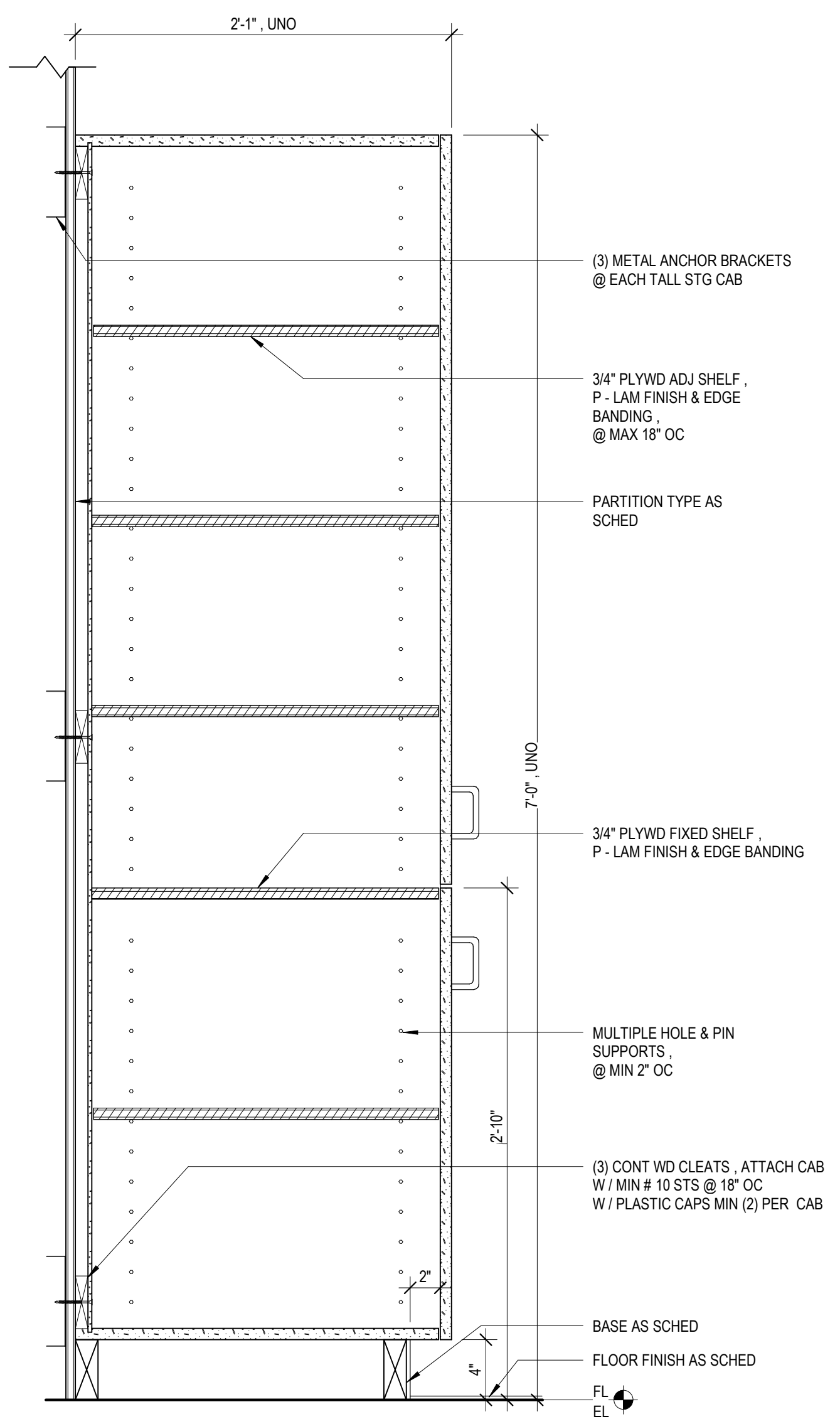


**C1 SECT. @ RECEPTION DESK**  
SCALE: 1 1/2" = 1'-0"

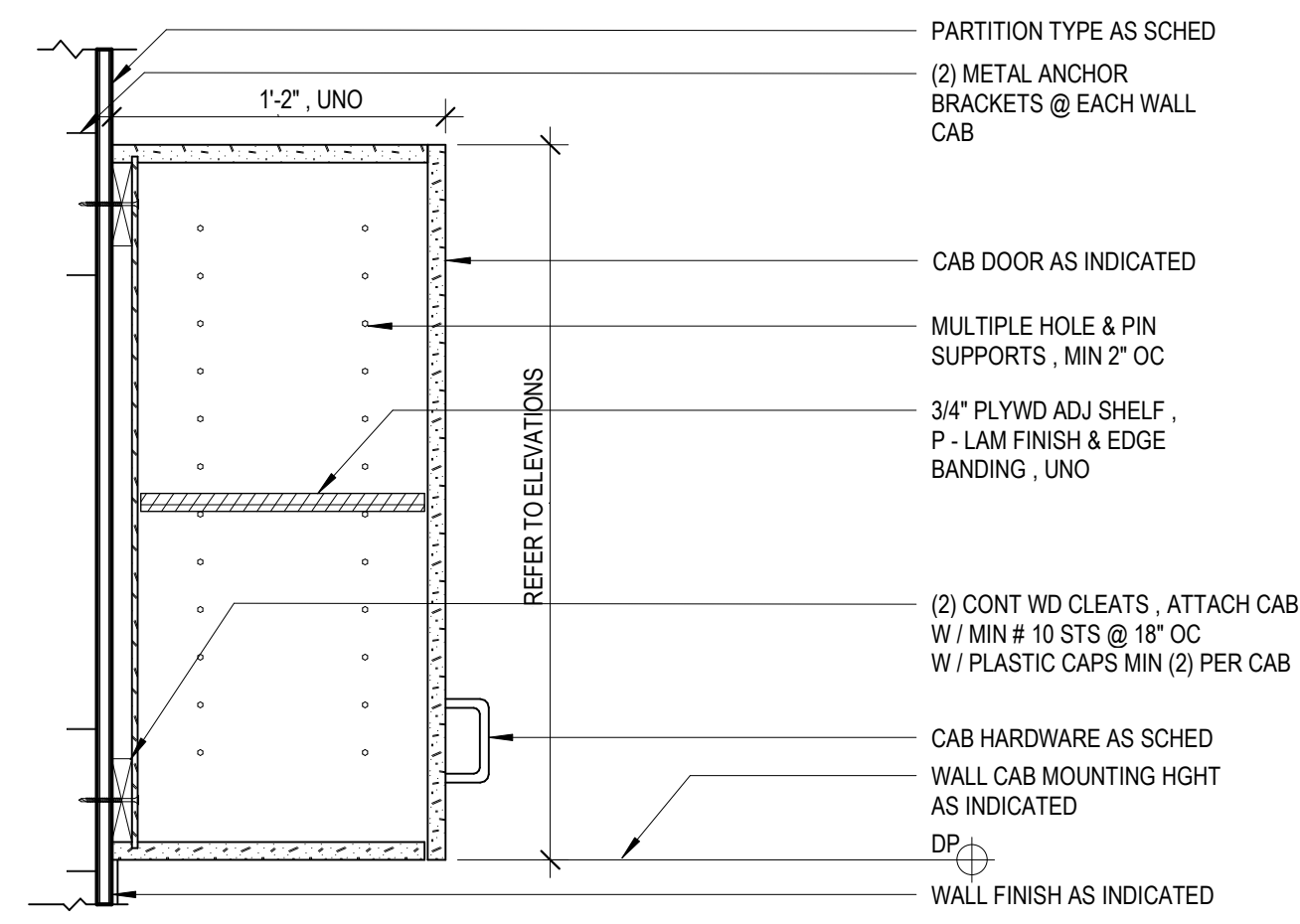
**C3 MARKERBOARD TRIM DETAIL**  
SCALE: 3" = 1'-0"



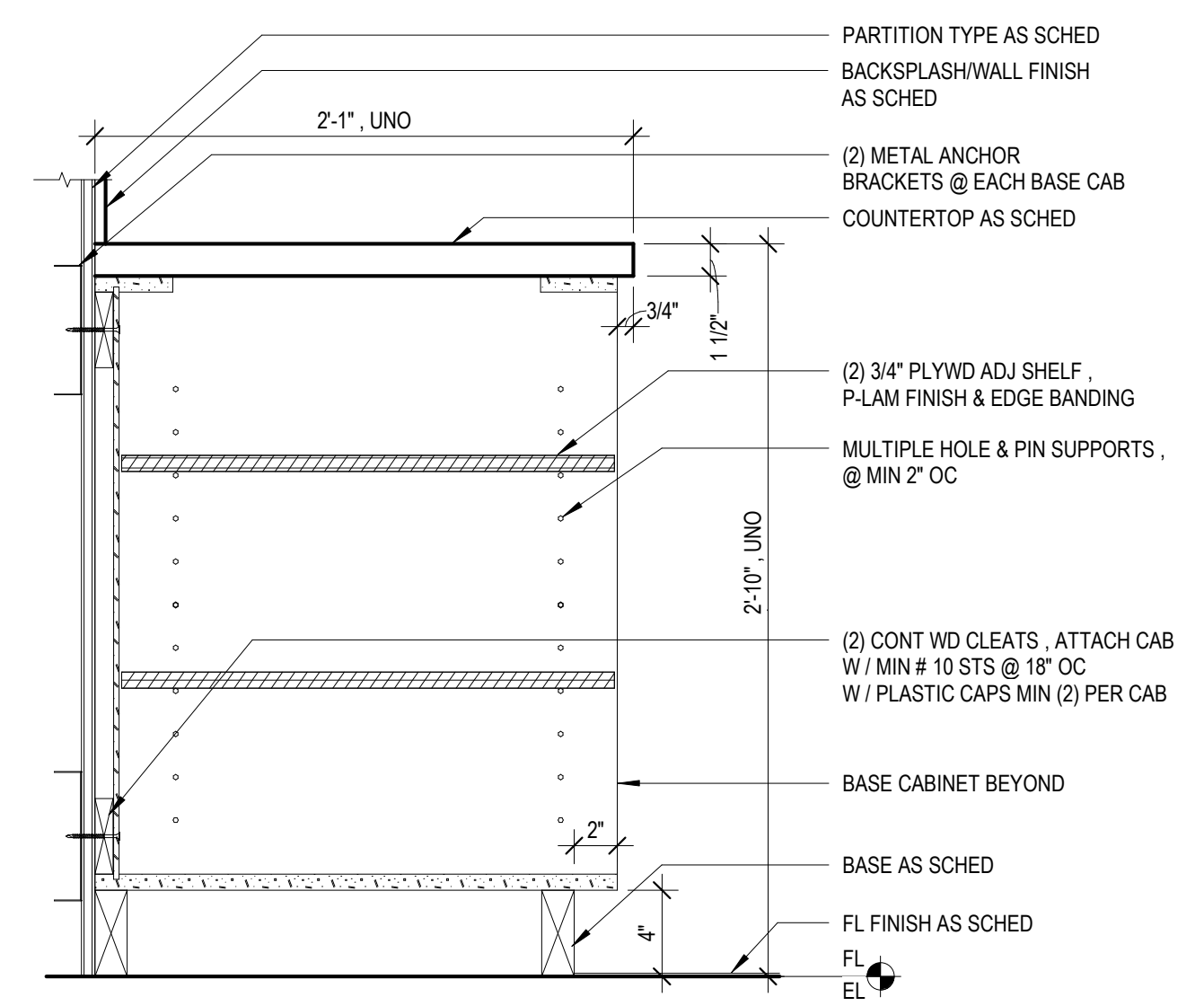
**C5 RECEPTION DESK - END PANEL DETAIL**  
SCALE: 1 1/2" = 1'-0"



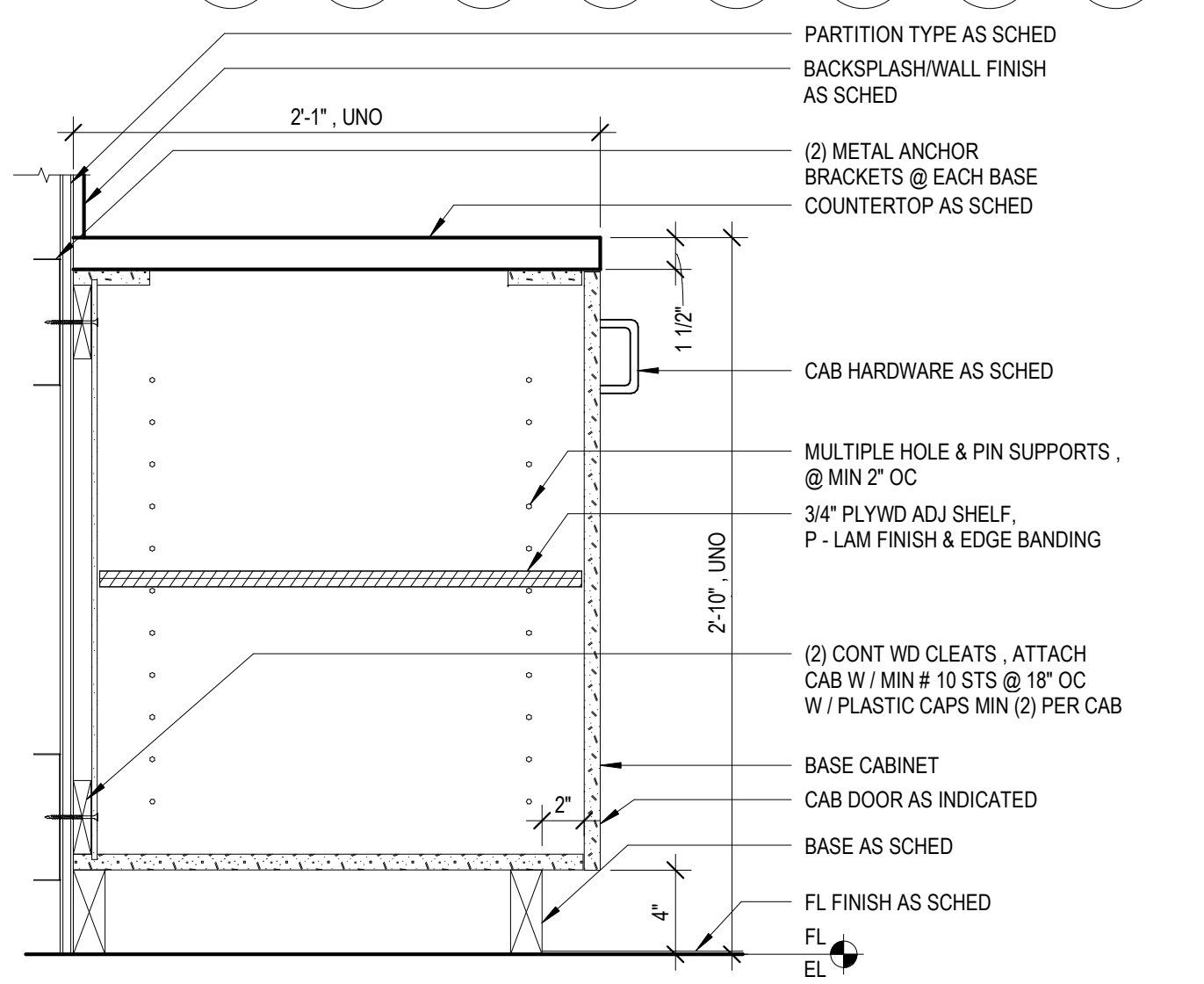
**A1 TALL CABINET STORAGE**  
SCALE: 1 1/2" = 1'-0"



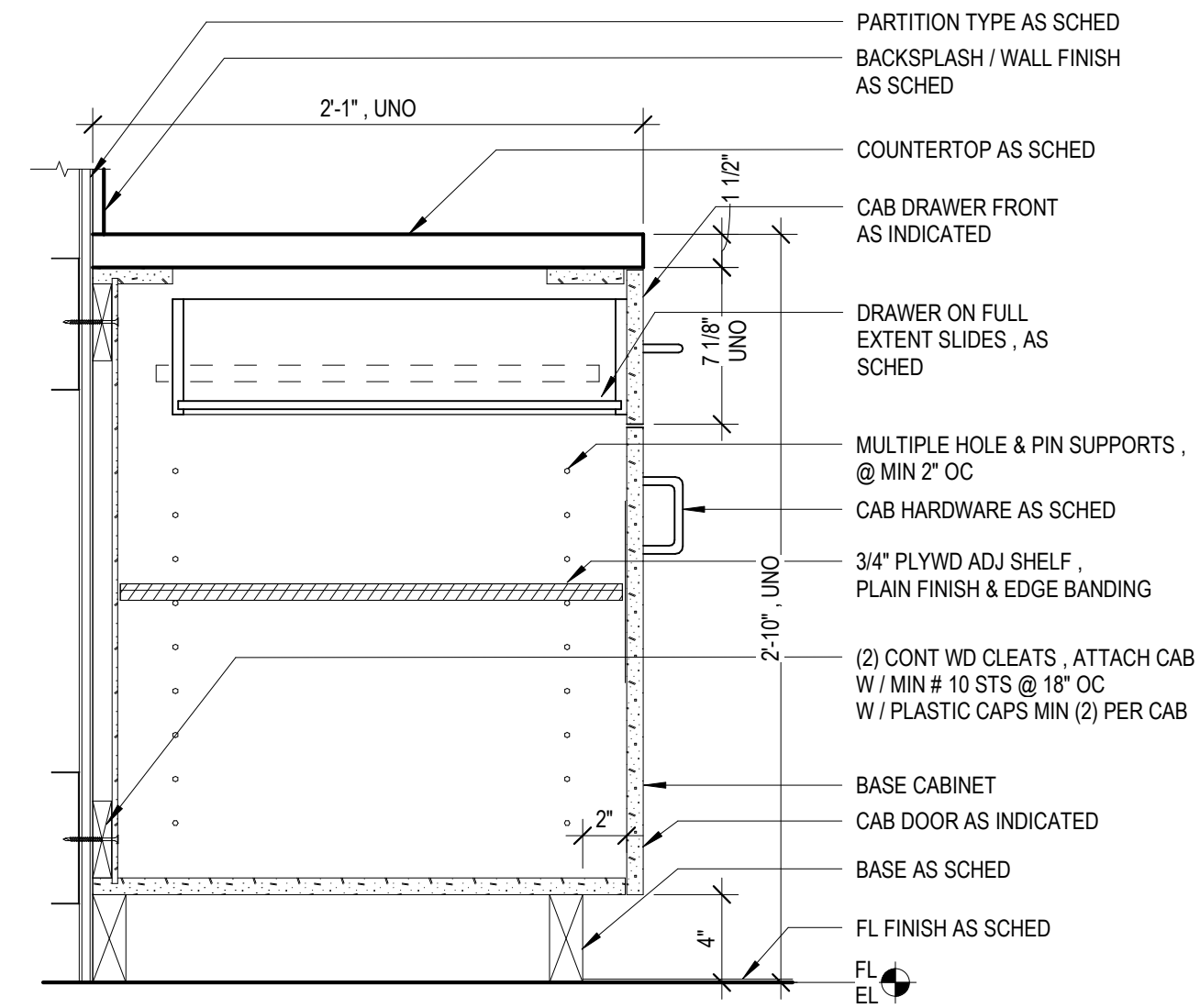
**B2 TYP WALL CABINET**  
SCALE: 1 1/2" = 1'-0"



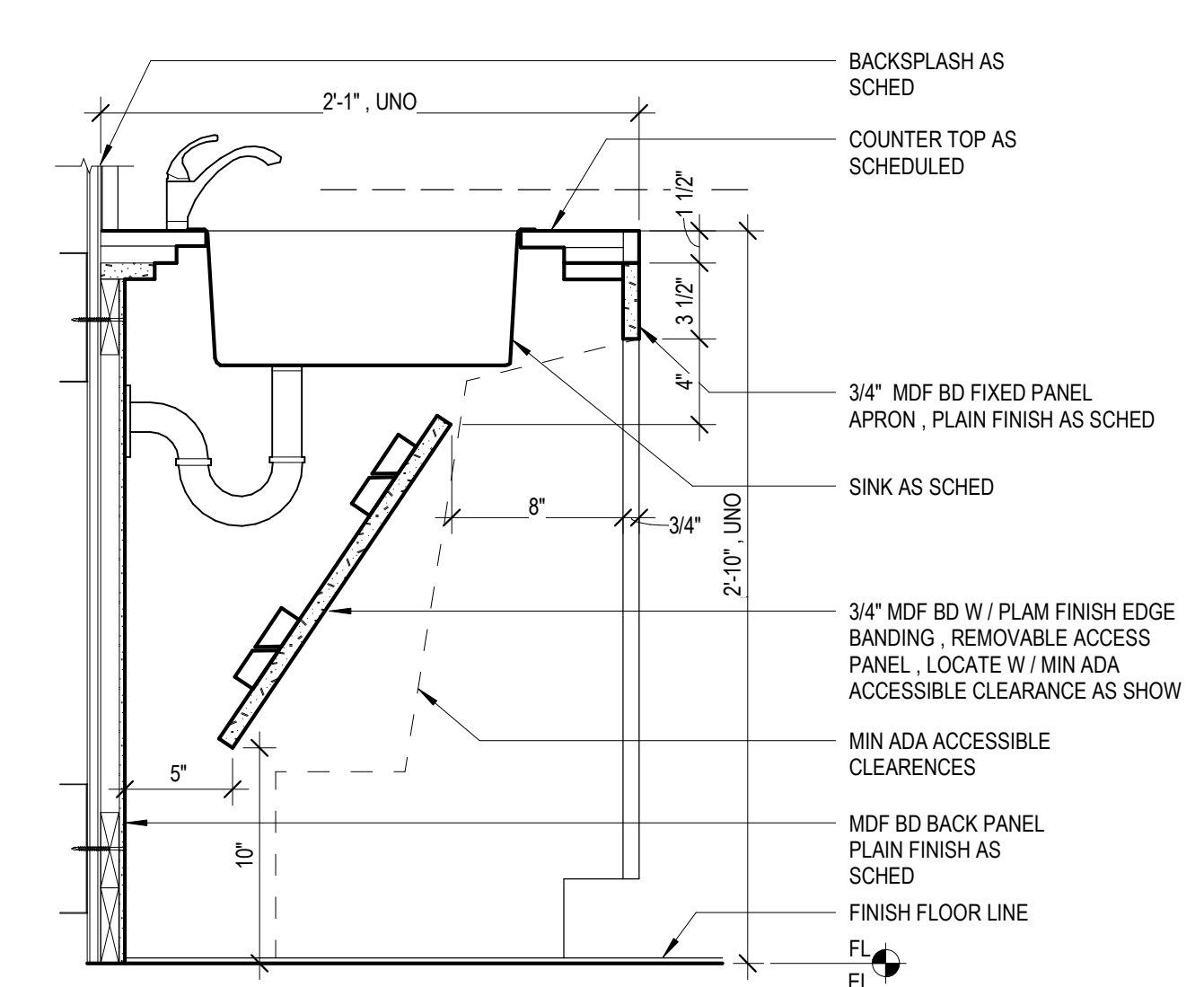
**B3 BASE CABINET - OPEN SHELVES**  
SCALE: 1 1/2" = 1'-0"



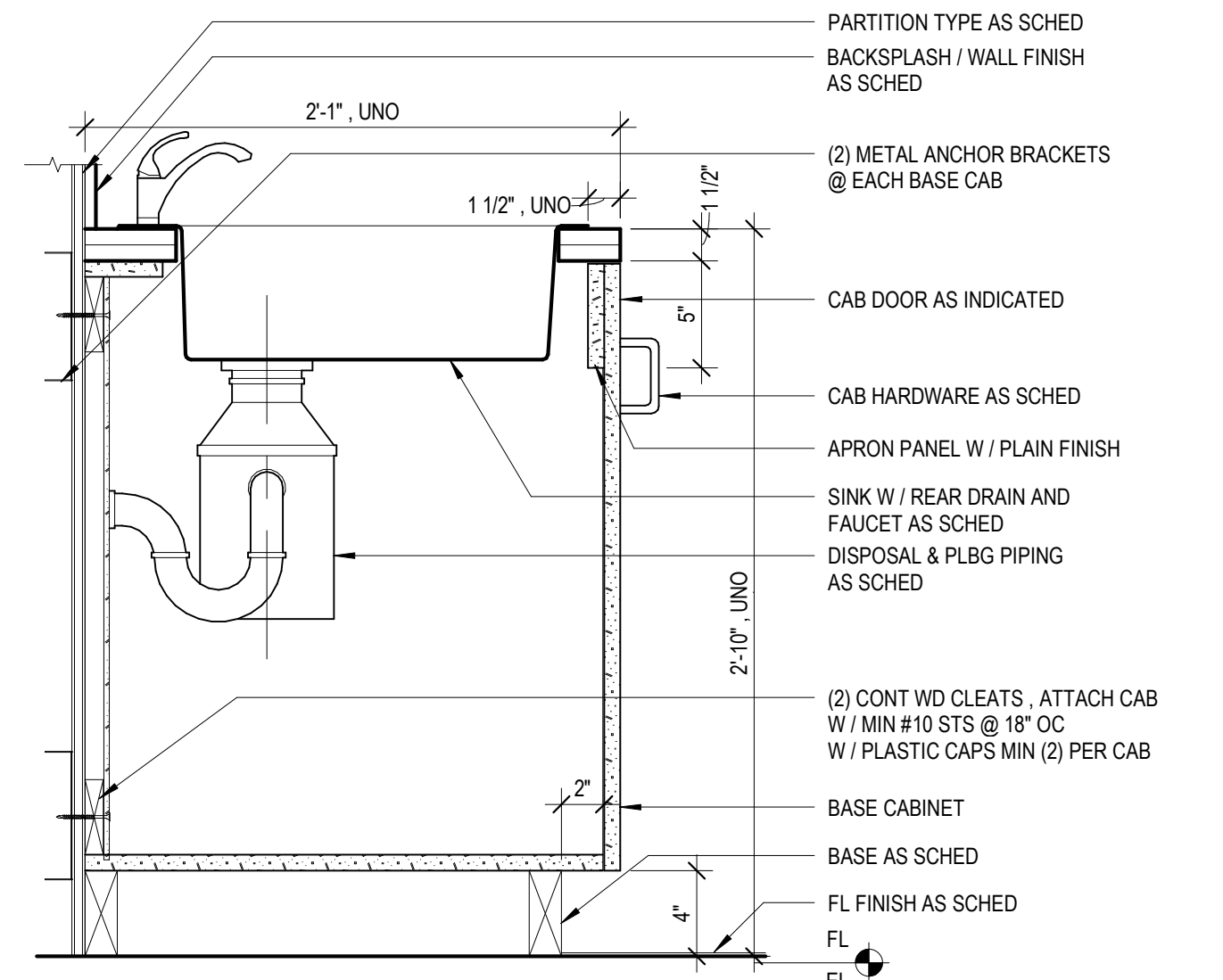
**B4 TYP. BASE CABINET**  
SCALE: 1 1/2" = 1'-0"



**A2 BASE CABINET W/ DRAWER**  
SCALE: 1 1/2" = 1'-0"



**A3 BASE CABINET W/ KNEE SPACE SINK**  
SCALE: 1 1/2" = 1'-0"



**A4 BASE CABINET W/ SINK**  
SCALE: 1 1/2" = 1'-0"

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**schwerdt design group**  
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**ADVISORS EXCEL - GAGE CENTER CAMPUS  
 PHASE 1 - BUILDING A - REMODEL  
 TOPEKA, KANSAS 66604**

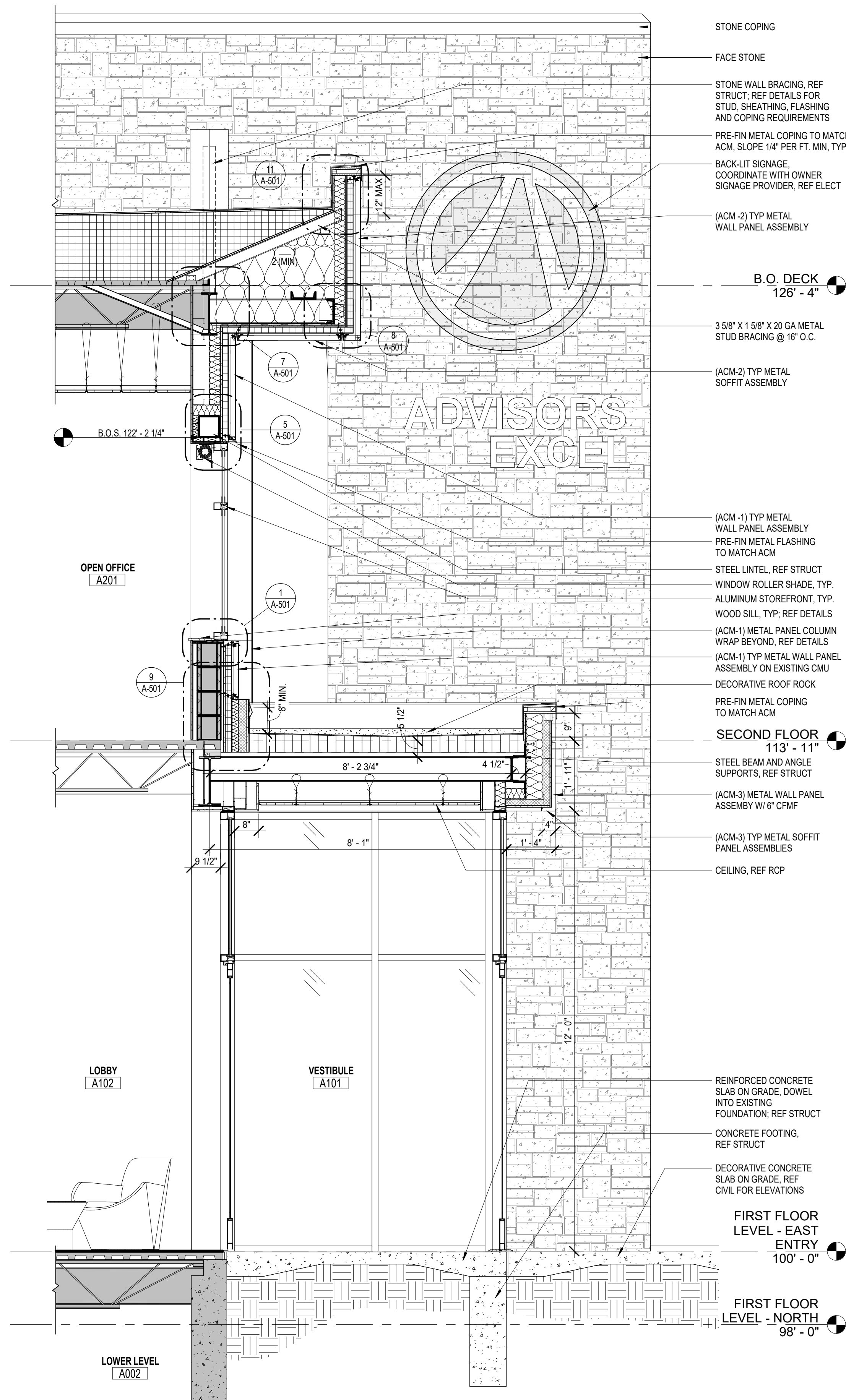
SUBMISSION DATES	
ADD-1, REV#2	10/4/2019

SHEET TITLE  
**MILLWORK DETAILS**

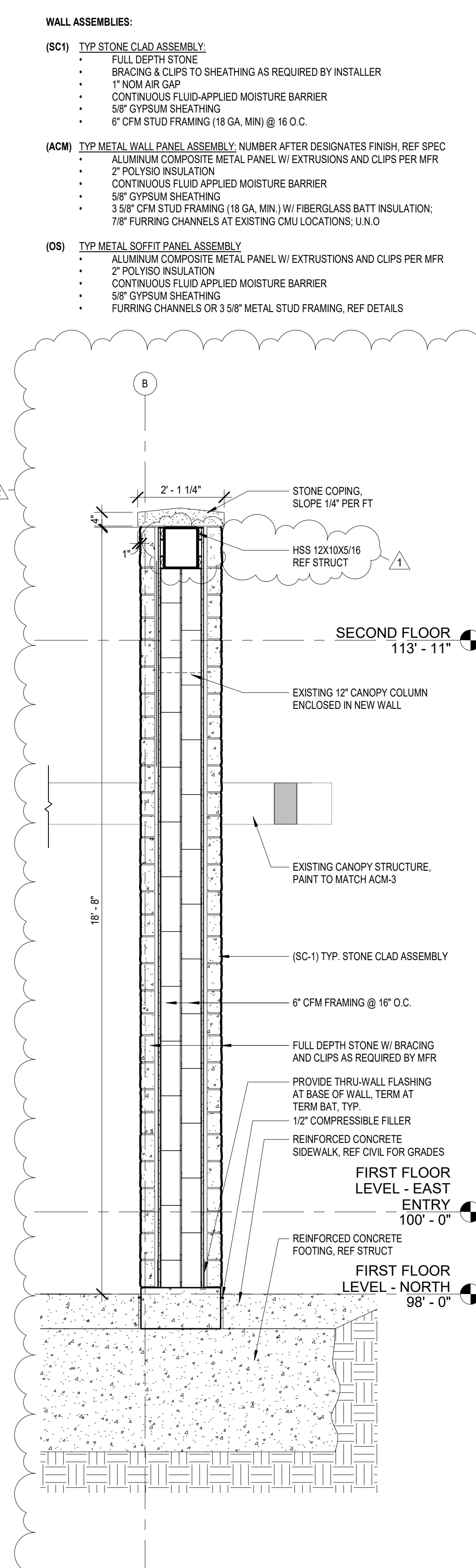
PROJECT NUMBER  
**190121**

SHEET NUMBER  
**A-206**





**1 BUILDING A - EAST ENTRY**  
SCALE: 1/2" = 1'-0"



**2 BUILDING A - SMALL FIN**  
SCALE: 1/2" = 1'-0"

- WALL ASSEMBLIES:**
- (SC1) TYP STONE CLAD ASSEMBLY:
    - FULL DEPTH STONE
    - BRACING & CLIPS TO SHEATHING AS REQUIRED BY INSTALLER
    - 1" NOM AIR GAP
    - CONTINUOUS FLUID-APPLIED MOISTURE BARRIER
    - 5/8" GYPSUM SHEATHING
    - 6" CFM STUD FRAMING (18 GA, MIN) @ 16 O.C.
  - (ACM) TYP METAL WALL PANEL ASSEMBLY: NUMBER AFTER DESIGNATES FINISH, REF SPEC
    - ALUMINUM COMPOSITE METAL PANEL W/ EXTRUSIONS AND CLIPS PER MFR
    - 2" POLYISO INSULATION
    - CONTINUOUS FLUID APPLIED MOISTURE BARRIER
    - 5/8" GYPSUM SHEATHING
    - 3 5/8" CFM STUD FRAMING (18 GA, MIN) W/ FIBERGLASS BATT INSULATION;
    - 7/8" FURRING CHANNELS AT EXISTING CMU LOCATIONS, U.N.O
  - (OS) TYP METAL SOFFIT PANEL ASSEMBLY
    - ALUMINUM COMPOSITE METAL PANEL W/ EXTRUSIONS AND CLIPS PER MFR
    - 2" POLYISO INSULATION
    - CONTINUOUS FLUID APPLIED MOISTURE BARRIER
    - 5/8" GYPSUM SHEATHING
    - FURRING CHANNELS OR 3 5/8" METAL STUD FRAMING, REF DETAILS

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**PHASE 1 - BUILDING A - REMODEL**  
 TOPEKA, KANSAS 66604

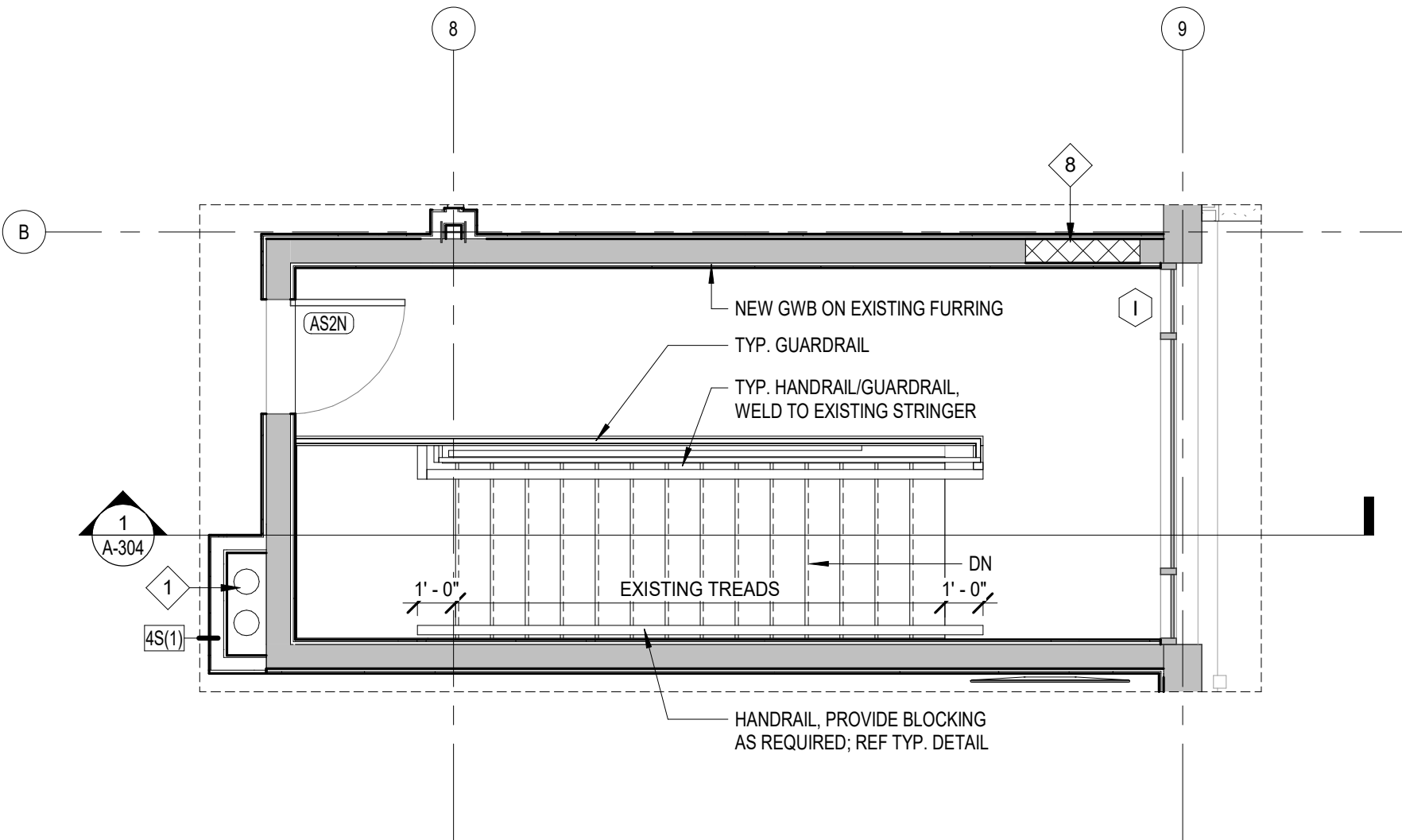
SUBMISSION DATES	
ADD-1, REV#2	10/4/2019
ADD-1, REV #1	10/02/2019

SHEET TITLE  
 WALL SECTIONS -  
 BUILDING A

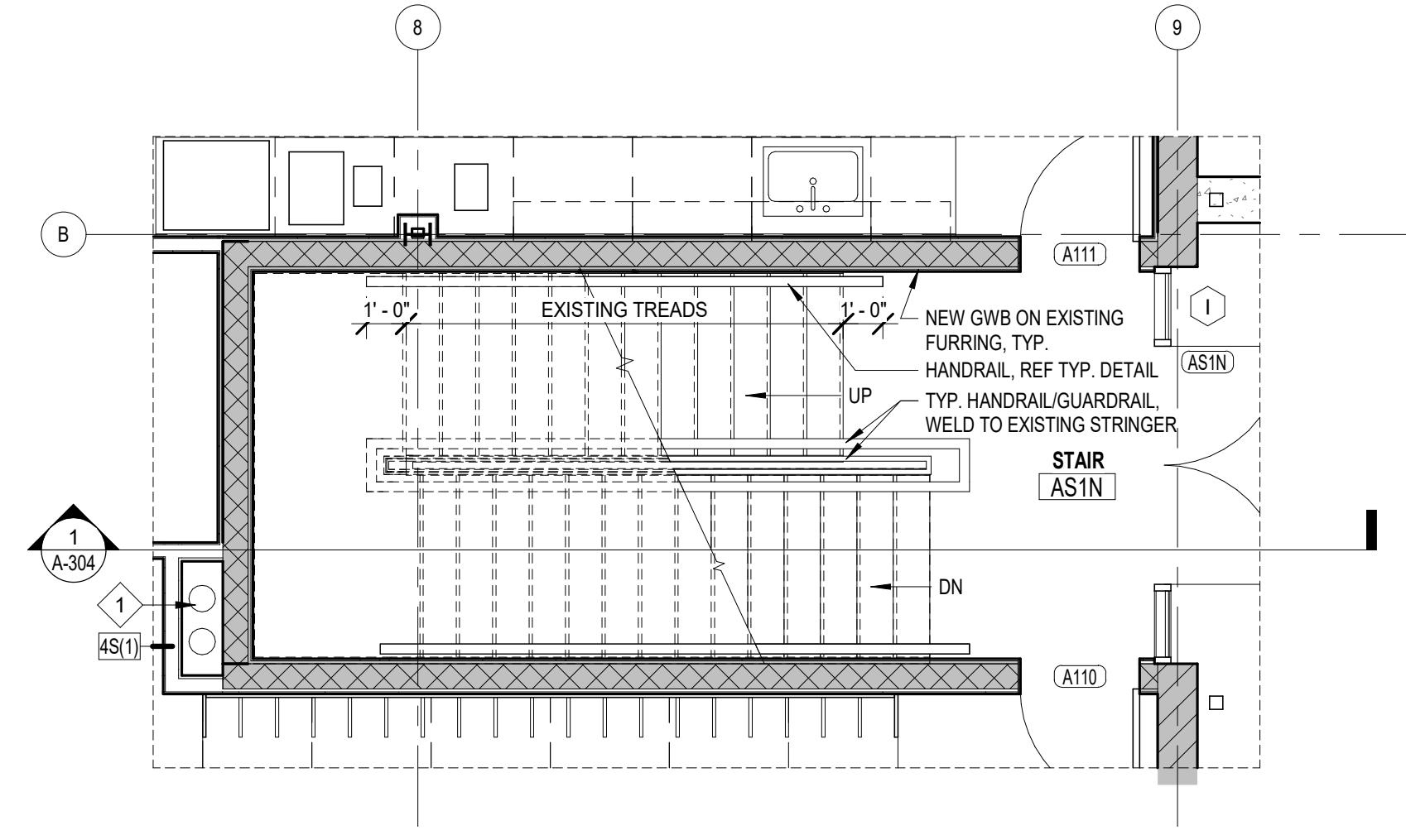
PROJECT NUMBER  
**190121**

SHEET NUMBER  
**A-301**

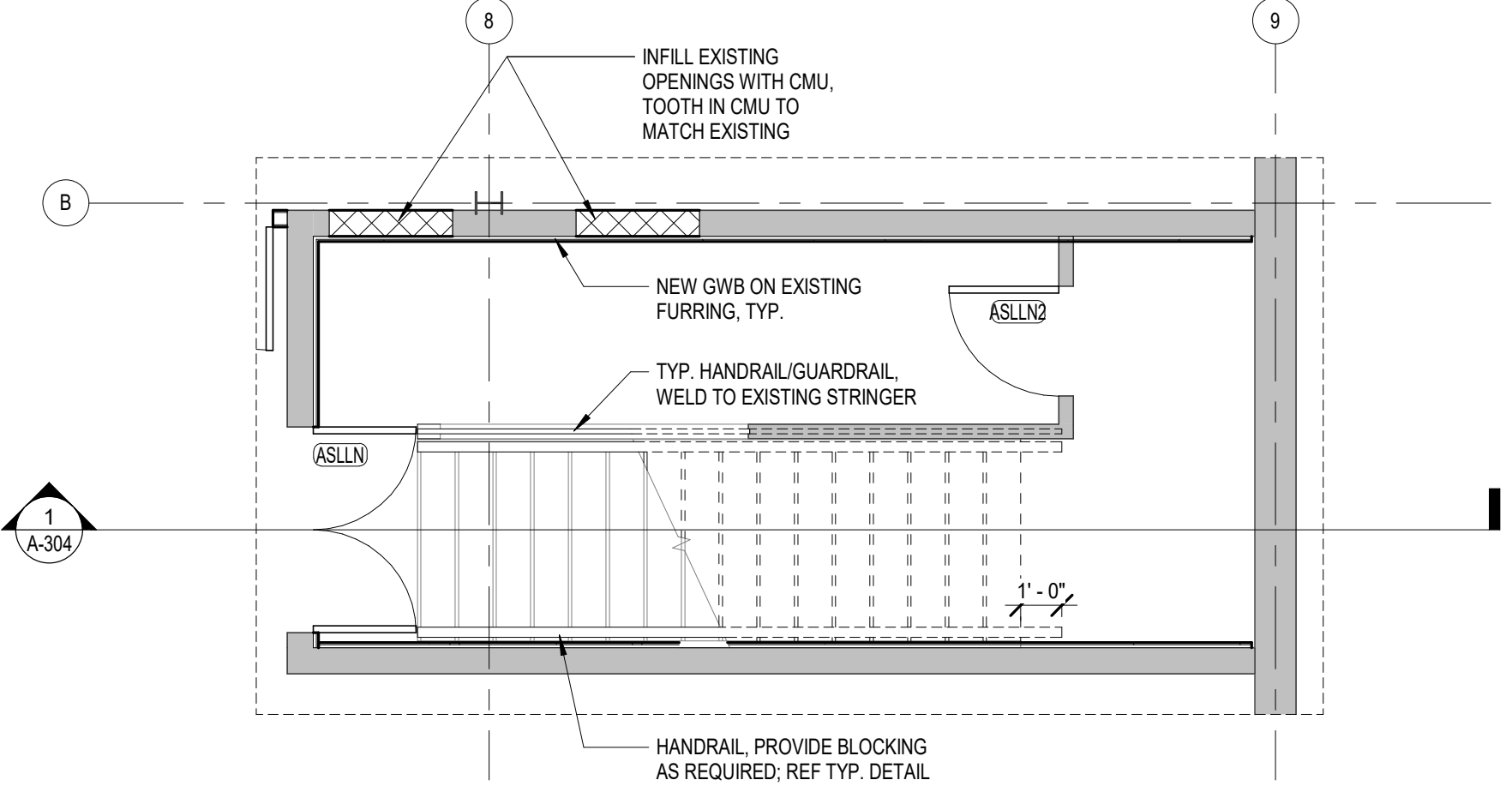




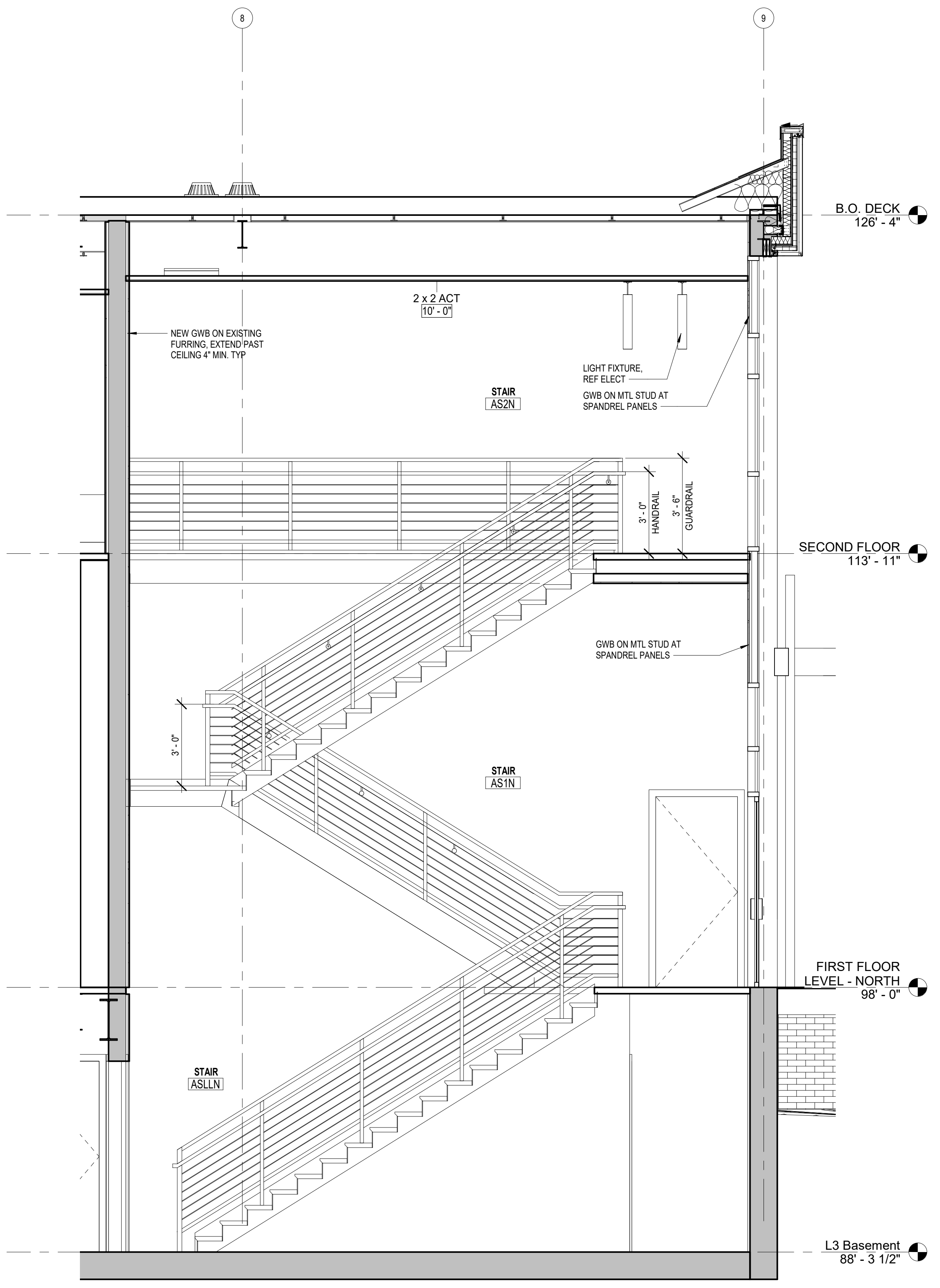
4 SECOND FLOOR ENLARGED STAIR PLAN - NORTH  
SCALE: 1/4" = 1'-0"



3 FIRST FLOOR ENLARGED STAIR PLAN - NORTH  
SCALE: 1/4" = 1'-0"



2 LOWER LEVEL ENLARGED STAIR PLAN - NORTH  
SCALE: 1/4" = 1'-0"



1 Section 3  
SCALE: 3/8" = 1'-0"

SUBMISSION DATES	
ADD-1, REV#2	10/4/2019

SHEET TITLE	ENLARGED STAIR AND SECTIONS
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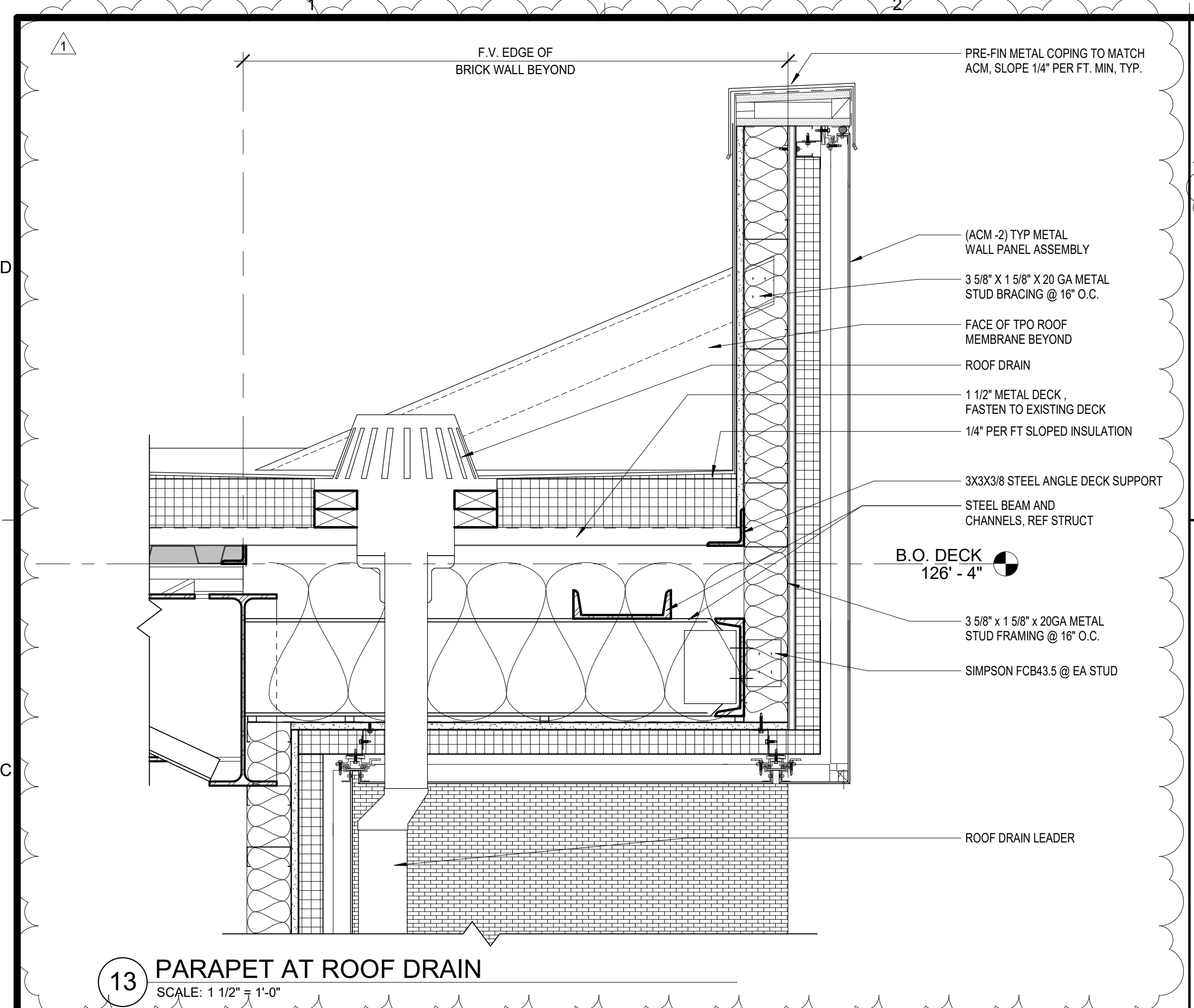
PROJECT NUMBER	190121
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SHEET NUMBER	A-304
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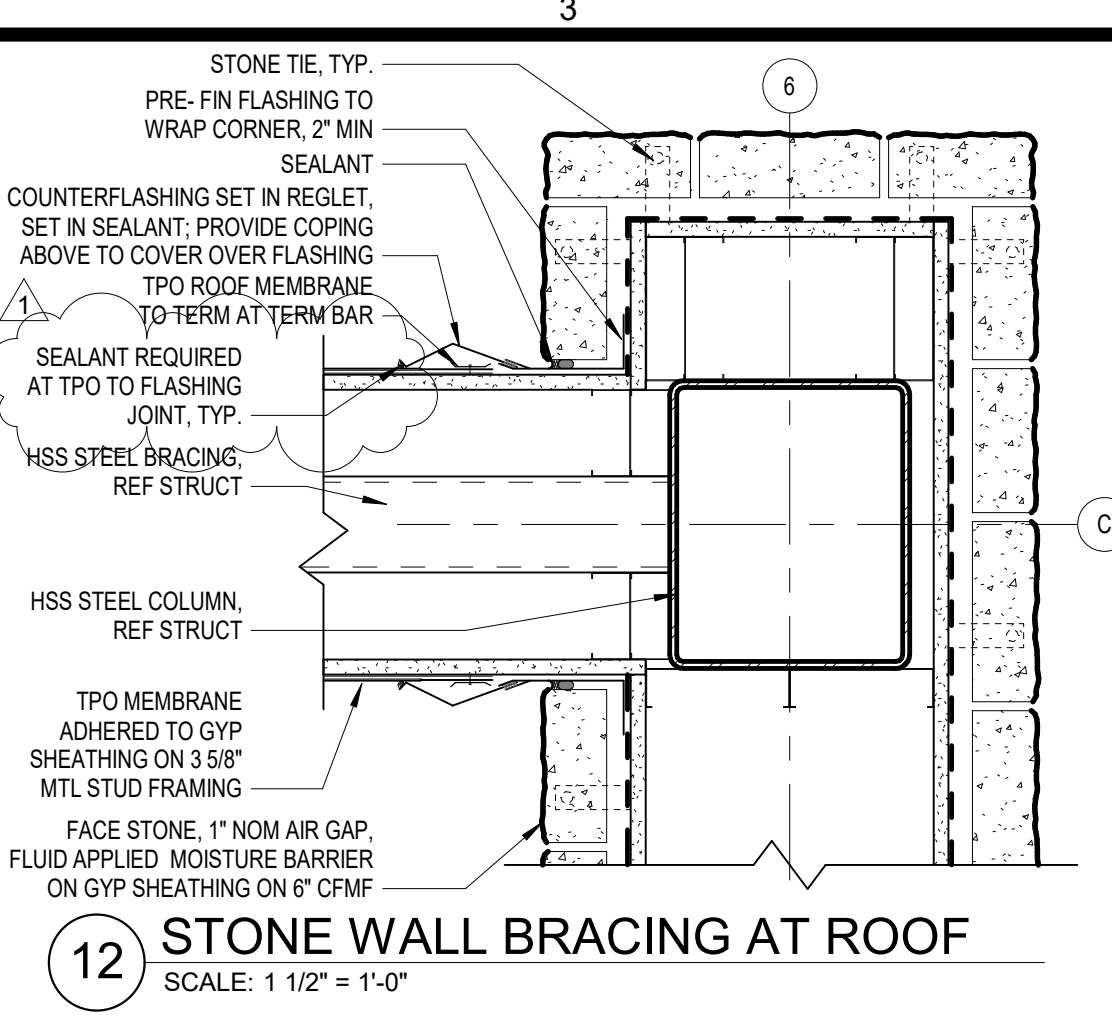
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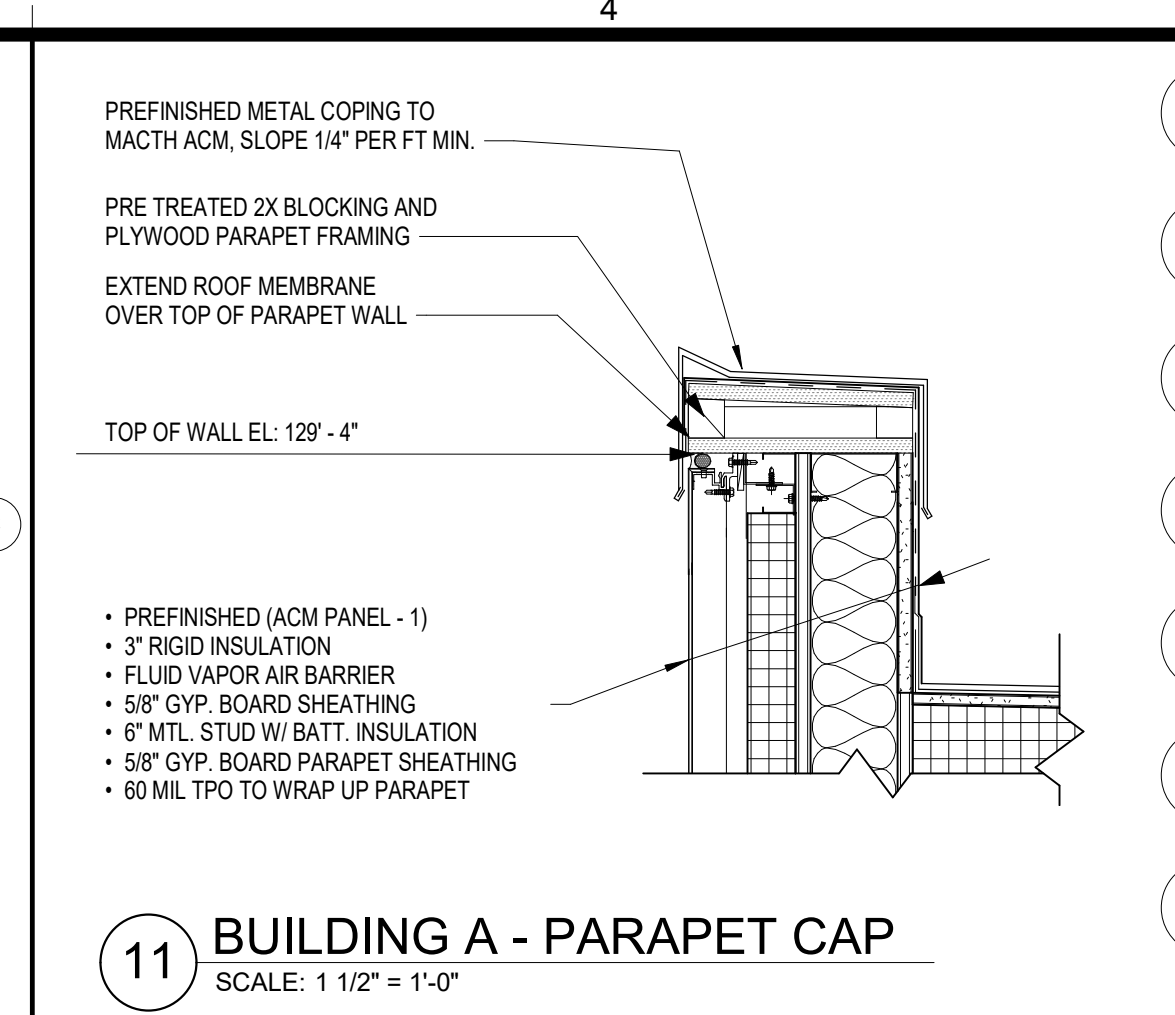
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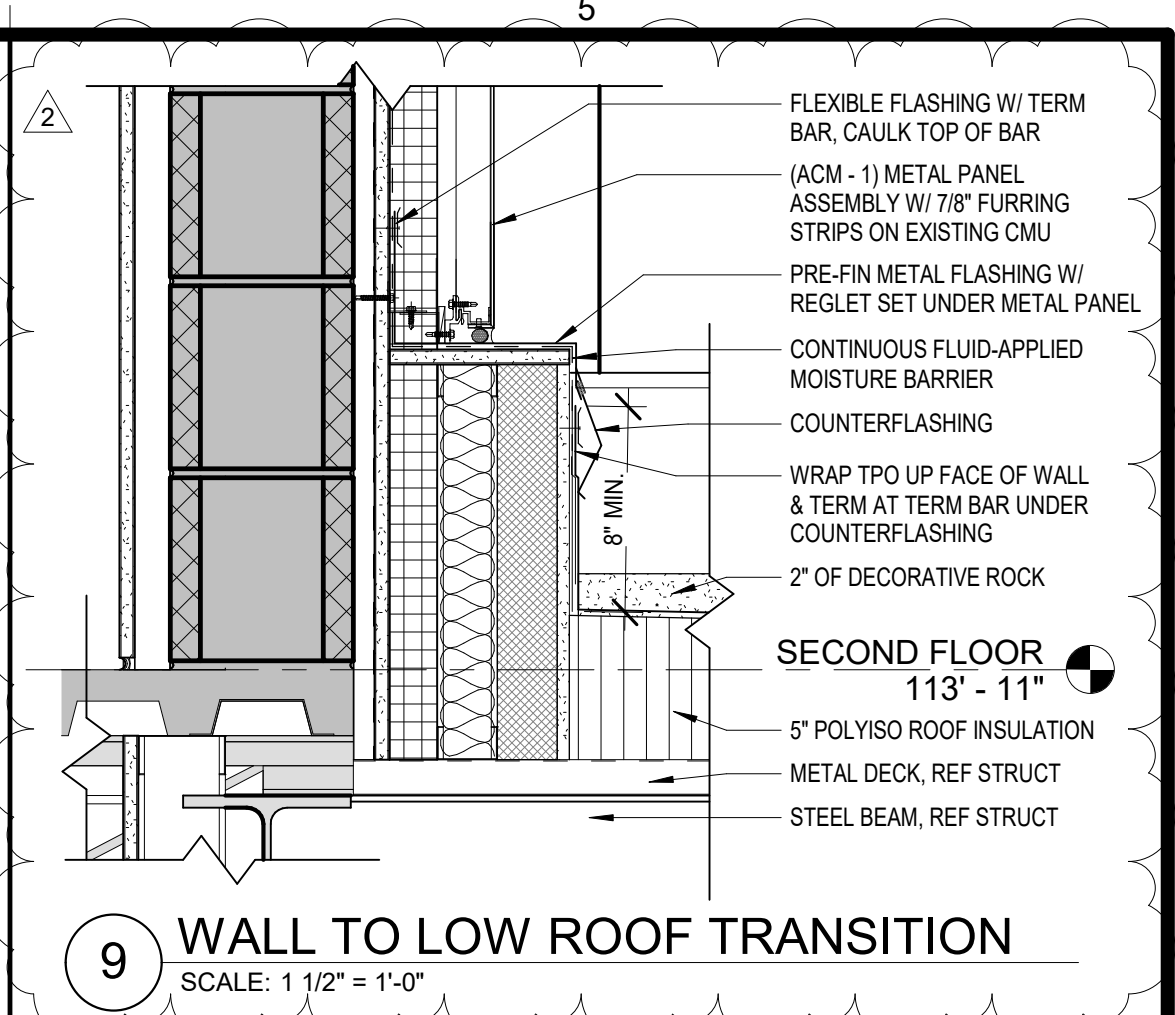
**13 PARAPET AT ROOF DRAIN**  
 SCALE: 1 1/2" = 1'-0"



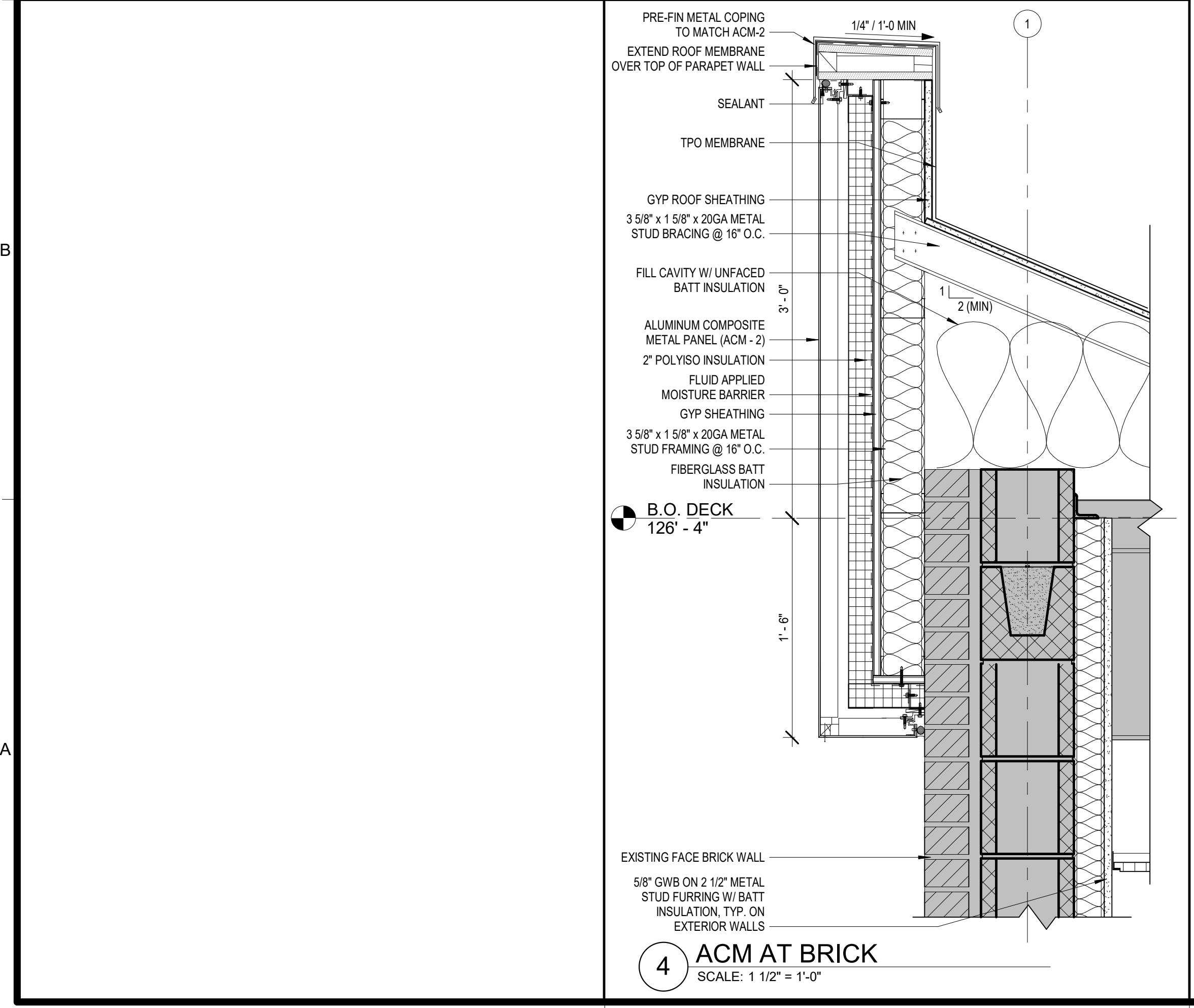
**12 STONE WALL BRACING AT ROOF**  
 SCALE: 1 1/2" = 1'-0"



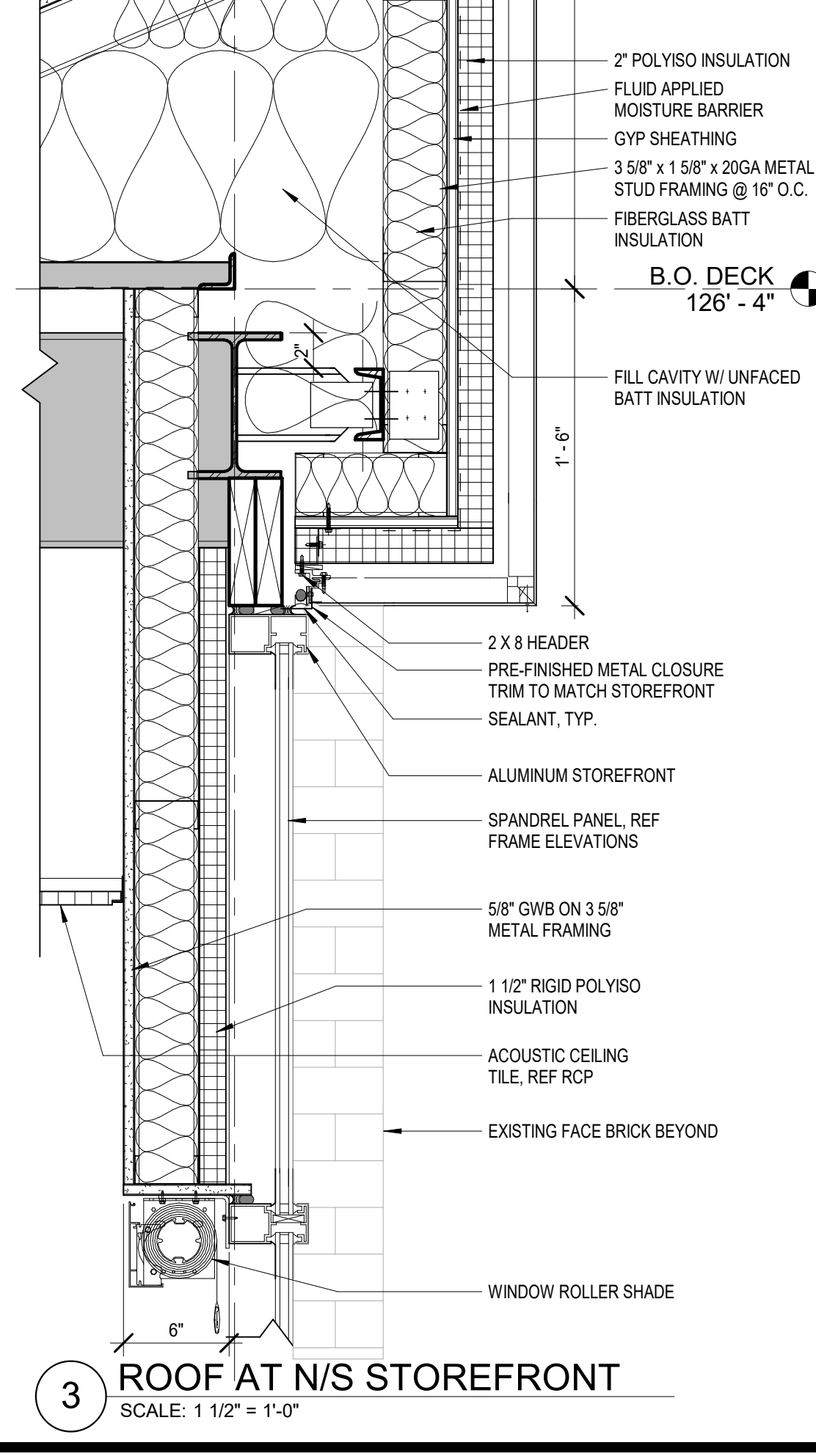
**11 BUILDING A - PARAPET CAP**  
 SCALE: 1 1/2" = 1'-0"



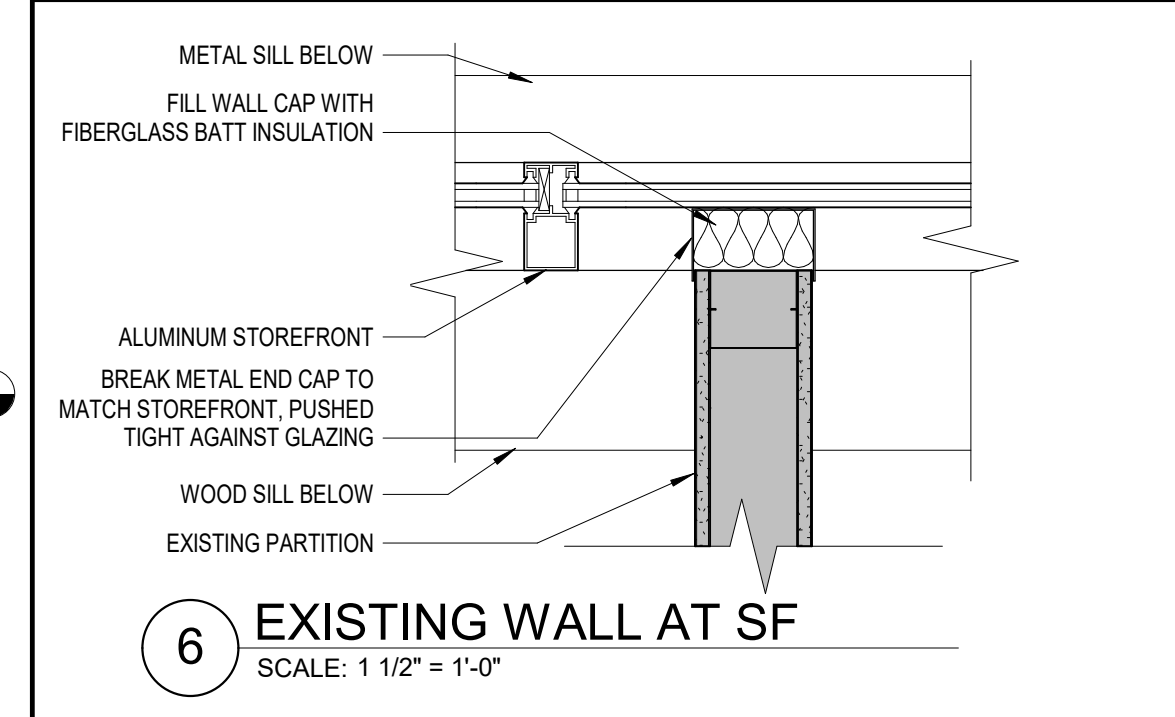
**9 WALL TO LOW ROOF TRANSITION**  
 SCALE: 1 1/2" = 1'-0"



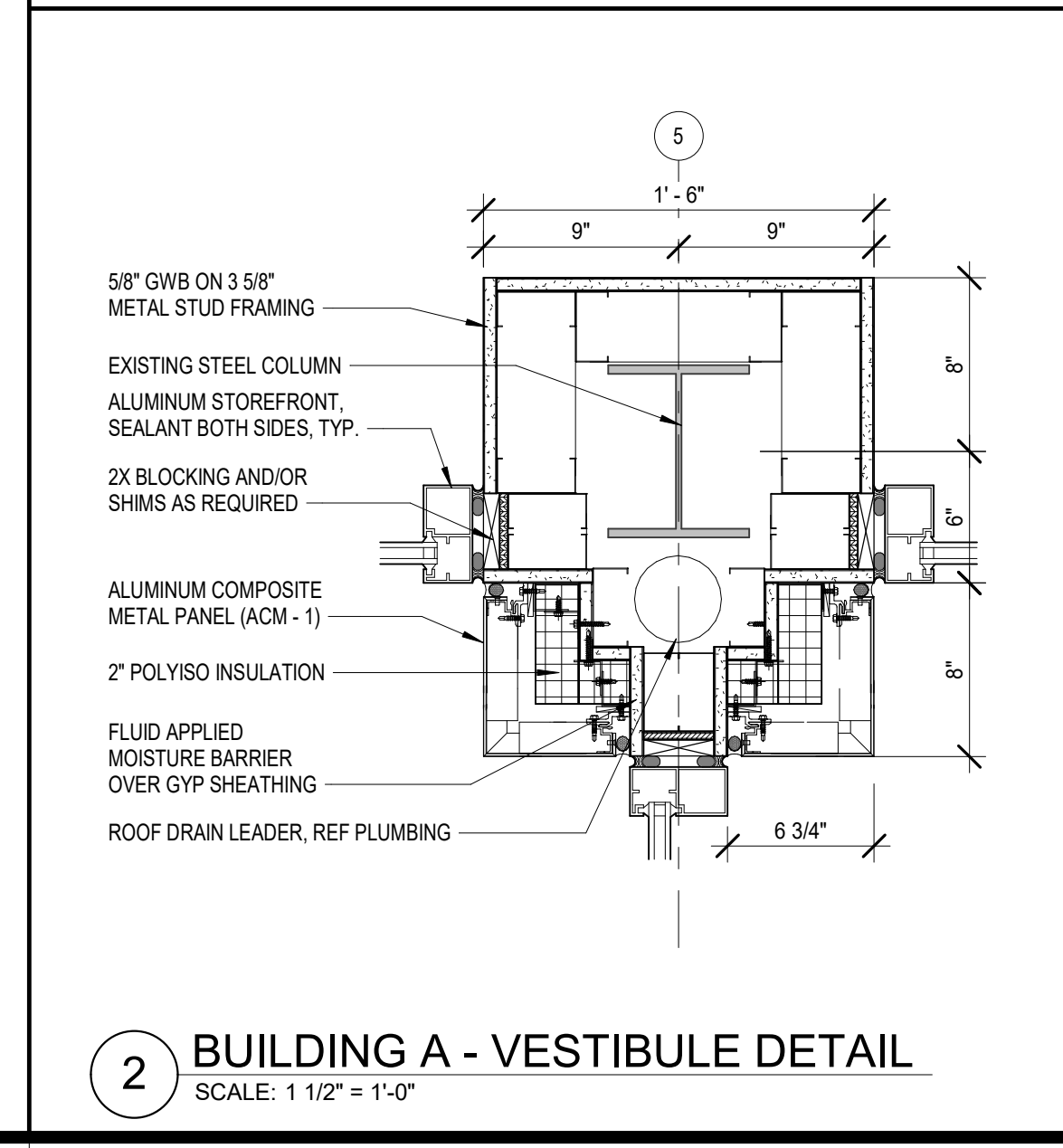
**4 ACM AT BRICK**  
 SCALE: 1 1/2" = 1'-0"



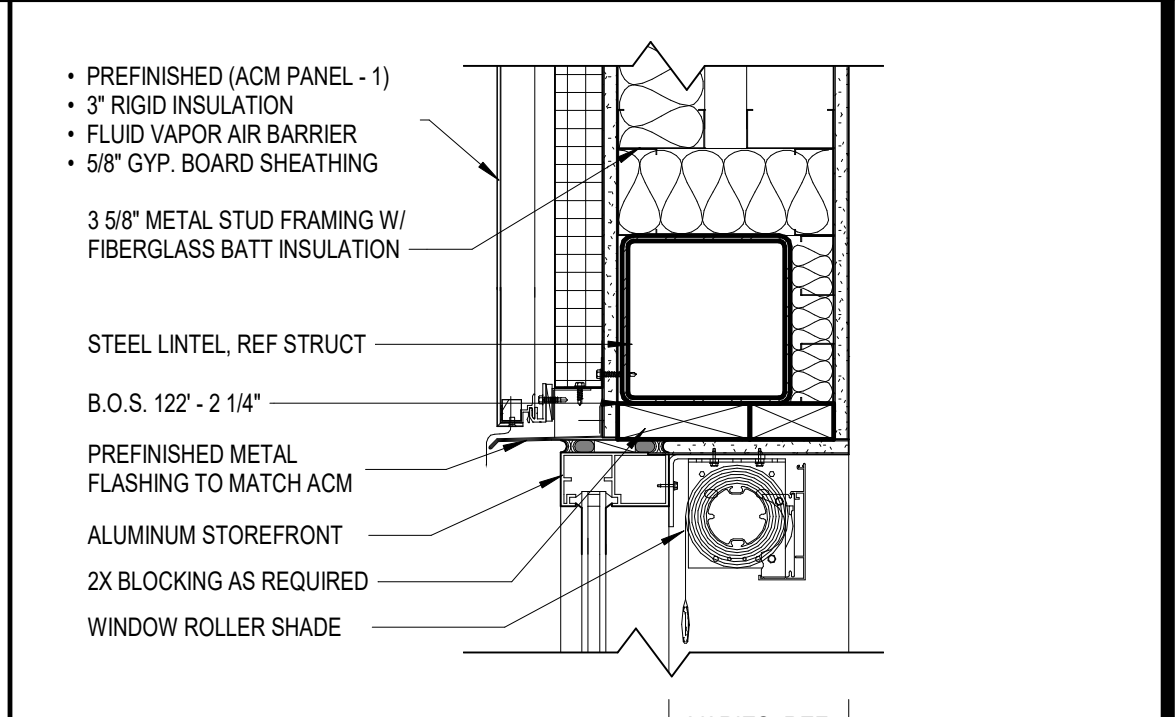
**3 ROOF AT N/S STOREFRONT**  
 SCALE: 1 1/2" = 1'-0"



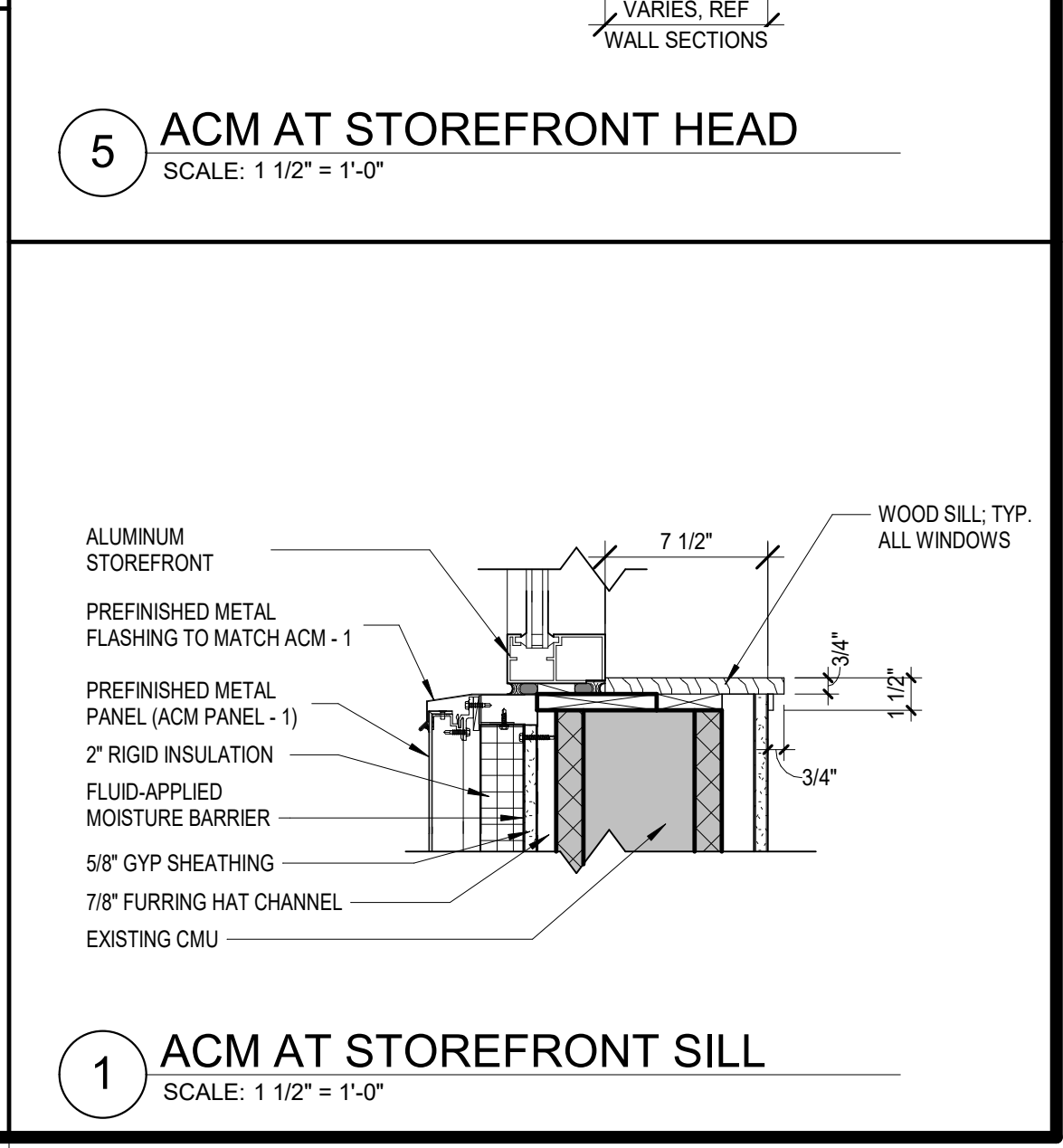
**8 ACM SOFFIT OUTSIDE CORNER**  
 SCALE: 1 1/2" = 1'-0"



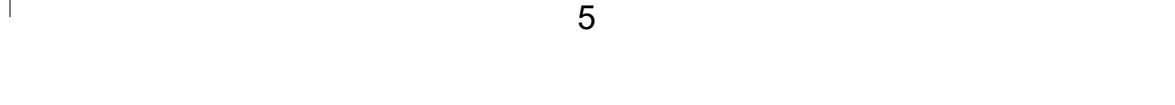
**2 BUILDING A - VESTIBULE DETAIL**  
 SCALE: 1 1/2" = 1'-0"



**7 ACM SOFFIT INSIDE CORNER**  
 SCALE: 1 1/2" = 1'-0"



**5 ACM AT STOREFRONT HEAD**  
 SCALE: 1 1/2" = 1'-0"



**1 ACM AT STOREFRONT SILL**  
 SCALE: 1 1/2" = 1'-0"

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**ADVISORS EXCEL - GAGE CENTER CAMPUS  
 PHASE 1 - BUILDING A - REMODEL  
 TOPEKA, KANSAS 66604**

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ADD-1, REV #1	10/02/2019
SHEET TITLE	
BUILDING A - DETAILS	
PROJECT NUMBER	
190121	
SHEET NUMBER	
A-501	