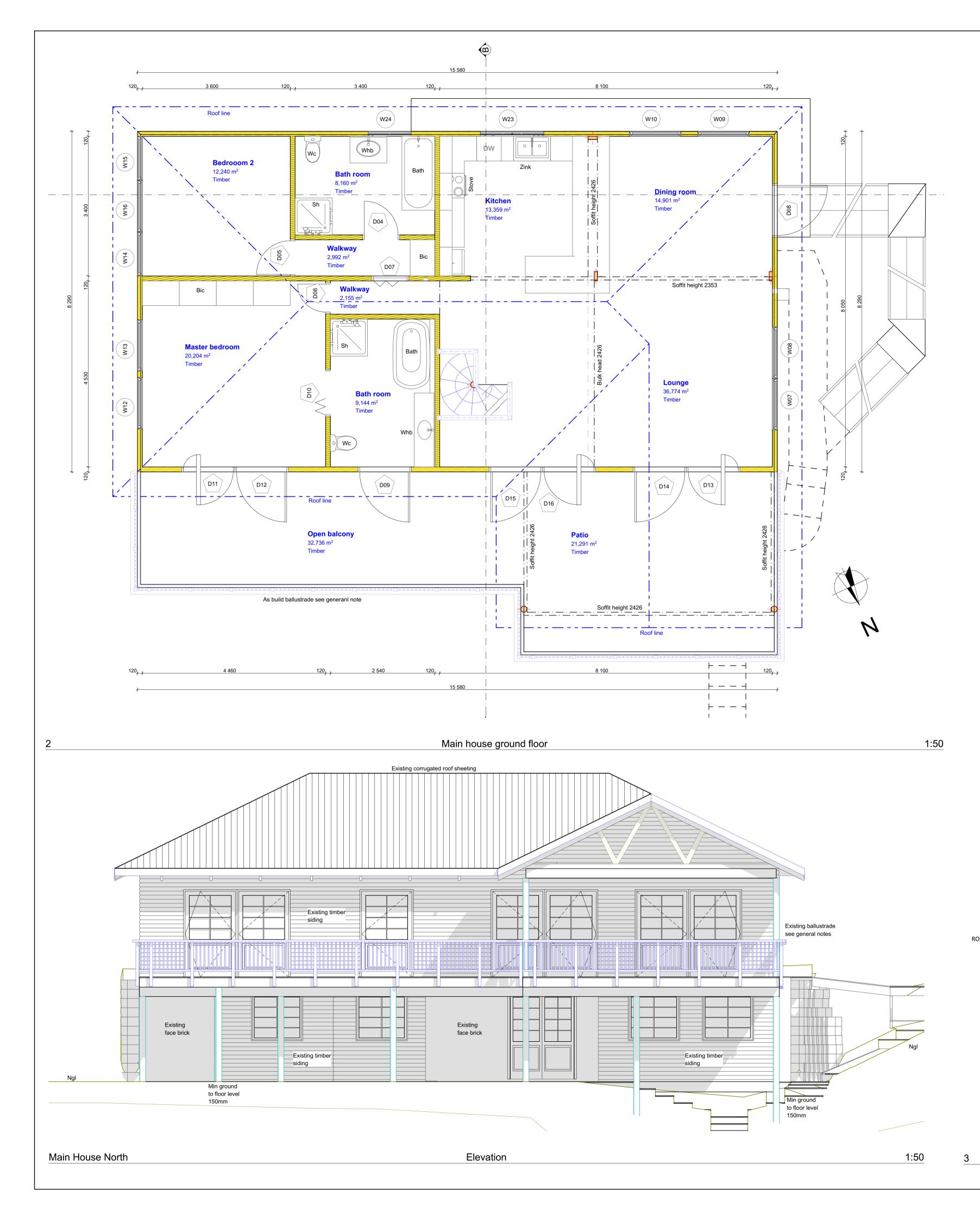
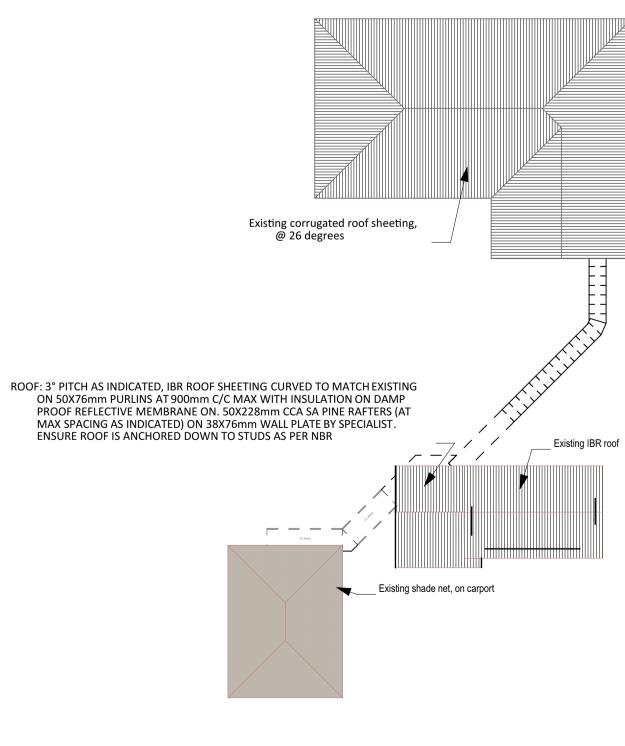


	ALL WORK TO BE PERFORMED TO MUNICIPAL & NATIONAL BUILDING REGULATIONS SANS 10400 GENERAL NOTES:
	All work to comply with National Building Regulations SANS 10400. No measurements to be scaled. All levels and dimensions to be verified on site. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / DESIGNER IMMEDIATELY. Read drawings in conjunction with Engineer's detail. ALL REINFORCED CONCRETE WORK TO BE ACCORDING TO STRUCTURAL ENGINEER'S DESIGN AND DETAIL. The building owner is responsible for ensuring that their project is SANS compliant and signed off by a qualified Engineer.
	STAIRS AND RAILING: A NON COMPLIANT BALUSTRADE IS A SAFETY RISK. ENSURE THE BALUSTRADE SYSTEM IS INSTALLED CORRECTLY: SANS 10400 Part B, Part D and Part M, SANS 10160-2:2011. Steps and risers as shown. Risers as indicated on drawing and run as indicated on drawing, minimum balustrade height 1000mm. Opening between rails and / or droppers not to exceed 100mm. Any balustrade or wall provided to protect a change in level shall comply with the requirements of SANS 10400-B.
	FIRE PROTECTION: SANS 10400 Part T: The requirements of the Act will be deemed to have been satisfied if the design, construction and equipment of buildings complies with SANS 10400 Part T and satisfies the local authority.
	STORM WATER: SANS 10400 Part R: The owner of any site shall provide suitable means for the control and disposal of accumulated stormwater which may run off from any earthworks, building or paving. CONTRACTOR MUST ENSURE THAT STORM WATER DOES NOT DAMAGE EXISTING BUILDING WORK OR NEIGHBOURING PROPERTIES DURING CONSTRUCTION AND THAT STORMWATER DRAINAGE IS SUFFICIENT.
	<b>RAINWATER DISPOSAL:</b> Provide 1m paving around building with fall away from structure where practical. GUTTERS & DOWN PIPES TO BE INSTALLED WHERE PRACTICAL. We highly recommend installing as many rainwater tanks as practically possible.
	SEWERAGE: All sanitary appliances to be supplied with antisuction traps and/or ventilated according to NBR requirementsie's at all bends, connections and changes of gradient with marked covers on ground level. Sufficient access panels to be installed in all shafts over ie'sall sanitary pipes to be accessible. Sewage pipes under floors or buildings not to change direction and must be encased in 100mm concrete.
	Remove top-soil and organic material within interior footprint of building and paving. Above material not to be used as backfill. Keep site dry. Stockpile top-soil and re-use where possible.
	All foundations concrete strip foundations unless specified. Concrete minimum 15MPa after 28 days. FILLING: SANS 10400 Part J (JJ2.3): Backfill to be compacted in layers not more than 150mm layers to minimum. Compact to min. 98% MOD. AASHTO or otherwise as specified by Engineer.
	SURFACE BEDS: Minimum 100mm thick 15MPa on DPC. Expansion joints to be provided 20m <sup>2</sup> max.
	WATERPROOFING: SANS 10400 Part J(JJ3) and Sec. K(KK15): Provide 250 micron USB DPC underneath all surface beds and 375 micron Black DPC in walls with min. 100mm overlap at joints. Provide "Brickgrip" DPC underneath all window sills. All joints according to specifications.
870	BRICKWORK: SANS 10400 Part K: Brickwork in stretching bond with minimum joint thickness of 10mm. Interior walls minimum 110mm thick. Brick as indicated. Stock bricks to be kept clean of mortar. Provide brickforce in each layer for foundation walls, (5 layers minimum), each layer above windows and doors and at 4 course intervals: use alternate layer of 75mm brickforce and butterfly tie-wires for all other 280mm brickwork. Use 75mm brickforce in each course every 4 layers for 110mm and 220mm brick walls.
	PLASTER WORK: One layer plaster minimum 12mm thick. ROOF:
	Construction & Material to comply with SANS 10400 Part L and SANS 1900:2009 <b>GLAZING:</b> SANS 10400 Part N, SABS 0137-200, SABS 1263: Clear Glass unless specified. Mark all sliding doors visible. SAFETY GLASS IN ALL DOORS AND WINDOWS LOWER THAN 300mm FROM GROUND LEVEL AND LARGER THAN 1 m <sup>2</sup> .
	SKIRTING AND CORNICING: Skirting & cornicing where required as specified.
	GEYSERS: SABS 0254 With drip-tray. SPACE HEATING & CHIMNEYS:
	To comply with SANS 10400: Part V. COPYRIGHT NOTICE: Copyright © 2018 HG Architectural Design & Draughting PTY Ltd. Copyright subsists in this drawing. The
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	5cm on original A1 drawing
	0 1 2 3 4 5 STAMPS / SIGNATURES:
	AREAS: TOWN PLANING SCHEDULE:
	NAME         LEVEL         AREA         STAND:         STAND 871           Existing main house groundfloor         Ground floor         150.71m         SEDGEFIELD
	Existing main house basement       Basement       71.34m       SITE AREA:       ???? m         Existing main house U\Deck       Basement       66.84m       ZONING:       H4 dwelling         Existing outbuilding       Ground floor       25.44m       ZONING:       H4 dwelling         New additions outbuilding       Ground floor       16.39 m       HEIGHT:       2 STOREYS       2 STOREY
	Existing carportGround floor49.07mHEIGHT:2 STOREYS2 STOREYTOTAL379.79mFIRST FLOOR REST:N/AN/AGOVERAGE:50%28.77%FAR:N/AN/A
	DRAWN BY Franco Henegan
	REVISION         DATE         REVISION DETAILS           0         2019/02/22         Issued for approval
	DRAWING TITLE: Layout plan SHEET: SHEET: (1) of 9
	DRAWING: SED871 De Groot rev 0 SCALE PAPER SIZE REVISION as A1
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	architectural       044 343 2206   071 382 3566         architectural       office@hgdesign.co.za   www.hgdesign.co.za         design & draughting       Office 15, Forest Lodge Complex, Sedgefield, WC, South Africa

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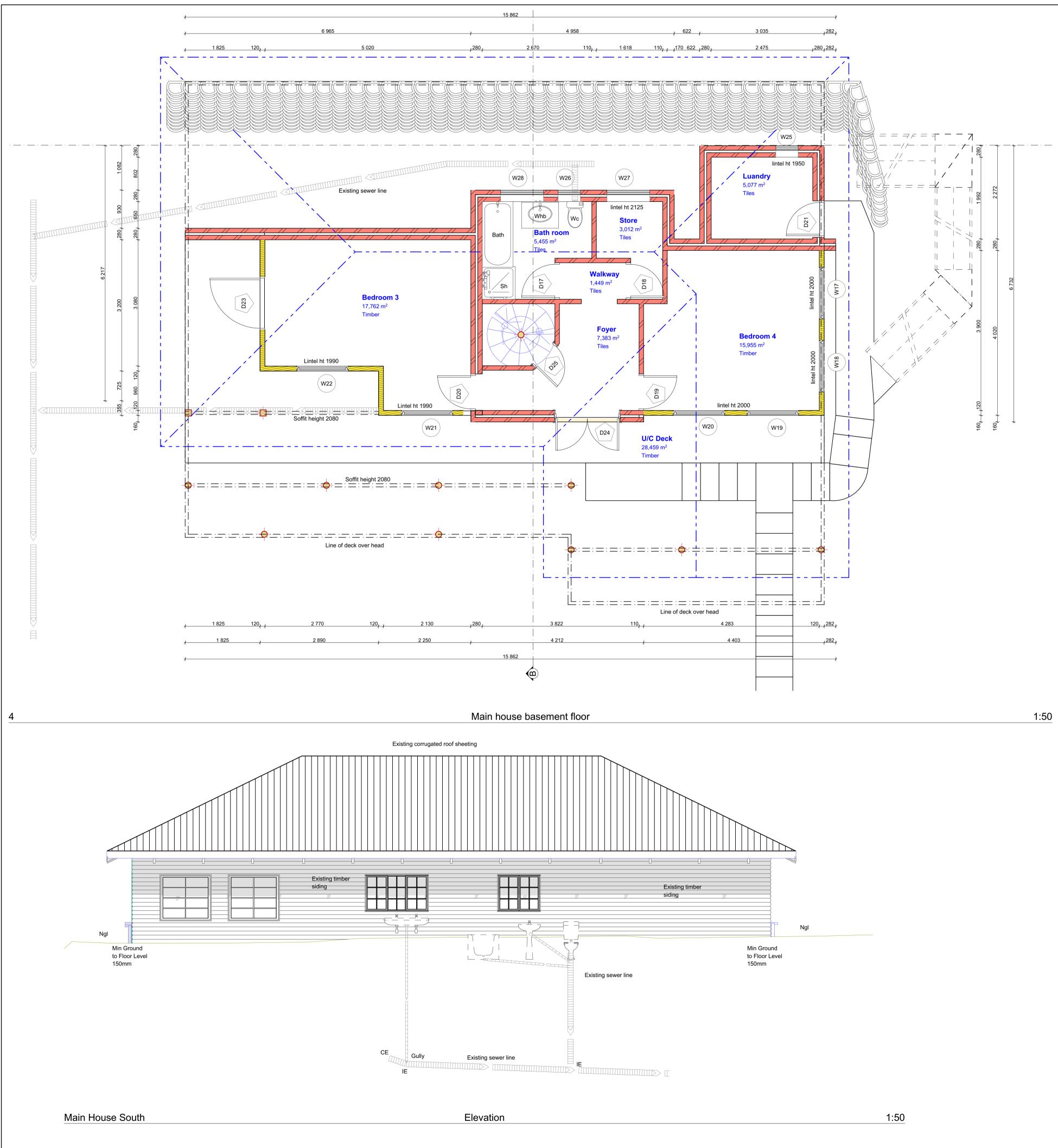




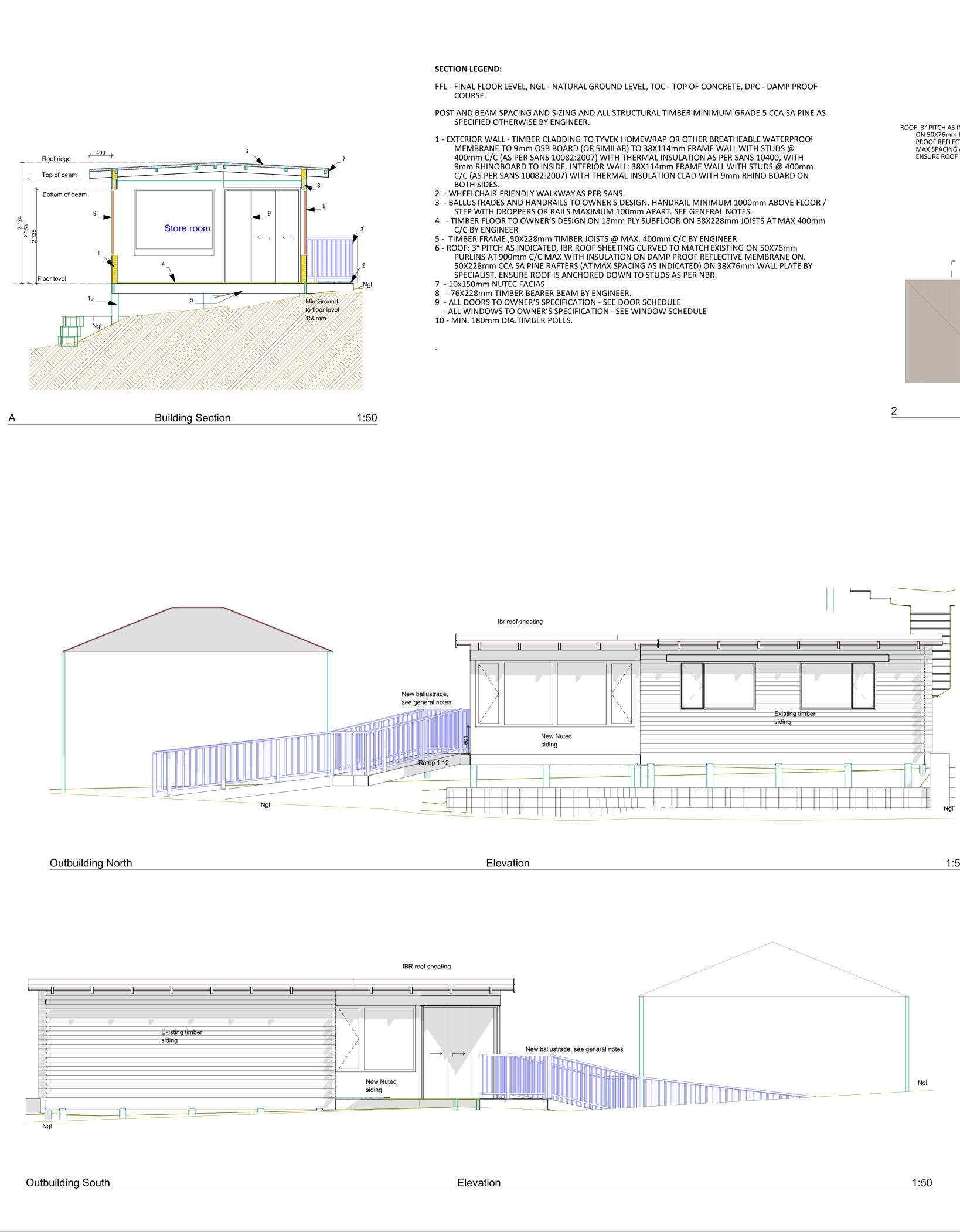
Main house roof plan

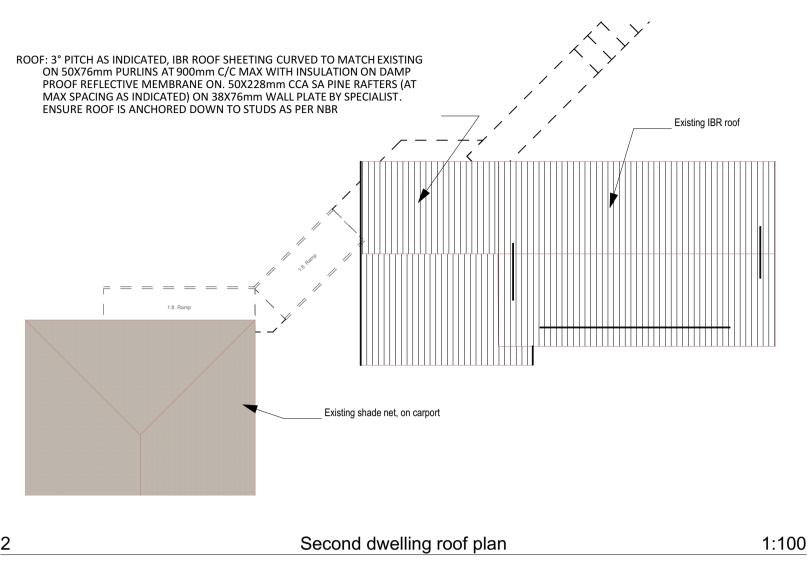
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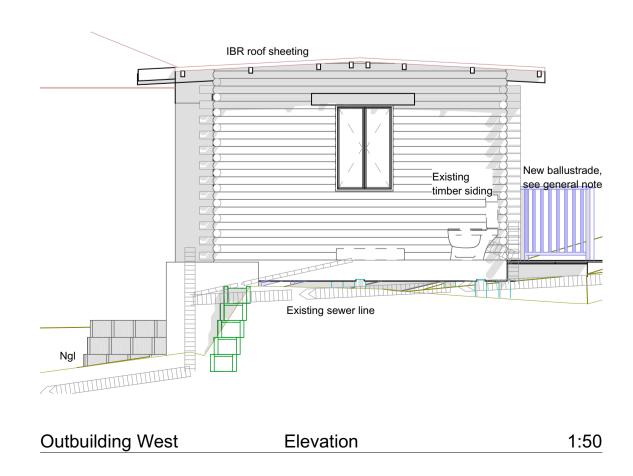






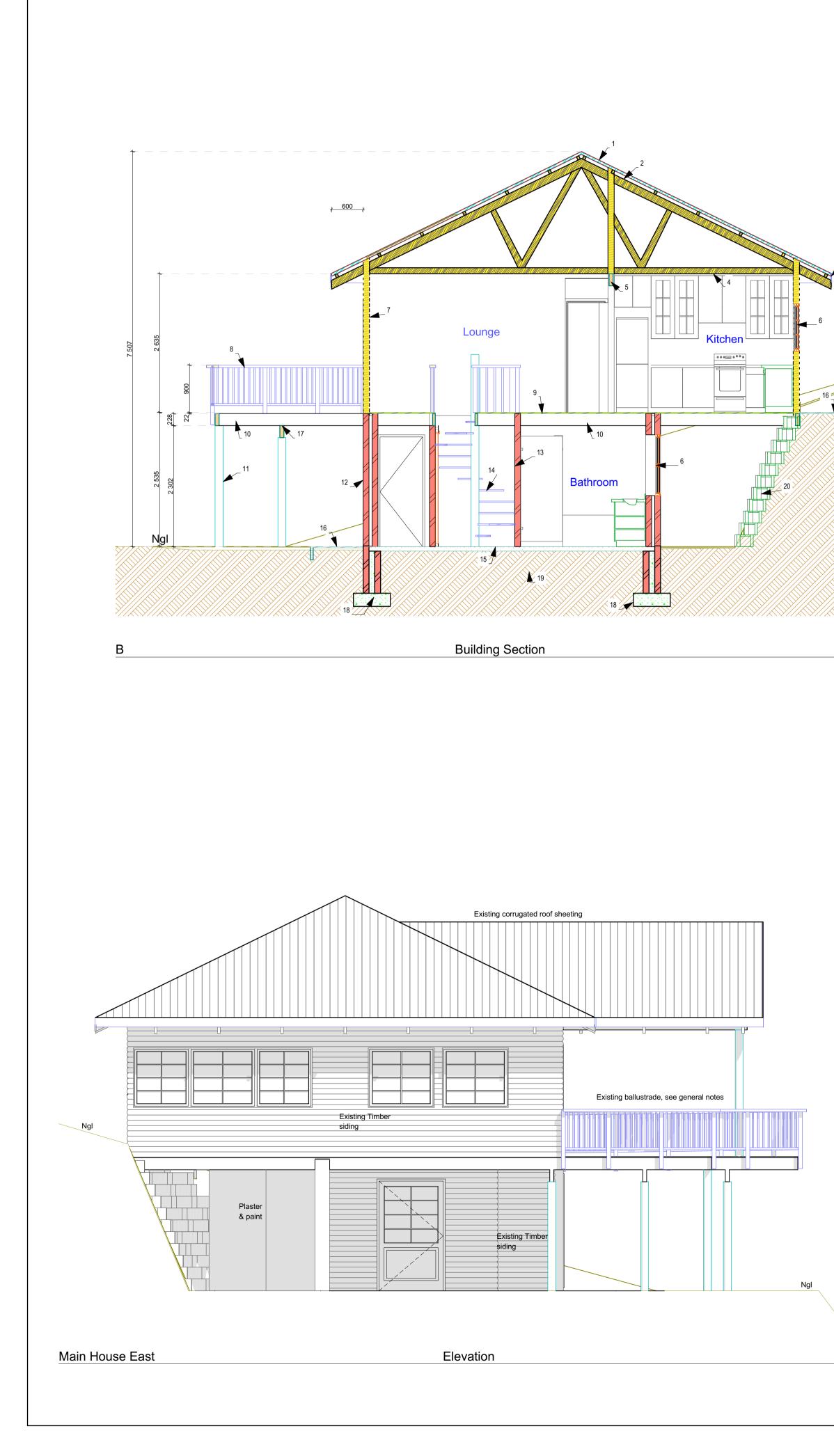
lbr roof sheeting

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A di A C is	ALL WORK TO BE PERFORMED TO MUNICIPAL & NATIONAL BUILDING REGULATIONS SANS 10400 ENERAL NOTES: Il work to comply with National Building Regulations SANS 10400. No measurements to be scaled. All levels and imensions to be verified on site. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE DOUBTED WARDING TO A DEVELOPMENT OF THE ATTENTION OF THE DOUBTED WARDING TO A DEVELOPMENT OF THE ATTENTION OF THE DOUBTED WARDING TO A DEVELOPMENT OF THE ATTENTION OF THE DOUBTED WARDING TO A DEVELOPMENT OF THE ATTENTION OF THE DOUBTED WARDING TO A DEVELOPMENT OF THE ATTENTION OF THE DOUBTED WARDING TO A DEVELOPMENT OF THE ATTENTION OF THE DOUBTED WARDING TO A DEVELOPMENT OF THE ATTENTION OF THE DOUBTED WARDING TO A DEVELOPMENT OF THE ATTENTION OF THE DOUBTED OF THE ATTENT OF THE ATTENT OF THE ATTENT OF THE ATTENT OF THE DOUBTED OF THE ATTENT OF THE ATTE
A di A C is	Il work to comply with National Building Regulations SANS 10400. No measurements to be scaled. All levels and imensions to be verified on site. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE
	RCHITECT / DESIGNER IMMEDIATELY. Read drawings in conjunction with Engineer's detail. ALL REINFORCED CONCRETE WORK TO BE ACCORDING TO STRUCTURAL ENGINEER'S DESIGN AND DETAIL. The building owner is responsible for ensuring that their project is SANS compliant and signed off by a qualified Engineer.
is C	TAIRS AND RAILING: A NON COMPLIANT BALUSTRADE IS A SAFETY RISK. ENSURE THE BALUSTRADE SYSTEM IS INSTALLED CORRECTLY: SANS 10400 Part B, Part D and Part M, SANS 10160-2:2011. Steps and sers as shown. Risers as indicated on drawing and run as indicated on drawing, minimum balustrade height 1000mm. Opening between rails and / or droppers not to exceed 100mm. Any balustrade or wall provided to protect a change in evel shall comply with the requirements of SANS 10400-B.
1	IRE PROTECTION: SANS 10400 Part T: he requirements of the Act will be deemed to have been satisfied if the design, construction and equipment of buildings omplies with SANS 10400 Part T and satisfies the local authority.
ru D	TORM WATER: SANS 10400 Part R: The owner of any site shall provide suitable means for the control and disposal of accumulated stormwater which may In off from any earthworks, building or paving. CONTRACTOR MUST ENSURE THAT STORM WATER DOES NOT MAMAGE EXISTING BUILDING WORK OR NEIGHBOURING PROPERTIES DURING CONSTRUCTION AND THAT TORMWATER DRAINAGE IS SUFFICIENT.
Þ	<b>CAINWATER DISPOSAL:</b> rovide 1m paving around building with fall away from structure where practical. GUTTERS & DOWN PIPES TO BE NSTALLED WHERE PRACTICAL. We highly recommend installing as many rainwater tanks as practically possible.
e ac	EWERAGE: All sanitary appliances to be supplied with antisuction traps and/or ventilated according to NBR equirementsie's at all bends, connections and changes of gradient with marked covers on ground level. Sufficient ccess panels to be installed in all shafts over ie'sall sanitary pipes to be accessible. Sewage pipes under floors or uildings not to change direction and must be encased in 100mm concrete.
R Da	The rest and restrict the solution of the solu
3	ILLING: SANS 10400 Part J (JJ2.3): ackfill to be compacted in layers not more than 150mm layers to minimum. Compact to min. 98% MOD. AASHTO or therwise as specified by Engineer.
M	URFACE BEDS: linimum 100mm thick 15MPa on DPC. Expansion joints to be provided 20m² max. VATERPROOFING: SANS 10400 Part J(JJ3) and Sec. K(KK15): Provide 250 micron USB DPC underneath all surface
Э¢ N	eds and 375 micron Black DPC in walls with min. 100mm overlap at joints. Provide "Brickgrip" DPC underneath all indow sills. All joints according to specifications. BRICKWORK: SANS 10400 Part K: Brickwork in stretching bond with minimum joint thickness of 10mm. Interior walls
n of a	ninimum 110mm thick. Brick as indicated. Stock bricks to be kept clean of mortar. Provide brickforce in each layer for bundation walls, (5 layers minimum), each layer above windows and doors and at 4 course intervals: use alternate layer f 75mm brickforce and butterfly tie-wires for all other 280mm brickwork. Use 75mm brickforce in each course every 4 ayers for 110mm and 220mm brick walls.
0 R	PLASTER WORK: One layer plaster minimum 12mm thick. NOOF:
G S	Construction & Material to comply with SANS 10400 Part L and SANS 1900:2009 <b>CLAZING:</b> ANS 10400 Part N, SABS 0137-200, SABS 1263: Clear Glass unless specified. Mark all sliding doors visible. SAFETY GLASS IN ALL DOORS AND WINDOWS LOWER THAN 300mm FROM GROUND LEVEL AND LARGER THAN 1 m <sup>2</sup> .
s	KIRTING AND CORNICING: Kirting & cornicing where required as specified.
W	SEYSERS: SABS 0254 Vith drip-tray. SPACE HEATING & CHIMNEYS:
	COPYRIGHT NOTICE: Copyright © 2018 HG Architectural Design & Draughting PTY Ltd. Copyright subsists in this drawing. The
p d b t h A A t e m rig	erson or entity, whose name appears in the title block of this drawing, is hereby granted a non-exclusive license to use, display, and rint and / or reproduce this drawing to the extent necessary to carry out and complete the project described in the title block of this license in respect of the copyright is expressly limited as aforesaid and the person and/or entity referred to above shall not e entitled to grant sub-licenses in respect of the copyright in this drawing to any other entity. This license confers no ownership rights in he copyright vesting in the drawing and this drawing and the copyright subsisting therein will, at all times, remain the property of HG whitectural Design & Draughting PTY Ltd. In unauthorized reproduction, publication, transmission, adaptation and/or inclusion of this drawing in a cinematograph film or elevision broadcast is an act of copyright infringement which will render the doer of the act liable for civil law copyright infringement and nay in certain circumstances render the doer liable to criminal prosecution. Requests and enquiries concerning this drawing and the ights subsisting therein should be addressed to the copyright owner. ACTS OF PARLIAMENT: All Contractors shall ensure that, before
a	ny work is put in hand, they comply with all the necessary Acts of Parliament of the Republic of South Africa.
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A	AREAS: TOWN PLANING SCHEDULE:
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	Total       2       3       4       5         STAMPS / SIGNATURES:       STAMPS / SIGNATURES:       STAMPS / SIGNATURES:         Stamps / Signature       Stamps / Signature       Stamps / Signature         Mate       Level       Afea         Stamp on house groundfloor       Ground floor       150.71m         Stamp on ho
	NEASE     TOWN PLANING SCHEDULE:       STAMPS / SIGNATURES:     STAMPS / SIGNATURES:
	NERAS:     TOWN PLANING SCHEDULE:       Name     Revent     ISAN       Mate     Revent     Name       Stamps / Signatures:     Stamps / Signatures:
	ATEAS:     TOWN PLANING SCHEDULE:       AMPS / SIGNATURES:     STAMPS / SIGNATURES:
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	AREAS:     TOWN PLANING SCHEDULE:       AME     LEVE     AREAS:       Basemania     Circurd floor     10.71m       Basemania     TOWNSHIP:     STAND 871       TOWNSHIP:     STAND 871       TOWNSHIP:     STAND 871       STAND 871     STAND 871       STAND 871 </td
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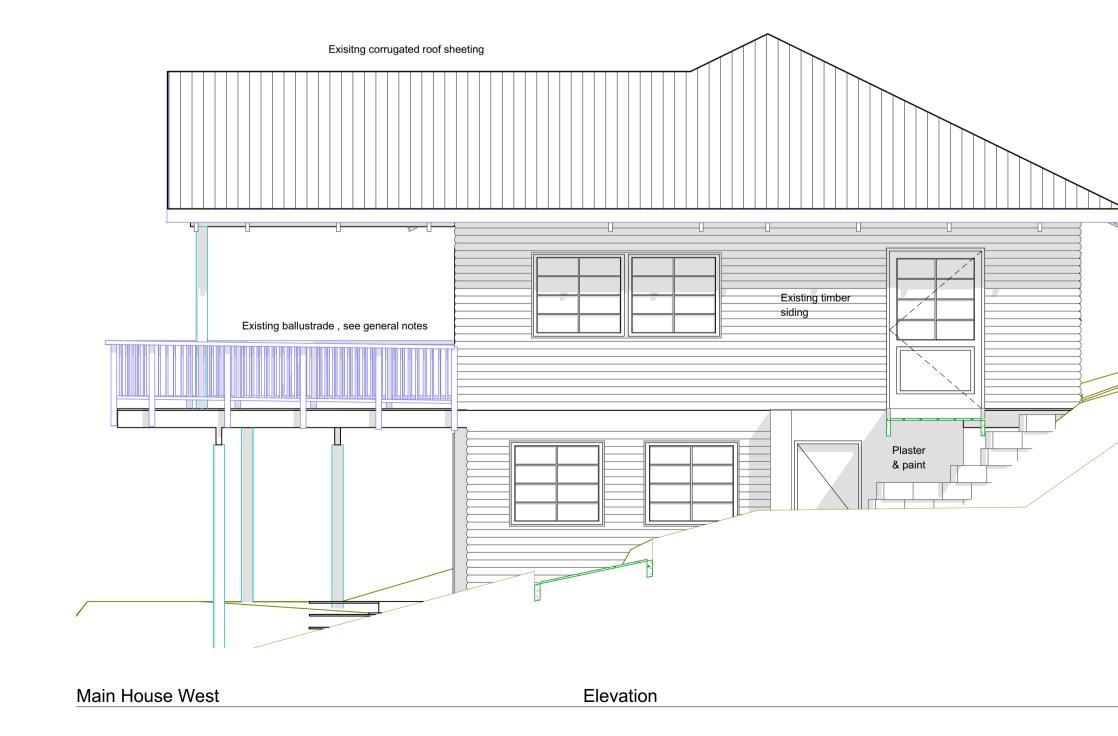
## SECTION LEGEND:

FFL - FINAL FLOOR LEVEL, NGL - NATURAL GROUND LEVEL, TOC - TOP OF CONCRETE, DPC - DAMP PROOF COURSE.

- POST AND BEAM SPACING AND SIZING AND ALL STRUCTURAL TIMBER MINIMUM GRADE 5 CCA SA PINE AS SPECIFIED OTHERWISE BY ENGINEER.
- 1 EXISTING ROOF, IBR ROOF SHEETING @ 26 DEGREEs
- 2 -EXISTING ROOF TRUSSES. 3 - 10x150mm NUTEC FACIAs
- 4 EXISITNG CEILING
- 5 EXISTING 76X228mm TIMBER BEARER BEAM BY ENGINEER
- 6 ALL EXISTING DOORS TO OWNER'S SPECIFICATION SEE DOOR SCHEDULE - ALL EXISTING WINDOWS TO OWNER'S SPECIFICATION - SEE WINDOW SCHEDULE
- 7 EXISTING EXTERIOR WALL TIMBER CLADDING TO TYVEK HOMEWRAP OR OTHER BREATHEABLE WATERPROOF MEMBRANE TO 9mm OSB BOARD (OR SIMILAR) TO 38X114mm FRAME WALL WITH STUDS @ 400mm C/C (AS PER SANS 10082:2007) WITH THERMAL INSULATION AS PER SANS 10400, WITH 9mm RHINOBOARD TO INSIDE. INTERIOR WALL: 38X114mm FRAME WALL WITH STUDS @ 400mm C/C (AS PER SANS 10082:2007) WITH THERMAL INSULATION CLAD WITH 9mm RHINO BOARD ON BOTH SIDES.
- 8 EXISTING BALLUSTRADES AND HANDRAILS TO OWNER'S DESIGN. HANDRAIL MINIMUM 1000mm ABOVE FLOOR / STEP WITH DROPPERS OR RAILS MAXIMUM 100mm APART. SEE GENERAL NOTES. 9 - EXISTING TIMBER FLOOR TO OWNER'S DESIGN ON 18mm PLY SUBFLOOR ON 38X228mm JOISTS AT
- MAX 400mm C/C BY ENGINEER 10 - EXISTING TIMBER FRAME ,50X228mm TIMBER JOISTS @ MAX. 400mm C/C BY ENGINEER.
- 11 MIN. 180mm DIA.EXISTING TIMBER POLES.
- 12 EXISTING 280mm CAVITY MASONARY WALL
- 13 EXISTING 110mm MASONARY WALL, PLASTER & PAINT 14 - EXISTING SPIRAL STAIRCASE, 1.8m HEAD HEIGHT
- 15 EXISTING CONCRETE SURFACE BED
- 16 EXISTING TIMBER DECK 17 -EXISTING 76X228mm TIMBER BEARER BEAM BY ENGINEER.
- **18 EXISITNG FOUNDATIONS**
- 19 EXISTING GROUND FILL
- 20 EXISTING RETAINING BLOCKS

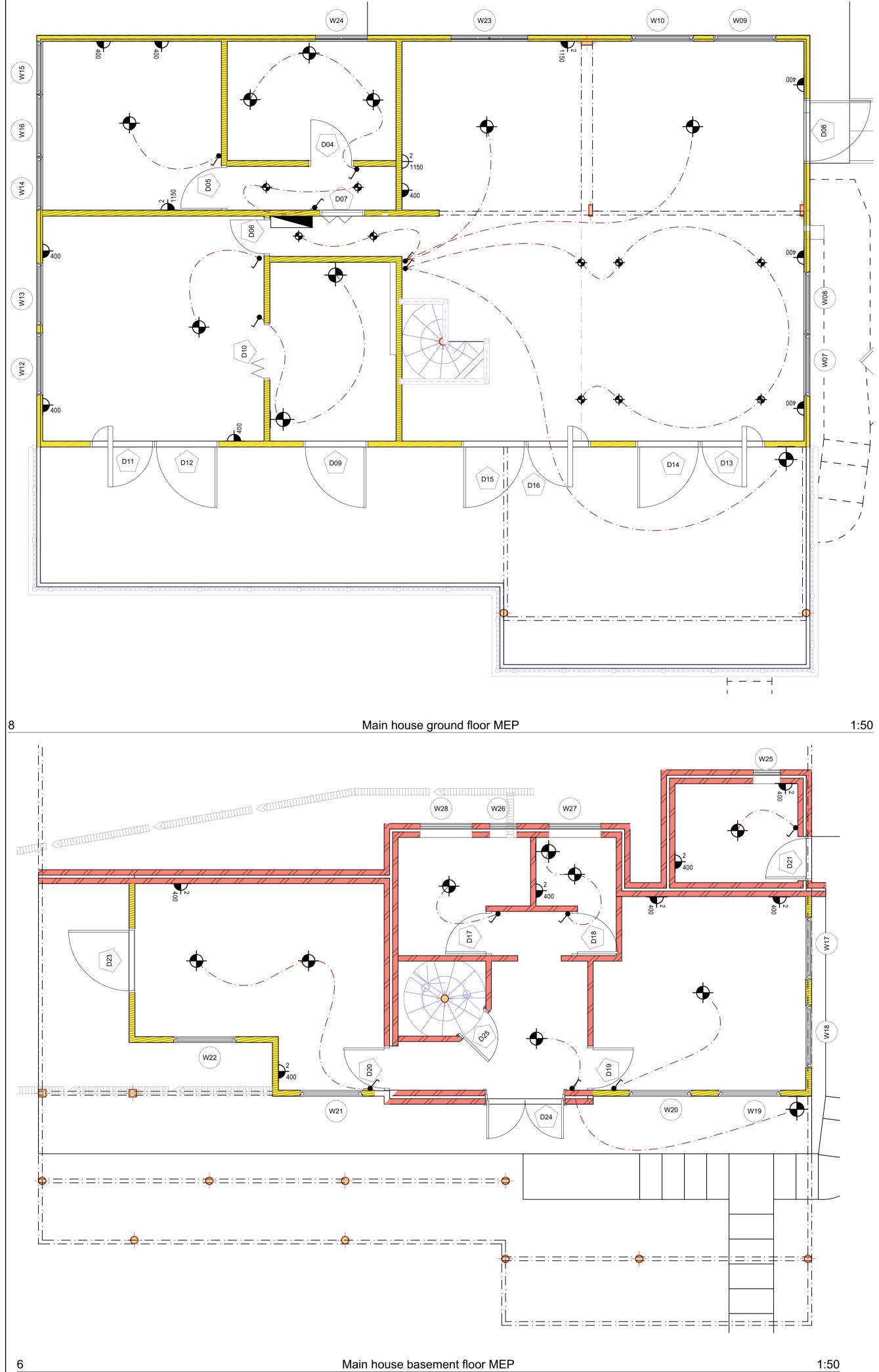


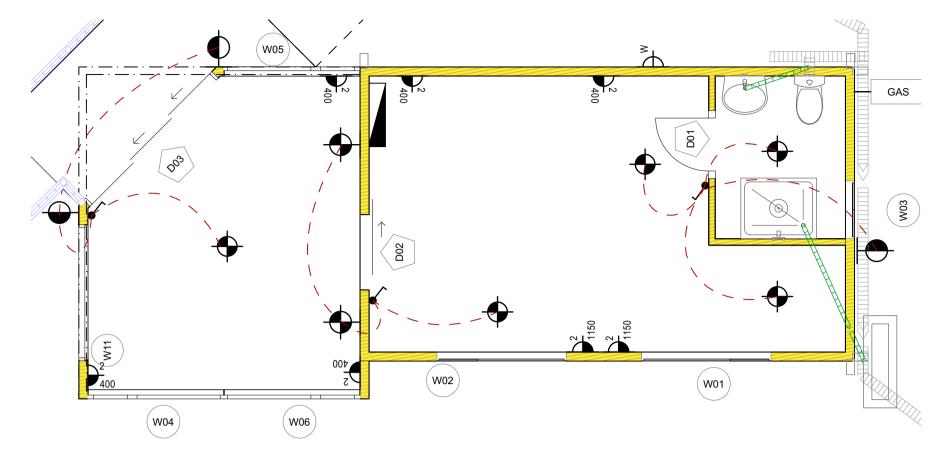
Ngl



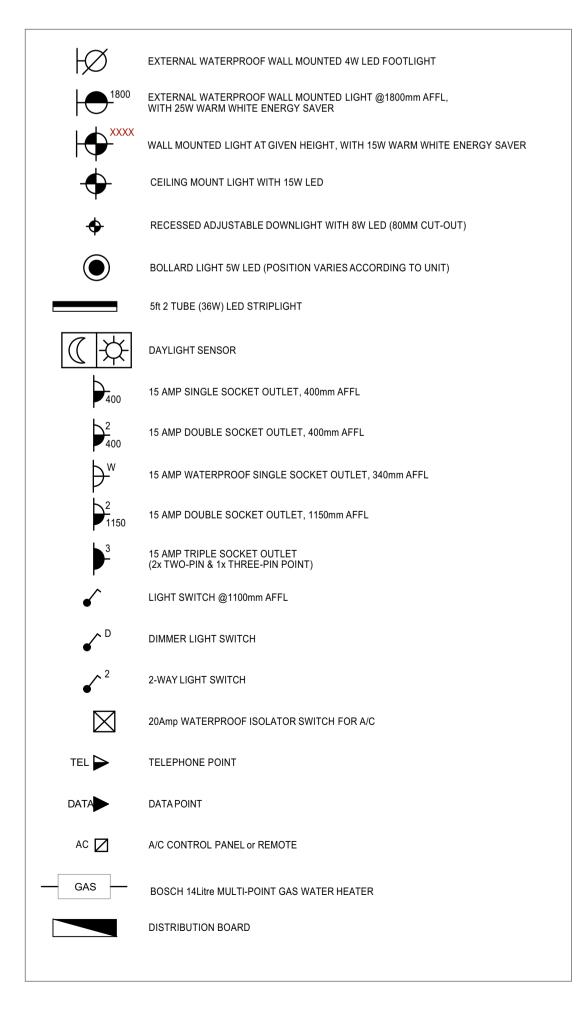
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GENERAL NOTES:	
dimensions to be verified o ARCHITECT / DESIGNER	tional Building Regulations SANS 10400. No measurements to be scaled. All levels and on site. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE IMMEDIATELY. Read drawings in conjunction with Engineer's detail. ALL REINFORCE
is responsible for ensuri	E ACCORDING TO STRUCTURAL ENGINEER'S DESIGN AND DETAIL. The building ng that their project is SANS compliant and signed off by a qualified Engineer. NON COMPLIANT BALUSTRADE IS A SAFETY RISK. ENSURE THE BALUSTRADE
risers as shown. Risers as Opening between rails and	CORRECTLY: SANS 10400 Part B, Part D and Part M, SANS 10160-2:2011. Steps an indicated on drawing and run as indicated on drawing, minimum balustrade height 1000 / or droppers not to exceed 100mm. Any balustrade or wall provided to protect a change requirements of SANS 10400-B.
FIRE PROTECTION: SAN The requirements of the Ac	IS 10400 Part T: Ct will be deemed to have been satisfied if the design, construction and equipment of bu
STORM WATER: SANS 10 The owner of any site shall	l provide suitable means for the control and disposal of accumulated stormwater which i
run off from any earthworks	s, building or paving. CONTRACTOR MUST ENSURE THAT STORM WATER DOES N DING WORK OR NEIGHBOURING PROPERTIES DURING CONSTRUCTION AND T
	building with fall away from structure where practical. GUTTERS & DOWN PIPES TO E CTICAL. We highly recommend installing as many rainwater tanks as practically possib
requirementsie's at all be access panels to be installe	appliances to be supplied with antisuction traps and/or ventilated according to NBR ends, connections and changes of gradient with marked covers on ground level. Sufficie ed in all shafts over ie'sall sanitary pipes to be accessible. Sewage pipes under floors
SITE PREPARATION: Remove top-soil and organ	ection and must be encased in 100mm concrete.
FOUNDATION: SANS 104	ckpile top-soil and re-use where possible. <b>100 Part H:</b> rip foundations unless specified. Concrete minimum 15MPa after 28 days.
FILLING: SANS 10400 Pa Backfill to be compacted in otherwise as specified by E	a layers not more than 150mm layers to minimum. Compact to min. 98% MOD. AASHT
SURFACE BEDS:	MPa on DPC. Expansion joints to be provided 20m² max.
	S 10400 Part J(JJ3) and Sec. K(KK15): Provide 250 micron USB DPC underneath all k DPC in walls with min. 100mm overlap at joints. Provide "Brickgrip" DPC underneath a ording to specifications.
minimum 110mm thick. Brid foundation walls, (5 layers	00 Part K: Brickwork in stretching bond with minimum joint thickness of 10mm. Interior ck as indicated. Stock bricks to be kept clean of mortar. Provide brickforce in each laye minimum), each layer above windows and doors and at 4 course intervals: use alternat
	itterfly tie-wires for all other 280mm brickwork. Use 75mm brickforce in each course even
One layer plaster minimum <b>ROOF:</b>	n 12mm thick. comply with SANS 10400 Part L and SANS 1900:2009
GLAZING: SANS 10400 Part N, SABS	S 0137-200, SABS 1263: Clear Glass unless specified. Mark all sliding doors visible. SA
GLASS IN ALL DOORS AN SKIRTING AND CORNICII Skirting & cornicing where	
GEYSERS: SABS 0254 With drip-tray.	
SPACE HEATING & CHIM To comply with SANS 1040	
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Architectural Design & Draugh	awing and this drawing and the copyright subsisting therein will, at all times, remain the property o hting PTY Ltd. ion, publication, transmission, adaptation and/or inclusion of this drawing in a cinematograp
may in certain circumstances	of copyright infringement which will render the doer of the act liable for civil law copyright infringe s render the doer liable to criminal prosecution. Requests and enquiries concerning this drawing Id be addressed to the copyright owner. ACTS OF PARLIAMENT: All Contractors shall ensure the
• •	comply with all the necessary Acts of Parliament of the Republic of South Africa.
	5cm on original A1 drawing 0 1 2 3 4 5
AREAS: NAME	TOWN PLANING SCHEDULE:
NAME Existing main house groundfloor Existing main house basement Existing main house U\Deck	LEVELAREASTAND: TOWNSHIP:STAND 871 SEDGEFIELDGround floor150.71m Basement51TE AREA: ZONING:???? m
NAME Existing main house groundfloor Existing main house basement	LEVEL         AREA         STAND: TOWNSHIP:         STAND 871 SEDGEFIELD           Ground floor         150.71m Basement         SITE AREA: 20NING:         ???? m H4 dwelling           Ground floor         25.44m Ground floor         H4 dwelling           Ground floor         16.39 m Ground floor         HEIGHT: FIRST FLOOR REST:         2 STOREYS N/A         2 STOREYS N/A
NAME Existing main house groundfloor Existing main house basement Existing main house U\Deck Existing outbuilding New additions outbuilding	LEVEL         AREA         STAND: TOWNSHIP:         STAND 871 SEDGEFIELD           Ground floor         150.71m         SEDGEFIELD           Basement         71.34m         SITE AREA:         ???? m           Basement         66.84m         ZONING:         H4 dwelling           Ground floor         16.39 m         HEIGHT:         2 STOREYS         2 STOREYS
NAME         Existing main house groundfloor         Existing main house basement         Existing main house U\Deck         Existing outbuilding         New additions outbuilding         Existing carport         TOTAL         DRAWN BY         Franco He	LEVELAREASTAND: TOWNSHIP:STAND 871 TOWNSHIP:Ground floor150.71m 150.71m BasementSITE AREA: 2010???? m 2010Basement66.84m 66.84m Ground floorSITE AREA: 20NING:???? m H4 dwellingGround floor25.44m 16.39 m Ground floorSITE AREA: 20NING:???? m H4 dwellingGround floor16.39 m 9.07mHEIGHT: FIRST FLOOR REST:2 STOREYS N/A2 STOREY N/A379.79m379.79mCOVERAGE: FAR:50% N/A28.77% N/A
NAME Existing main house groundfloor Existing main house basement Existing main house U\Deck Existing outbuilding New additions outbuilding Existing carport TOTAL	LEVEL     AREA     STAND: TOWNSHIP:     STAND 871 TOWNSHIP:       Ground floor     150.71m Basement     SITE AREA:     ???? m       Basement     71.34m Ground floor     SITE AREA:     ???? m       Ground floor     25.44m Ground floor     SITE AREA:     ???? m       Ground floor     16.39 m Ground floor     HEIGHT:     2 STOREYS     2 STOREYS       379.79m     379.79m     YAA     N/A     N/A       REVISION DETAILS     REVISION DETAILS     Keveeneegan     Keveeneegan
NAME         Existing main house groundfloor         Existing main house basement         Existing main house U\Deck         Existing outbuilding         New additions outbuilding         Existing carport         TOTAL         DRAWN BY       Franco He         REVISION       DATE         0       2019/02/22	LEVEL     AREA     STAND: TOWNSHIP:     STAND 871 TOWNSHIP:       Ground floor     150.71m Basement     SITE AREA:     ???? m       Basement     71.34m Ground floor     SITE AREA:     ???? m       Ground floor     25.44m Ground floor     SITE AREA:     ???? m       Ground floor     16.39 m Ground floor     HEIGHT:     2 STOREYS     2 STOREYS       379.79m     379.79m     HEIGHT:     20VERAGE:     50%     28.77% FAR:
NAME         Existing main house groundfloor         Existing main house basement         Existing main house U\Deck         Existing outbuilding         New additions outbuilding         Existing carport         TOTAL         DRAWN BY         Franco He         REVISION         DATE         0         2019/02/22	LEVEL     AREA       Ground floor     150.71m       Basement     71.34m       Basement     71.34m       Basement     66.84m       Ground floor     25.44m       Ground floor     16.39 m       Ground floor     49.07m       379.79m     HEIGHT:       2 stores     2 stores       Pregan
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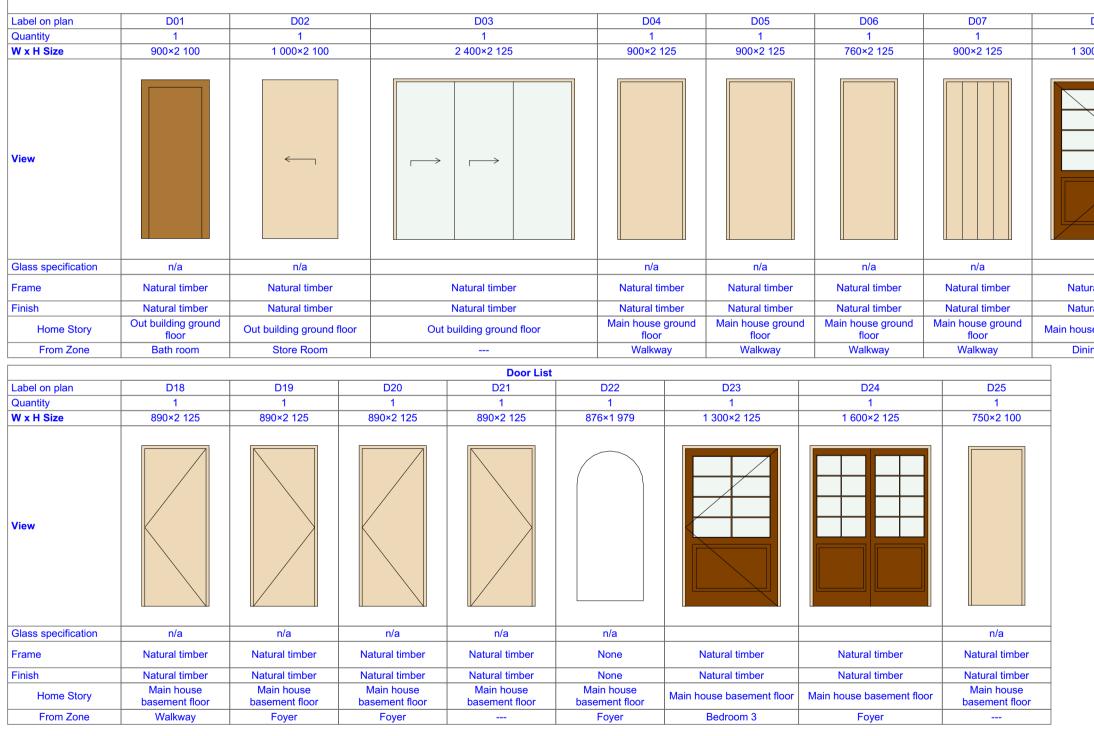
Out building ground floor MEP

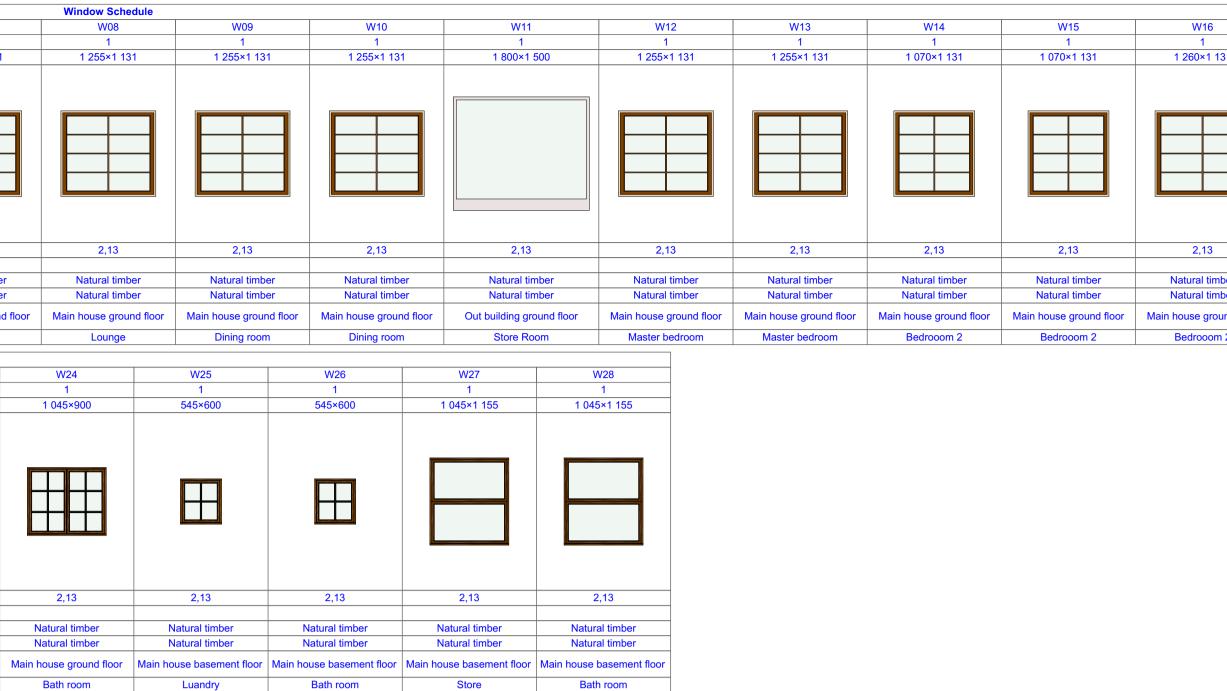


GENERAL NOTES:           All work to comply with National Building Regulations SANS 10400. No measurement dimensions to be writed on site. ANY DISCREPANCIES MUST BE BROUGHT TO ACCMPETE WORK TO BE ACCORDENCE TO STRUCTURAL EMINETERS DESIGN is responsible for ensuring that their project is SANS compliant and signed off it sepansible for ensuring that their project is SANS compliant and signed off it sepansible for ensuring that their project is SANS compliant and signed off it sepansible for ensuring that their project is SANS compliant and signed of it sepansible for ensuring that their project is SANS 10400 Part 1.           FIRE PROTECTION SANS 10400 Part 1:           The owner of any site shall provide suitable means for the control and disposal of acc omplies with SANS 10400 Part 1.           The owner of any site shall provide suitable means for the control and disposal of acc omplies with SANS 10400 Part 1.           The owner of any site shall provide suitable means for the control and disposal of acc omplies with SANS 10400 Part 1.           The owner of any site shall provide suitable means for the control and disposal of acc omplies with SANS 10400 Part 1.           The owner of any site shall provide suitable means for the control and disposal of acc omplies on the adjust and state source is a shall and any dispose of provide in the adjust and the source to be source to the source of any site shall be owner and shall not a shall acc with the source of any site shall and a site source is a shall and any dispose of a disposal of acc omplication where proceed. GUNMATER DISPOSAL:           STORM WATER DRANAGE IS SUFFICIENT.           RAMMATER DISPOSAL:           STIP REPARATION:           Remove top-soa	THE ATTENTION OF eer's detail. ALL REIN NAND DETAIL. The I f by a qualified Engi ENSURE THE BALU ENSURE THE BALU SANS 10160-2:2011. In imum balustrade he all provided to protect struction and equipme cumulated stormwate AT STORM WATER NG CONSTRUCTION TTERS & DOWN PIP ter tanks as practicall tilated according to N overs on ground level e. Sewage pipes und Above material not to Pa after 28 days. ct to min. 98% MOD. "On USB DPC undern "Brickgrip" DPC under thickness of 10mm. rovide brickforce in each co brickforce in each co at all sliding doors vi LEVEL AND LARGEF his license to us ect described in the title n and/or entity referred his license confers no co at all times, remain the p his drawing in a ciner ole for civil law copyrigh nquiries concerning this ": All Contractors shall e of South Africa.	F THE INFORCE building jineer. JSTRADI Steps are eight 100 ct a chang hent of bu ver which DOES N PES TO I Illy possib NBR J. Sufficie der floors o be used . AASHT( meath all derneath a . Interior bach layee e alternat ourse eve visible. S/ R THAN drawing. T se, display e block of t to above ownership
ARCHITECT / DESIGNER, IMMEDIATELY. Read drawings in conjunction with Engine CONCRETE WORK TO BE ACCORDING TO STRUCTURAL ENINEERS DESIGN is responsible for ensuring that their project is SANS compilant and signed off SYTEM IS INSTALLED CORRECTLY: SANS 10400 Part B. Part D and Part M, SA Hoghing bowers, Park and / or dropped relivers around a long indicated on drawing, mail level shall comply with the requirements of SANS 10400. Part B. TER PROTECTON: SANS 10400 Part T The requirements of the Act will be deemed to have been satisfied if the design, const complies with SANS 10400 Part T The requirements of the Act will be deemed to have been satisfied if the design, const complies with SANS 10400 Part T The owner of any site shall provide suitable means for the control and dispocal of acc MANA GE ENTRO BUILDING WORK OR NECONTRACTOP MOST ENSURE THA MANA GE ENTRO BE SUFFICIENT. <b>ANWATER DESIGNAL</b> <b>Provide</b> in may any site shall provide suitable means for the control and dispocal of acc MANA GE ENTRO BUILDING WORK OR NECONTRACTOP MOST ENSURE THA MANA GE ENTRO BUILDING WORK OR NECONTRACTOP MOST ENSURE THA MANA GE ENTRO BUILDING WORK OR NECONTRACTOP MOST ENSURE THA MANA GE ENTRO BUILDING WORK OR NECONTRACTOP MOST ENSURE THA MANA GE ENTRO BUILDING WORK OR NECONTRACTOP MOST ENSURE THA MANA GE ENTRO SUPPORT IN A suitable with a full away from structure where practical. GUT INSTALLED WHERE PRACTICAL. We highly recommend installing as many rainwate SUPPORT IN STALLED CONTRACTOP MOST ENSURE SUPPORT IN STALLED WHERE PRACTICAL. We highly recommend installing as many rainwate SUPPORT IN STALLED CONTRACTOP MOST ENTRO SUPPORT IN SANS 10400 Part H MINIMINI 1000 monoretal at provide sub stallary pipes to be accessible building not to change direction more than 150mm layers to minimum. Compact MINIMINI 1000 monoretal at pionts. The Weak Provide 250 micro backs in Act SI S10400 Part J (JJ2) and Sec. K(KK15): Provide 250 micro backs in Act SI S10400 Part K. Excloser K in structaling bord with minimum 100m MINIMINI 1000 mm bick 150K a	eer's detail. ALL REIN NAND DETAIL. The is <b>F by a qualified Engi</b> <b>ENSURE THE BALU</b> <b>ANS 10160-2:2011.</b> nimum balustrade he all provided to protect struction and equipme cumulated stormwate AT STORM WATER NG CONSTRUCTION TTERS & DOWN PIP ter tanks as practicall ntilated according to Novers on ground level e. Sewage pipes und Above material not to Pa after 28 days. ct to min. 98% MOD. ron USB DPC undern "Brickgrip" DPC under thickness of 10mm. rovide brickforce in each co brickforce in each co ark all sliding doors vi LEVEL AND LARGEF his license to us ect described in the title n and/or entity referred his license confers no to at all times, remain the p his drawing in a ciner ble for civil law copyrigh nquiries concerning this f: All Contractors shall e of South Africa.	INFORCE building jineer. JSTRADI Steps ar eight 100 ct a chang nent of bu ter which DOES N DOES N NAND T PES TO I Illy possib NBR e. Sufficie der floors o be used . AASHT meath all lerneath all lerneath all lerneath all e alternat ourse eve <i>i</i> ssible. S/ R THAN drawing. T se, display e block of t to above ownership
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buildings not to change direction and must be encased in 100mm concrete. STE PREPARATION: Remove top-soil and organic material within interior footprint of building and paving. A backfill. Keep site dry. Stockpile top-soil and re-use where possible. FOUNDATION: SANS 10400 Part H: All foundations concrete strip foundations unless specified. Concrete minimum 15MPa FILLING: SANS 10400 Part J (JJ2.3): Backfill to be compacted in layers not more than 150mm layers to minimum. Compact otherwise as specified by Engineer. SURFACE BEDS: Minimum 100mm thick 15MPa on DPC. Expansion joints to be provided 20m <sup>2</sup> max. WATERPROOFING: SANS 10400 Part J (JJ3) and Sec. K(KK15): Provide 250 micro beds and 375 micron Black DPC in walls with min. 100mm overlap at joints. Provide " window sills. All joints according to specifications. BRICKWORK: SANS 10400 Part K: Brickwork in stretching bond with minimum joint minimum 10mm thick. Brick as indicated. Stock bricks to be kept clean of mortar. Pro foundation walls, (5 layers minimum), each layer above windows and doors and at a c of 75mm brickforce and butterfly tie-wires for all other 280mm brickwork. Use 75mm b layers for 110mm and 220mm brick walls. PLASTER WORK: One layer plaster minimum 12mm thick. ROOF: Construction & Material to comply with SANS 10400 Part L and SANS 1900:2009 GLAZING: SANS 10400 Part N, SABS 0137-200, SABS 1263: Clear Glass unless specified. Mar GLASS IN ALL DOORS AND WINDOWS LOWER THAN 300mm FROM GROUND LID SKIRTING AND CORNICING: SKIRTING AND CORNICING: SYNCTING AND CORNICING: SYNCTIGHT NOTICE: Copyright © 2018 HG Architectural Design & Draughting PTY Ltd. Cop person or entity, whose name appears in the title block of this drawing, is hereby granted a non- print and / or reproduce this drawing to the extent necessary to carry out and complete the proje drawing. This license in respect of the copyright insting as aforesial and the person be entitled to grant sub-licenses in respect of the copyright subsisting therein will, at A	Above material not to Pa after 28 days. Ct to min. 98% MOD. ron USB DPC undern "Brickgrip" DPC under t thickness of 10mm. rovide brickforce in each course intervals: use brickforce in each co ark all sliding doors vi LEVEL AND LARGEF	o be use . AASHT meath all derneath a. Interior e alterna ourse ev <i>i</i> sible. S R THAN drawing. se, displa e block of t o above ownershi
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the copyright vesting in the drawing and this drawing and the copyright subsisting therein will, at Architectural Design & Draughting PTY Ltd. Any unauthorized reproduction, publication, transmission, adaptation and/or inclusion of thi television broadcast is an act of copyright infringement which will render the doer of the act liabl may in certain circumstances render the doer liable to criminal prosecution. Requests and en rights subsisting therein should be addressed to the copyright owner. ACTS OF PARLIAMENT: any work is put in hand, they comply with all the necessary Acts of Parliament of the Republic of 1 2 3 4 5	at all times, remain the p his drawing in a ciner ble for civil law copyrigh inquiries concerning this T: All Contractors shall e of South Africa.	
Any unauthorized reproduction, publication, transmission, adaptation and/or inclusion of this television broadcast is an act of copyright infringement which will render the doer of the act liable may in certain circumstances render the doer liable to criminal prosecution. Requests and enrights subsisting therein should be addressed to the copyright owner. ACTS OF PARLIAMENT: any work is put in hand, they comply with all the necessary Acts of Parliament of the Republic of the Republic of the term of term of the term of term of the term of term	ble for civil law copyrigh nquiries concerning this ": All Contractors shall e of South Africa.	
rights subsisting therein should be addressed to the copyright owner. ACTS OF PARLIAMENT: any work is put in hand, they comply with all the necessary Acts of Parliament of the Republic of 5cm on original A1 drawing 0 1 2 3 4 5	: All Contractors shall e of South Africa.	• •
5cm on original A1 drawing 0 1 2 3 4 5	_	
0 1 2 3 4 5		
AREAS: TOWN PLANING SCHE NAME LEVEL AREA STAND: TOWNSHIP: Existing main house ground floor Ground floor 150.71m		
Existing main house basement Basement 71.34m SITE AREA: Existing outbuilding Ground floor 25.44m ZONING:	EDULE: STAND 871 SEDGEFIELD	
New additions outbuilding         Ground floor         16.39 m           Existing carport         Ground floor         49.07m         HEIGHT: FIRST FLOOR REST:	STAND 871	
101AL 379.7911	STAND 871 SEDGEFIELD ???? m H4 dwelling 2 STOREYS 2	2 STORE N/A
FAR:	STAND 871 SEDGEFIELD ???? m H4 dwelling 2 STOREYS N/A N 50% 2	
	STAND 871 SEDGEFIELD ???? m H4 dwelling 2 STOREYS N/A N 50% 2	N/A 28.77%
DRAWN BY     Franco Henegan       REVISION     DATE     REVISION DETAILS	STAND 871 SEDGEFIELD ???? m H4 dwelling 2 STOREYS N/A N 50% 2	N/A 28.77%
DRAWN BY Franco Henegan	STAND 871 SEDGEFIELD ???? m H4 dwelling 2 STOREYS N/A N 50% 2	N/A 28.77%
DRAWN BY     Franco Henegan       REVISION     DATE     REVISION DETAILS       0     2019/02/22     Issued for approval	STAND 871 SEDGEFIELD ???? m H4 dwelling 2 STOREYS N/A N 50% 2	N/A 28.77%
DRAWN BY     Franco Henegan       REVISION     DATE     REVISION DETAILS	STAND 871 SEDGEFIELD ???? m H4 dwelling 2 STOREYS N/A N 50% 2	N/A 28.77% N/A
DRAWN BY       Franco Henegan         REVISION       DATE       REVISION DETAILS         0       2019/02/22       Issued for approval         PROJECT:       As build plans, Erf 871 Sedgefield for Mr de Groot         DRAWING TITLE:       MEP	STAND 871 SEDGEFIELD ???? m H4 dwelling 2 STOREYS 2 N/A N 50% 22 N/A N	N/A 28.77% N/A
DRAWN BY       Franco Henegan         REVISION       DATE       REVISION DETAILS         0       2019/02/22       Issued for approval         PROJECT:       As build plans, Erf 871 Sedgefield for Mr de Groot         DRAWING TITLE:       MEP         DRAWING:       SED871 De Groot rev 0	STAND 871 SEDGEFIELD ???? m H4 dwelling 2 STOREYS N/A N 50% 2	N/A 28.77% N/A

1:50

Label on plan	W01	W02	W03	W04	W05	W06	W07	
Quantity	1	1	1	1	1	1	1	
W x H Size	1 709×1 088	1 709×1 088	762×1 137	1 800×1 500	1 800×1 500	1 800×1 500	1 255×1 13	1
View from Reveal Side								
Lintel height (m) abo	2,10	2,10	2,10	2,13	2,13	2,13	2,13	
Glass specification								
Frame	Natural timber	Natural timber	Net wel timb ou	Natural timber	Natural timber	Natural timber	Natural timb	
Finish	Natural timber	Natural timber	Natural timber	Natural timber	Natural timber	Natural timber	Natural timb	er
Home Story Name	Out building ground floor	Out building ground flo		Out building ground floor	Out building ground floc			nd fl
From Zone	Bedroom	Bedroom	Bath room	Store Room	Store Room	Store Room	Lounge	
						Window Schedule		
Label on plan	W17	W18	W19	W20	W21	W22	W23	
Quantity	1	1	1	1	1	1	1	
W x H Size	1 260×1 131	1 260×1 131	1 260×1 131	1 260×1 131	1 260×1 131	1 260×1 131	1 545×900	
View from Reveal Side								
Lintel height (m) abo	2,13	2,13	2,13	2,13	2,13	2,13	2,13	
Glass specification								
Frame	Natural timber	Natural timber	Natural timber	Natural timber	Natural timber	Natural timber	Natural timber	
Finish	Natural timber	Natural timber	Natural timber	Natural timber	Natural timber	Natural timber	Natural timber	
Home Story Name	Main house basement floor			Main house basement floor			Main house ground floor	N
From Zone	Bedroom 4	Bedroom 4	Bedroom 4	Bedroom 4	Bedroom 3	Bedroom 3	Kitchen	



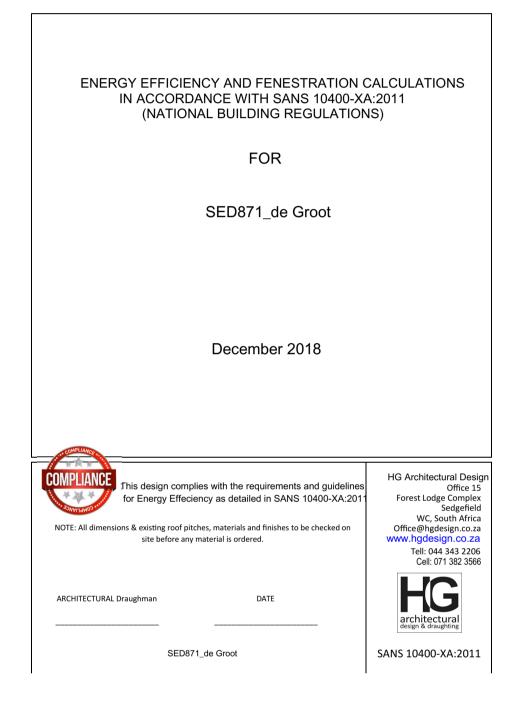


## Window Schedule HGD

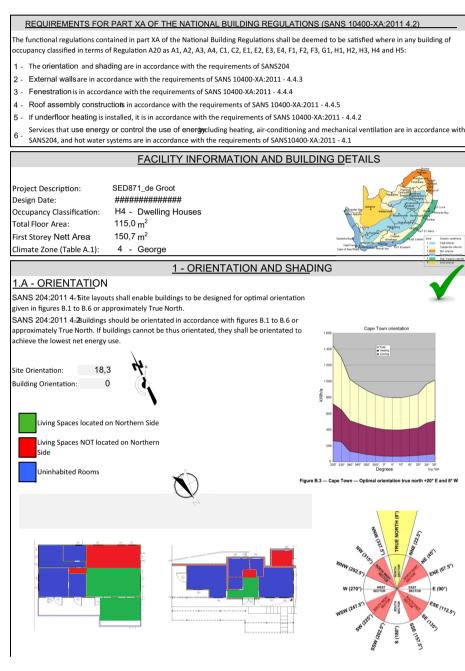
Door Li	st								
D08	D09	D10	D11	D12	D13	D14	D15	D16	D17
1	1	1	1	1	1	1	1	1	1
300×2 125	1 300×2 125	1 150×2 125	1 300×2 125	1 300×2 125	1 300×2 125	1 300×2 125	1 300×2 125	1 300×2 125	890×2 125
		n/a							n/a
atural timber	Natural timber	Natural timber	Natural timber	Natural timber	Natural timber	Natural timber	Natural timber	Natural timber	Natural timber
atural timber	Natural timber	Natural timber	Natural timber	Natural timber	Natural timber	Natural timber	Natural timber	Natural timber	Natural timber
ouse ground floor	Main house ground floor	Main house basement floor							
Dining room	Bath room	Bath room	Master bedroom	Master bedroom	Lounge	Lounge	Lounge	Lounge	Walkway

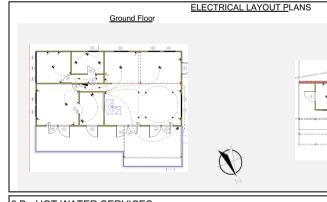
A					ANS 10400. No	measuremei			
All w dime ARC	ensions to be CHITECT / DE	y with Natio verified on ESIGNER IN	site. ANY DIS /IMEDIATELY.	Read drawir	S MUST BE BR	OUGHT TO	THE ATTE neer's deta	ENTION OF T il. ALL REINF	ORCED
CON is re	NCRETE WO	RK TO BE or ensuring	ACCORDING	TO STRUCT oject is SAN	ŬRAL ENGINEI S compliant an RADE IS A SAF	ER'S DESIG Id signed of	N AND DE <b>f by a qua</b>	TAIL. The bu dified Engine	uilding owr er.
SYS risers Open	STEM IS INST rs as shown. ening betweer	<b>FALLED CC</b> Risers as in a rails and /	ORRECTLY: S. dicated on dra or droppers no	ANS 10400 F wing and run ot to exceed ?	Part B, Part D a as indicated or 100mm. Any bal	nd Part M, S drawing, mi	SANS 1016 inimum bal	60-2:2011. Ste lustrade heigh	eps and nt 1000mm.
FIRE The	E PROTECTI	ON: SANS		d to have bee	n satisfied if the	e design, con	struction a	ınd equipmen	t of building
sto	ORM WATER	: SANS 104	Part T and satis 00 Part R: rovide suitable		l authority. ne control and d	isposal of ac	cumulated	l stormwater v	which may
run o DAN	off from any e MAGE EXIST	earthworks, ING BUILDI	building or pav	/ing. CONTR R NEIGHBOI	ACTOR MUST JRING PROPE	ENSURE TH	IAT STOR	M WATER DO	DES NOT
Prov	<b>NWATER DIS</b> vide 1m pavir TALLED WHI	ig around bi	uilding with fall FICAL. We hig	away from s hly recomme	tructure where p nd installing as	practical. GU many rainwa	TTERS & ater tanks a	DOWN PIPEs	S TO BE possible.
requ	uirementsie	's at all ben	ds, connection	s and change	n antisuction trap es of gradient w anitary pipes to	ith marked co	overs on g	round level. S	Sufficient
build SITE	dings not to c E PREPARA <sup>-</sup>	hange direc <b>FION:</b>	tion and must	be encased i	n 100mm concr	ete.	-		
back		e dry. Štock	oile top-soil an		print of building re possible.	and paving.	Above ma	iterial not to b	e used as
FILL	LING: SANS	10400 Part	<b>J (JJ2.3)</b> :		ed. Concrete mi n layers to minin				ASHTO or
other SUR	erwise as spe RFACE BEDS	cified by En S:	gineer.					90 % WOD. A	431100
WAT	TERPROOFI	NG: SANS	10400 Part J(、	JJ3) and Sec	s to be provided <b>. K(KK15):</b> Pro nm overlap at jo	vide 250 mic			
wind BRIC	dow sills. All je CKWORK: S	oints accord	ling to specific	ations. work in stretc	hing bond with I	minimum joir	nt thicknes	s of 10mm. In	iterior walls
found of 75	ndation walls,	(5 layers m	inimum), each erfly tie-wires fe	layer above	to be kept clean windows and do 30mm brickwork	ors and at 4	course int	ervals: use al	Iternate laye
PLA	ASTER WORI	К:							
	struction & M	laterial to co	omply with SAN	NS 10400 Pa	rt L and SANS 1	900:2009			
SAN					ar Glass unless N 300mm FROM				
Skirt	-	ng where re	<b>3:</b> quired as spec	cified.					
With	YSERS: SAB n drip-tray. ACE HEATING		EYS:						
Το α	comply with S	ANS 10400	: Part V.	Architectural	esign & Draughting		Dvright or t	siste in this days	wing The
perso print	son or entity, wl t and / or repro	hose name a duce this drav	opears in the title wing to the exter	e block of this on this on the second s	drawing, is hereby carry out and cor	granted a nor	n-exclusive	license to use, ed in the title bl	display, and ock of this
be er	entitled to grant	sub-licenses	in respect of the	e copyright in t	nited as aforesaid his drawing to any opyright subsistin	other entity.	This license	confers no owr	nership rights
Any		reproduction	, publication, tr		daptation and/or vill render the doe			•	•
may rights	<ul> <li>in certain circ</li> <li>ts subsisting th</li> </ul>	umstances re erein should	ender the doer l be addressed to	liable to crimin the copyright	al prosecution. R owner. ACTS OF is of Parliament of	equests and e	enquiries co T: All Contra	oncerning this d actors shall ens	Irawing and
any	work is put in r			necessary Ac	s of r amariterit of		or ooutin Air	ilica.	
				5cm on	original A1 dra	wing			
STA	AMPS / SIG	NATURE	0	5cm on	original A1 drav 2 3	wing 4 5	5		
STA	AMPS / SIC	INATURE	0				5		
STA	AMPS / SIG	BNATURE	0				5		
STA	AMPS / SIG	BNATURE	0				5		
STA	AMPS / SIC	BNATURE	0				5		
STA	AMPS / SIC	BNATURE	0				5		
STA	AMPS / SIC	BNATURE	0				5		
STA	AMPS / SIG	BNATURE	0				5		
	AMPS / SIG	BNATURE	0		2 3	4 5	EDULE:		
ARI	EAS: /E	groundfloor	0 S: LEVEL Ground floor	1 1 	2 3 2 3 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	4 5		EFIELD	
ARI NAM Existir Existir Existir	EAS: IE ng main house t ng main house t ng main house t ng main house t	proundfloor pasement J/Deck	0 S: LEVEL Ground floor Basement Basement Ground floor	AREA 150.71m 71.344m 25.44m	2 3 2 3 7	4 5		EFIELD	
ARI NAM Existir Existir Existir New a	EAS: ME Ing main house b Ing main house b Ing main house b Ing main house b Ing outbuilding additions outbuil Ing carport	proundfloor pasement J/Deck	0 S: UEVEL Ground floor Basement	AREA 150.71m 71.34m 66.84m	2 3 2 3 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	4 5	EDULE: STANE SEDGE ???? r H4 dw 2 STORE N/A 50%	EFIELD m elling EYS 2 S N/A 28.7	77%
ARI NAM Existir Existir Existir New a Existir	EAS: ME Ing main house b Ing main house b Ing main house b Ing main house b Ing outbuilding additions outbuil Ing carport	proundfloor pasement J/Deck	0 S: S: S: S: S: S: S: S: S: S: S: S: S:	AREA 150.71m 71.34m 66.84m 25.44m 16.39 m 49.07m	2 3 2 3 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	4 5	EDULE: STANE SEDGE ???? r H4 dw 2 STORE N/A	EFIELD m elling EYS 2 S N/A	77%
ARI NAM Existir Existir Existir New a Existir TOTA	EAS: IE Ing main house b Ing main house b Ing main house b Ing outbuilding additions outbuil additions outbuilding additions outb	proundfloor pasement J/Deck	C S:	AREA 150.71m 71.34m 66.84m 25.44m 16.39 m 49.07m 379.79m	2 3 2 3 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	4 5	EDULE: STANE SEDGE ???? r H4 dw 2 STORE N/A 50%	EFIELD m elling EYS 2 S N/A 28.7	77%
ARI NAM Existir Existir New a Existir TOTA	EAS: ME ng main house g ng main house	groundfloor pasement J/Deck ding	S: LEVEL Ground floor Basement Basement Ground floor Ground floor	1           1	2 3 2 3 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	4 5	EDULE: STANE SEDGE ???? r H4 dw 2 STORE N/A 50%	EFIELD m elling EYS 2 S N/A 28.7	77%
ARI NAM Existir Existir Existir New a Existir TOTA DRA REV 0	EAS: IEAS: IE ng main house b ng main house b ng outbuilding additions outbuil ng carport AL ISION D 24	groundfloor pasement J/Deck ding ranco Hene ATE	S: S: LEVEL Ground floor Basement Basement Basement Ground floor Ground floor Ground floor Ground floor Ground floor	1           1	2 3 2 3 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	4 5	EDULE: STANE SEDGE ???? r H4 dw 2 STORE N/A 50%	EFIELD m elling EYS 2 S N/A 28.7	77%
ARI NAM Existir Existir Existir TOTA DRA REV 0	EAS: ME ng main house g ng main house	groundfloor pasement J/Deck ding ranco Hene ATE D19/02/22	S: LEVEL Ground floor Basement Basement Basement Ground floor Ground floor Gro	1           1	2 3 2 3 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7	4 5	EDULE: STANE SEDGE ???? r H4 dw 2 STORE N/A 50%	EFIELD m elling EYS 2 S N/A 28.7	SHEET
ARI NAM Existir Existir Existir New a Existir TOTA DRA DRA DRA	EAS: IEAS: IE Ing main house of Ing main house of Ing main house of Ing outbuilding additions outbuil Ing carport AL ISION D 20 DJECT: As WING TITLI So	groundfloor pasement J/Deck ding ranco Hene ATE D19/02/22	S: LEVEL Ground floor Basement Basement Basement Ground floor Ground floor Gro	1           1	2 3 2 3 2 3 3 4 for Mr de G	4 5	EDULE: STANE SEDGE ???? r H4 dw 2 STORE N/A 50% N/A	EFIELD m elling EYS 2 S N/A 28.7	SHEET (7) 0
ARI NAM Existir Existir Existir TOTA DRA REV 0 DRA	EAS: IE ng main house g ng outbuilding additions outbuil ng carport AL VIN BY F /ISION D 24 DJECT: As WING TITLI Sc WING:	groundfloor pasement J/Deck ding ranco Hene ATE D19/02/22	S: LEVEL Ground floor Basement Basement Ground floor Ground floor	AREA 150.71m 71.34m 66.84m 25.44m 16.39 m 25.44m 16.39 m 379.79m DETAILS oproval Sedgefield r calculati	2 3 2 3 2 3 3 4 for Mr de G	4 5 NING SCH	EDULE: STANE SEDGE ???? r H4 dw 2 STORE N/A 50% N/A	EFIELD m elling EYS 2 S N/A 28.7 N/A	SHEET (7) 0
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ARI NAM Existir Existir Existir New a Existir TOTA DRA DRA 0 DRA	EAS: IE ng main house g ng outbuilding additions outbuil ng carport AL VIN BY F /ISION D 24 DJECT: As WING TITLI Sc WING:	groundfloor pasement J/Deck ding ranco Hene ATE D19/02/22	S: LEVEL Ground floor Basement Ground floor Ground fl	1           1	2 3 2 3 2 3 3 5 5 5 5 5 5 5 5 5 5 5 5 5	4 5 A 5 NING SCH REST: REST: A A A A A A A A A A A A A	EDULE: STANE SEDGE ???? r H4 dw 2 STORE N/A 50% N/A	EFIELD m elling EYS 2 S N/A 28.7 N/A PAPER SIZE A1 ign & Dra	SHEET (7) o E REVISI 0 aughtin 398 (SAIA <sup>-</sup>

							GLA	ZING CALCULATI	ONS FOR NATURAL-VENTILATED	BUILDING	S								
rojec	t Name:		SED871_de Gr	oot						]			FENE	STRATION	CALCUL	ATION RE	SULTS		
own:			George			Climatic Zone:	4	Temperate Coastal		·				Max Conduc	tance:	210,99			
Dccup	ancy Classi	fication:	H4			Description:	Dwelling Houses				CON	DUCTA	NCE	Achieved Co	nductance	: 65.19			
Store	y (Floor N	umber).	1 - Ground F	loor		Conductance C <sub>u</sub> :	1,4	(Table 5)						Result: Conductance Acc			nce Accenta	able	
	loor Area (i		150,71			SHGC C <sub>SHGC</sub> :	0,13	(Table 5)		·					aat Gain:	19.59		1010	
		,	27,050			SHOC C <sub>SHGC</sub> .	0,13	(Table 5)	architectural		SOLAR HEAT GAIN			·······					
	ow Area (m		,	m					design & draughting		SOLA	N HEAT		Achieved SH	6:	7,02			
6 Win	ndow Area t	to Nett Floor Area:	17,9%							ļ				Result:		Solar Hea	at Gain Acceptable		
		v	Vindows / Doo	rs					Glazing Element				Shad	ing and Sol	ar Exposu	re	Res	sult	
ID	Code	Location	Orientation	Width Height Area Frame						U-Value	SHGC	P (mm)	H (mm)	G <sub>P/H</sub> E			Conductance SHG		
			•		<u> </u>	27,050 m <sup>2</sup>		+ · · ·		ı							65,19	7,0	
1	W07	Lounge	West	1255	1131	1,419 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	600	2635	<b>V</b> 340	0,23	1,08	3,42	0,7	
2	W08	Lounge	West	1255	1131	1,419 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	600	2635	<b>V</b> 340	0,23	1,08	3,42	0,3	
3	W09	Dining room	South	1255	1131	1,419 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	600	2635	<b>V</b> 340	0,23	0,43	3,42	0,3	
4	W10	Dining room	South	1255	1131	1,419 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	600	2635	<b>V</b> 340	0,23	0,43	3,42	0,3	
5	W12	Master bedroom	East	1255	1311	1,645 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	600	2635	<b>V</b> 340	0,23	0,86	3,97	0,	
6	W13	Master bedroom	South	1255	1311	1,645 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	600	2635	<b>V</b> 340	0,23	0,43	3,97	0,	
7	W14	Bedroom 2	East	1070	1131	1,210 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	600	2635	<b>V</b> 340	0,23	0,86	2,92	0,	
8	W15	Bedroom 2	North	1070	1131	1,210 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	600	2635	<b>V</b> 340	0,23	0,50	2,92	0,	
9	W16	Bedroom 2	North	1260	1131	1,425 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	600	2635	<b>V</b> 340	0,23	0,50	3,43	0,	
10	W23	Kitchen	South	1545	900	1,391 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	600	2635	<b>V</b> 340	0,23	0,43	3,35	0,	
11	W24	Bath Room	South	1045	900	0,941 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	600	2635	<b>V</b> 340	0,23	0,43	2,27	0,	
12	D08	Dining room	South	1255	1550	1,945 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	600	2635	<b>V</b> 340	0,23	0,43	4,69	0,	
13	D09	Bath Room	North	1255	1150	1,443 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	600	2635	<b>V</b> 340	0,23	0,50	3,48	0,	
14	D11	Master bedroom	North	1255	1131	1,419 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	600	2635	<b>V</b> 340	0,23	0,50	3,42	0,	
16	D12	Master bedroom	North	1255	1131	1,419 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	600	2635	<b>V</b> 340	0,23	0,50	3,42	0,	
17	D13	Lounge	North	1255	1131	1,419 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	3800	2635	<b>V</b> 340	1,44	0,18	3,42	0,	
18	D14	Lounge	North	1255	1131	1,419 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	3800	2635	<b>V</b> 340	1,44	0,18	3,42	0,	
19	D15	Lounge	North	1255	1131	1,419 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	3800	2635	<b>V</b> 340	1,44	0,18	3,42	0,	
20	D16	Lounge	North	1255	1131	1,419 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	3800	2635	🖌 340	1,44	0,18	3,42	0,3	



and water-			. in-screed, underlaminate he stalled, the heating system sl						
				<u>6 - SER</u>	/ICES				
	IGHTING AND		_						
	ance with SANS 204:2								-
4.5.1.1 - of SANS 4.5.1.3 <i>-</i>	10114-1 and SANS	cupan 5 1040	nd power cyand activity, the minimu )0-O. Compliance with th or)and energyconsumptio	ne relevant n Infor the build	ational leg ingshallb 2 — Maximu	gislation (see e determined Im energy dema	e foreword) is r in accordance and and energy c	necessary with the rec onsumption	for safety. quirements
Occupan	cy Classification:	H4	- Dwelling Houses		f		occupancy or bu		
	,			1 Class of		2	3	4 Energy	5 y Energy
Populatio	on:	4	people/house	occupancy or building	Oco	cupancy	Population	deman W/m²	d consumption kWh/m <sup>2</sup>
		F	W/m <sup>2</sup>	G1 H1	Offices Hotels		1 person/15 m <sup>2</sup> 2 people/bedroom	17	42,5 43,8
Energy D	emand (MAX):	Э	vv/m	H1 H2	Dormitories		1 person/5 m <sup>2</sup>	5	12,5
Energy C	Consumption (MAX)	): 5	kWh/m <sup>2</sup>	H3 H4	Domestic rea		2 people/bedroom 4 people/house	5	5
			Estima	ted Energy	Consum	nption			
		Ele	ctrical Installation to b	e endorsed	l by spec	cialist / Elec			
Ref		Leę	gend / Type / Descript	ion		Energ (Watt)	·	-	TOTAL Energ (Watt)
$\oplus$	Low Voltage Ceilii	ng Far	n Light - 15 Watt			15	2	2	30,0 Watt
$\mathbf{M}$	Low Voltage inter	nal lig	ht fitting (2 x globes) - 2	2 Watt		22	4	Ļ	88,0 Watt
									0,0 Watt
									0,0 Watt
									0,0 Watt
									0,0 Watt
									0,0 Watt
	1								0,0 Watt
	1								0,0 Watt
						<u> </u>			0,0 Watt
			as per SANS 10420:			Total	for Resistance	e	118,0 Watt
		,	$^{2} = 575 W$	120.		I			
= 5	,		Demand as per SANS 104			ŀ	louse Area		115,0 m <sup>2</sup>
= 5 Estima	ate Max. Annual En	0,	<sup>2</sup> = 575 kW/a [a	a = 1 year]					
= 5 Estima = 5 Estima	ate Max. Annual En kW/m <sup>2</sup> .a x 11 ate Annual Energy (	5,0 m Consu				Watt/m (F	Permitted = 5	Watt)m	1,03 W/m <sup>2</sup>





6.B - HOT WATER SERVICES n accordance with SANS 204:2011 Edition 1

Note: Hot Water System to be endorsed by Specialist

SANS 204:2011 - 4.5.2 Hot Water Supply 4.5.2.1 - A minimum of 50 % by volume of the annual average hot water heating requirements hall be provided by means other than electrical resistance heating, including, but not limited to, solar heating, heat pumps, heat recovery from other systems or processes

HOT WATER SUPPLY (as per SANS 10400-XA:2011) 1) In order to comply with functional regulation XA2, contained in part XA of the National Building Regulations, the following guidance

(a) the volume of the annual average hot water heating requirements shall be calculated in accordance with Tables 2 and 5 of SANS 10252 (b) if solar water heating systems are used, these shall comply with SANS 1307, SANS 10106, SANS 10254 and SANS 10252-1 and based on the

performance determined in accordance with provisions of SANS 6211-1 and SANS 6211-2. Hot water usage shall be minimized and the syste maintained in accordance with the requirements given in SANS10252-1. 2) Requirements for water installations in buildings shall be in accordance with SANS 10252-1 and SANS 10254. 3) All hot water service pipes shall be cladded with insulation with a minimum R-value as per Table 1. 4) Thermal insulation, if any, shall be installed in accordance with the manufacturer's instructions.

THERMAL INSULATION (as per SANS 10252-1:2012)

1) Pipes, fittings and components shall, when necessary, be protected against freezing. The insulation provided shall be appropriate to t minimum temperatures that can be expected in that geographical area. 2) All exposed pipes to and from the hot water cylinders and central heating systems shall be insulated with pipe insulation material with thermal resistance (R-value) in accordance with Table 10, ie. an R-value of 1.00 for a 15mm diameter pipe. 3) Insulation shall:

(a) be protected against the effects of weather and sunlight,(b) be able to withstand the temperatures within the piping, and (c) achieve the minimum R-value given in Table 10.

conductivity of the material.

4) Hot water vessels and tanks shall be insulated with a material that achieves a minimum R-Value of 2.0. NOTE: To achieve this value, insulation in addition to the manufacturers' installed insulation might be required.

5) Insulation on vessels, tanks and piping containing cooling water shall be protected by a vapour barrier on the outside of the insulation. 6) The piping insulation requirements do not apply to space heating water piping

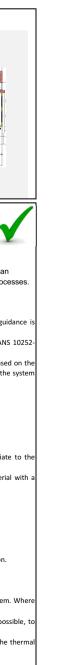
a) located within the space being heated where piping is to provide the heating to that space, or b) encased within a concrete floor slab or in masonry.

7) Piping to be insulated includes all flow and return piping, cold water supply piping within connection to the heating or cooling system. When possible lengths of pipe runs shall be minimized. 8) After thermal insulation material has been installed, the outer surface of any insulation material shall be made as smooth as possible minimize the exposed surface area. The ingress of moisture into such material shall be prevented. NOTE: Roughness increases the effective surface area of insulation material and consequently, heat losses and moisture increase the ther

GLAZING CALCULATIONS FOR NATURAL-VENTILATED BUILDINGS

Proje	ct Name:		SED871_de G	root									FENE	STRATION	CALCUL/	ATION RE	SULTS	
own	:		George			Climatic Zone:	4	Temperate Coastal						Max Conduc	tance:	99,88		
Occup	pancy Class	sification:	H4			Description:	Dwelling Houses				CON	DUCTAN	NCE	Achieved Co	nductance	:: 35,80		
Store	ey (Floor N	Number):	2 - BASEME	NT STO	RY	Conductance C	u: 1,4	(Table 5)						Result:		Conduct	ance Accepta	able
lett F	Floor Area	(m <sup>2</sup> ):	71,34	m <sup>2</sup>		SHGC C <sub>SHGC</sub> :	0,13	(Table 5)		F				Max Solar He	eat Gain:	9,27	· · · ·	
	ow Area (n		14,853			Shace	-,	(	architectural design & draughting		SOLA	R HEAT		Achieved SH		3,14		
		i to Nett Floor Area:	20,8%						design & draughting		OOLA	(IIL/(I			0.		at Gain Acce	ontobl
o vvii	nuow Area	to Nett FIOOF Area:	20,8%							L				Result:			at Gain Acce	piabl
		W	/indows / Doors	6			1		Glazing Element				Shad	ling and Sola	ar Exposu	ure	Res	sult
ID	Code	Location	Orientation		Height (mm)		Frame Material	Glazing Type	Description	U-Value	SHGC	P (mm)	H (mm)	G (mm)	P/H	E Factor	Conductant	ce S
						14,853 m <sup>2</sup>											35,80	3,
1	W17	Bedroom 4	West	1260	1131	1,425 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	0	1306	170	0,00	1,40	3,43	1,
2	W18	Bedroom 4	West	1260	1131	1,425 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	0	1306	170	0,00	1,40	3,43	1,
3	W19	Bedroom 4	North	1260	1131	1,425 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	4600	1306	170	3,52	0,14	3,43	0,
4	W20	Bedroom 4	North	1260	1131	1,425 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	4600	1306	170	3,52	0,14	3,43	0,
5	W21	Bedroom 3	North	1260	1131	1,425 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	3000	1306	170	2,30	0,14	3,43	0,
6	W22	Bedroom 3	North	1260	1131	1,425 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	4000	1306	170	3,06	0,14	3,43	0,
7	W25	Laundry	South	545	600	0,327 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	1550	850	170	1,82	0,17	0,79	0,
8	W26	Bath room	South	545	600	0,327 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	2600	850	170	3,06	0,17	0,79	0,
9	W27	Store	South	1045	1155	1,207 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	2600	1306	170	1,99	0,17	2,91	0,
10	W28	Bath room	South	1045	1155	1,207 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	2600	1306	170	1,99	0,17	2,91	0
11	D23	Bedroom 3	East	1260	1131	1,425 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	1800	1306	170	1,38	0,32	3,43	0
12	D24	Foyer	North	1600	1131	1,810 m <sup>2</sup>	Timber	Single – Clear		2,41	0,77	4600	1306	170	3,52	0,14	4,36	0

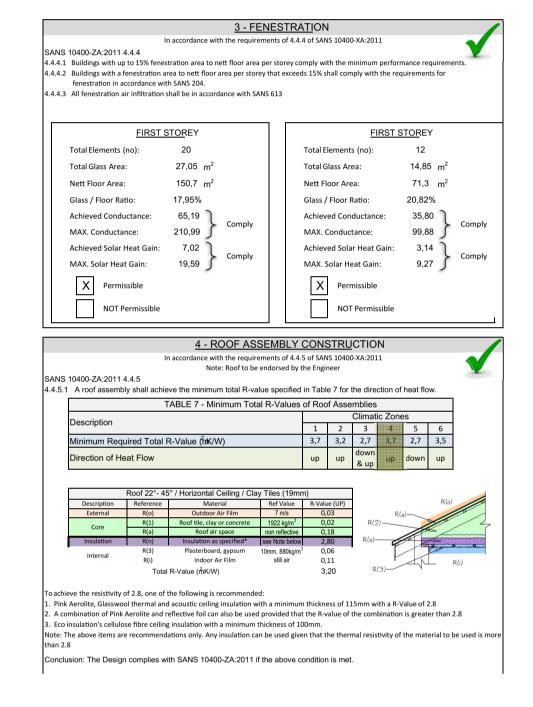


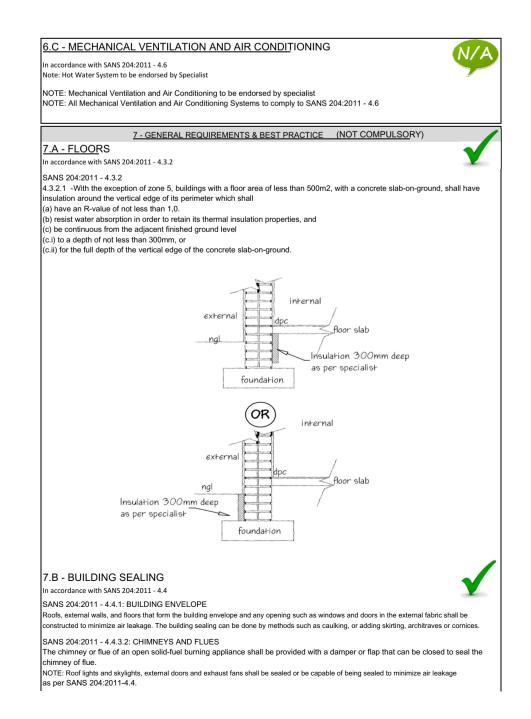


a) have perman (1) extends hi (2) provides t b) have an exte blades, batte (1) is capable (2) if adjustat occupants lote: Windows	ent feature suc prizontally on be the equivalent sl rnal shading de ns or slats, whic of restricting at le, is readily op on East and We	hading is used, the building shall: h as a veranda, balcony, fixed canopy, e oth sides of the glazing for the same pro- hading with a reveal or other shading el vice, such as a shutter, blind, vertical or ch: elast 80% of summer solar radiation, and erated either manually, mechanically or st Facade to be shaded according to SAI nestration schedule, plans, sections and	ojection distance P ement. horizontal building nd • electronically by th NS 204:2011 - 4.3.5	screen with ne building	Holisonial Dath of iso
		<u>2 - EXTE</u>	<u>ERNAL WA</u> LL	.S	
		In accordance with the requirem			$\sim$
		Note: Walls to be en	idorsed by the Engi	neer	-
Occupancy Cla	ssification:	H4 - Dwelling Houses			
limate Zone (		4 - George			
limate zone (	Table A.1):	4 - George			
Vall Type Use	ł:	Double-skin masonry with no car	vity, plastered in	ternally and exter	nally
_	R(I) R(o)	R(a) - C R(3) - B R(4) - P	rick (single skin) avity rick (single skin) laster Iside Air Space		
	Reference	Material	R-Value (m <sup>2</sup> .K/W)	Thickness (m)	Thickness / R-Value
External	R(o)	Outside Air Space	0,05	n/a	0,05
External	R(1)	Plaster	0,5	0,015	0,03
	R(2)	Brick (single skin)	0,62	0,105	0,17
Core	R(a)	Cavity	0,1	0,06	0,60
	R(3)	Brick (single skin)	0,62	0,105	0,17
Internal	R(4)	Plaster	0,5	0,015	0,03
	R(i)	Inside Air Space	0,16	n/a	0,16
ANS 10400-XA:	2011 - 4.4.3.2:		ΤΟΤΑ	L R-Value (mK/W)	1,21

e requirements refer to the external walls of the habitable portions of the building fabric only.





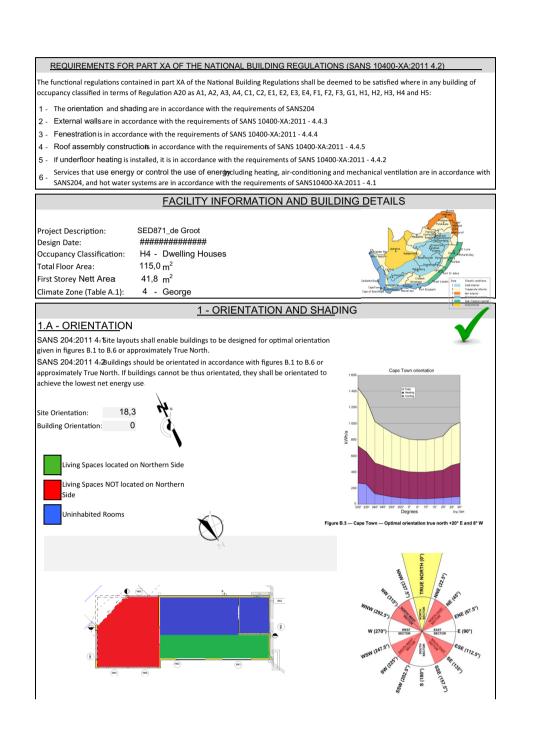


dimensions to ARCHITECT / CONCRETE V	DESIGNER IN NORK TO BE	site. ANY ĎISC MMEDIATELY. F ACCORDING T	Read drawin	ngs in conjunction with E URAL ENGINEER'S DE	Engineer's deta ESIGN AND DE	ENTION OF il. All Rein Tail. <b>The I</b>	THE IFORCED Duilding owne
STAIRS AND SYSTEM IS IN	RAILING: A N NSTALLED CC vn. Risers as in	ON COMPLIAN DRRECTLY: SA	IT BALUSTI INS 10400 P ving and run	S compliant and signe RADE IS A SAFETY RI Part B, Part D and Part as indicated on drawin 000mm Any balustrade	SK. ENSURE M, SANS 101 g, minimum ba	THE BALUS 60-2:2011. S lustrade hei	STRADE Steps and ght 1000mm.
Opening betwo level shall con	een rails and / nply with the re	or droppers not equirements of S	to exceed 1	100mm. Any balustrade			
The requireme				n satisfied if the design I authority.	, construction a	nd equipme	ent of buildings
The owner of a run off from ar DAMAGE EXI	ny earthworks, STING BUILD	provide suitable i building or pavi	ng. CONTR/ NEIGHBOL	ne control and disposal ACTOR MUST ENSUR JRING PROPERTIES [	E THAT STOR	M WATER [	DOES NOT
RAINWATER Provide 1m pa INSTALLED V	aving around b	uilding with fall a TICAL. We high	away from st ly recomme	tructure where practical nd installing as many ra	. GUTTERS & inwater tanks a	DOWN PIP as practically	ES TO BE y possible.
requirements. access panels	ie's at all ben to be installed	ds, connections in all shafts over	and change er ie'sall s	n antisuction traps and/o es of gradient with mark anitary pipes to be acco n 100mm concrete.	ed covers on g	round level.	Sufficient
SITE PREPAR Remove top-s	RATION: oil and organic		interior foot	print of building and pav	ving. Above ma	terial not to	be used as
All foundations		o foundations un	iless specifi¢	ed. Concrete minimum	15MPa after 28	8 days.	
Backfill to be o otherwise as s	specified by En	ayers not more t	han 150mm	n layers to minimum. Co	ompact to min. §	98% MOD. /	AASHTO or
WATERPROC	mm thick 15MF DFING: SANS micron Black [	<b>10400 Part J(J.</b> DPC in walls wit	<b>J3) and Sec</b> h min. 100m	s to be provided 20m² n <b>. K(KK15):</b> Provide 250 nm overlap at joints. Pro	) micron USB [	)PC undern " DPC unde	eath all surface meath all
window sills. A BRICKWORK minimum 110r foundation wa of 75mm brick	All joints accord <b>SANS 10400</b> mm thick. Brick Ills, (5 layers m force and butte	ding to specificat <b>) Part K:</b> Brickw ( as indicated. S inimum), each la erfly tie-wires for	tions. ork in stretcl tock bricks t ayer above v	hing bond with minimur to be kept clean of mort windows and doors and 30mm brickwork. Use 75	n joint thicknes ar. Provide brid l at 4 course int	s of 10mm. kforce in ea ervals: use	Interior walls ach layer for alternate layer
PLASTER WO	mm and 220mr <b>DRK:</b> ster minimum 1						
ROOF: Construction &	& Material to co	omply with SAN	S 10400 Par	rt L and SANS 1900:200	09		
				ar Glass unless specifie N 300mm FROM GROU			
SKIRTING AN							
GEYSERS: SA With drip-tray.							
	<b>ING &amp; CHIMN</b> n SANS 10400						
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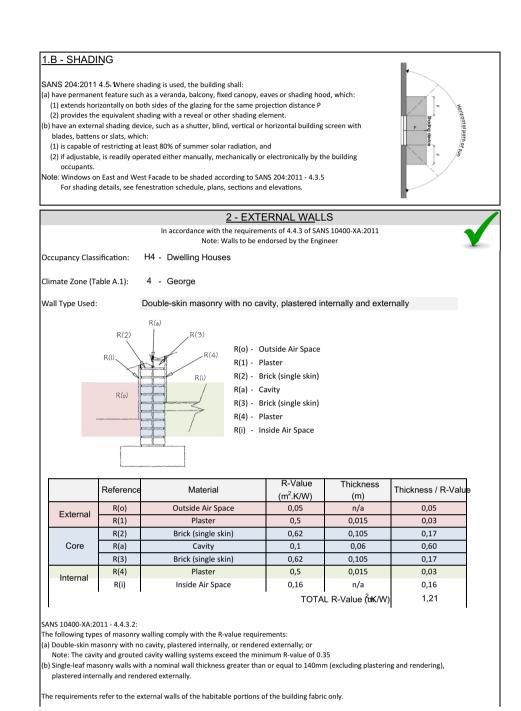
					GLA		FIONS FOR NATURAL-VENTILATED	BUILDING	5						
Project Name:	SED871_de Gro	oot									FENESTRATIO	N CALCUL	ATION RE	SULTS	
Town:	George			Climatic Zone:	4	Temperate Coastal					Max Cond	uctance:	58,56		
Occupancy Classification:	H4			Description:	Dwelling Houses				CON	DUCTANC	E Achieved	Conductance	: 11,05		
Storey (Floor Number):	1 - Ground Flo	oor		Conductance C <sub>u</sub> :	1,4	(Table 5)					Result:		Conducta	ince Accepta	able
Nett Floor Area (m <sup>2</sup> ):	41,83	m²	1	SHGC C <sub>SHGC</sub> :	0,13	(Table 5)	architectural				Max Solar	Heat Gain:	5,44		
Vindow Area (m²):	4,585 1	m²					design & draughting		SOLA	R HEAT G	AIN Achieved	SHG:	1,43		
% Window Area to Nett Floor Area:	11,0%										Result:		Solar Hea	at Gain Acce	eptable
	Windows / Doors	s					Glazing Element				Shading and S	olar Exposu	ure	Res	sult
ID Code Location	Orientation		Height (mm)	Area (m²)	Frame Material	Glazing Type	Description	U-Value	SHGC	P (mm) (	H G (mm) (mm)	P/H	E Factor	Conductanc	e S⊦
				4,585 m <sup>2</sup>										11,05	1,4
1 W01 Bedroom	North	1709	1088	1,859 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	550	2353 ✔ 170	0,23	0,50	4,48	0,4
2 W02 Bedroom	North	1709	1088	1,859 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51		2353 🖌 170	0,23	0,50	4,48	0,4
3 W03 Bathroom	West	762	1137	0,866 m <sup>2</sup>	Timber	Tinted double Low E		2,41	0,51	550	2353 √ 170	0,23	1,08	2,09	0,4

	IN ACCORD	NCY AND FENESTRATION ( ANCE WITH SANS 10400-X/ AL BUILDING REGULATION	A:2011
		FOR	
		SED871_de Groot	
		December 2018	
CO		ies with the requirements and guidelines ency as detailed in SANS 10400-XA:2011	HG Architectural Design Office 15 Forest Lodge Complex Sedgefield
N		hes, materials and finishes to be checked on material is ordered.	WC, South Africa Office@hgdesign.co.za www.hgdesign.co.za Tell: 044 343 2206 Cell: 071 382 3566
A 	RCHITECTURAL Draughman	DATE	HG architectural design & draughting
	SED87	1_de Groot	SANS 10400-XA:2011

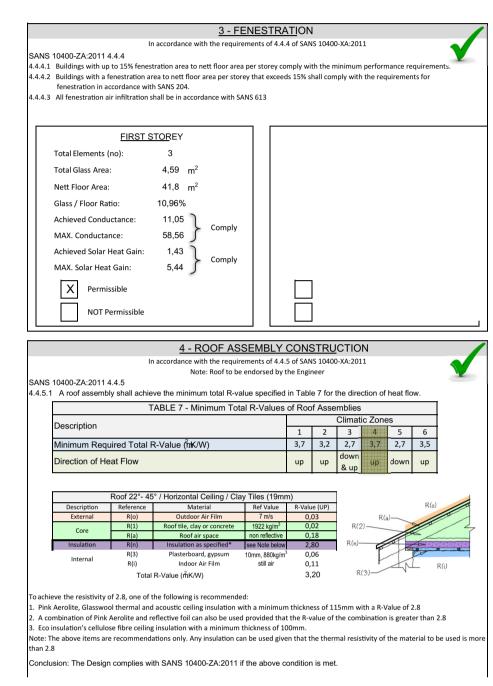
ind wate		system (e.g. in-screed, unde neating) is installed, the heat						
			<u>6 - SER</u>	<u>VIC</u> ES				
	GHTING AND							
	nce with SANS 204:20							-
.5.1.1 - of SANS	10114-1 and SANS Theenergydemand(	upancyand activity, the minim 10400-O. Compliance with power)and energyconsumpti	the relevant n onfor the build	ational legislation (s ingshallbedetermin 2 — Maximum energy de	ee fore edin ac mand a	eword) is nec ccordancewith	essary fo the requi	r safety. rements
Occupano	cy Classification:	H4 - Dwelling Houses	1	2		3	4	5
opulatio	n:	4 people/house	Class of occupancy or building	Occupancy		Population	Energy demand W/m <sup>2</sup>	Energy consumption kWh/m <sup>2</sup>
		<b>E</b> 10//2	G1	Offices		son/15 m²	17	42,5
nergy D	emand (MAX):	5 W/m <sup>2</sup>	H1 H2	Hotels Dormitories		pple/bedroom son/5 m²	10 5	43,8 12,5
inergy Co	onsumption (MAX):	5 kWh/m <sup>2</sup>	H3 H4	Domestic residences Dwelling houses		ople/bedroom ople/house	5	5
		Estim	ated Energy	Consumption				
		Electrical Installation to	be endorsed	l by specialist / El	ectrica	al Engineer		
Ref		Legend / Type / Descrip	otion	Ene (Wa	~ ~	Quantit (numbe	-	OTAL Energy (Watt)
$\mathbf{M}$	Low Voltage intern	al light fitting (2 x globes) - :	22 Watt	9		2		18,0 Watt
								0,0 Watt
								0,0 Watt
								0,0 Watt
								0,0 Watt
								0,0 Watt
								0,0 Watt
								0,0 Watt
				1				0,0 Watt
								0,0 Watt
		nand as per SANS 10420: ,0 m <sup>2</sup> = 575 W		То	tal for	Resistance		18,0 Watt
		rgy Demand as per SANS 10 ,0 m <sup>2</sup> = 575 kW/a [		'	Hous	e Area		115,0 m <sup>2</sup>
Estima	te Annual Energy Co				(Perm	nitted = 5 W	′atť)m	0,16W/m <sup>2</sup>
	ks x 7 days x 5 hour = 18 Watt =	rs/day = 1,820 hours/year		Note:Oth	on cor	nditionthatth		s perowner's ageper light

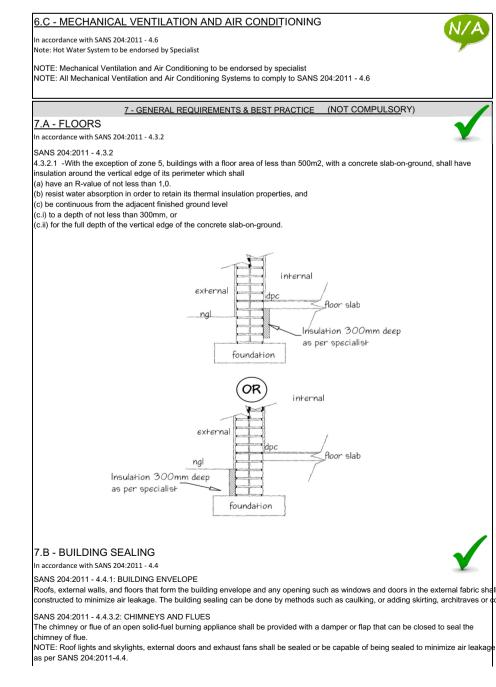


ELECTRICAL LAYOUT PLANS	
Ground Floor	
6.B - HOT WATER SERVICES	
In accordance with SANS 204:2011 Edition 1 Note: Hot Water System to be endorsed by Specialist	$\checkmark$
SANS 204:2011 - 4.5.2 Hot Water Supply 4.5.2.1 - A minimum of 50 % by volume of the annual averagehot water heating requirementshall be provided by meansother the electrical resistance heating, including, but not limited to, solar heating, heat pumps, heat recovery from other systems or pro-	
HOT WATER SUPPLY (as per SANS 10400-XA:2011)	
1) In order to comply with functional regulation XA2, contained in part XA of the National Building Regulations, the following g provided:	-
(a) the volume of the annual average hot water heating requirements shall be calculated in accordance with Tables 2 and 5 of SA 1:2004;	
(b) if solar water heating systems are used, these shall comply with SANS 1307, SANS 10106, SANS 10254 and SANS 10252-1 and ba performance determined in accordance with provisions of SANS 6211-1 and SANS 6211-2. Hot water usage shall be minimized and t maintained in accordance with the requirements given in SANS10252-1.	
<ol> <li>Requirements for water installations in buildings shall be in accordance with SANS 10252-1 and SANS 10254.</li> <li>All hot water service pipes shall be cladded with insulation with a minimum R-value as per Table 1.</li> <li>Thermal insulation, if any, shall be installed in accordance with the manufacturer's instructions.</li> </ol>	
THERMAL INSULATION (as per SANS 10252-1:2012)	
<ol> <li>Pipes, fittings and components shall, when necessary, be protected against freezing. The insulation provided shall be appropri minimum temperatures that can be expected in that geographical area.</li> </ol>	iate to the
2) All exposed pipes to and from the hot water cylinders and central heating systems shall be insulated with pipe insulation mate thermal resistance (R-value) in accordance with Table 10, ie. an R-value of 1.00 for a 15mm diameter pipe.	erial with a
<ol> <li>Insulation shall:</li> <li>(a) be protected against the effects of weather and sunlight,</li> </ol>	
<ul> <li>(b) be able to withstand the temperatures within the piping, and</li> <li>(c) achieve the minimum R-value given in Table 10.</li> </ul>	
4) Hot water vessels and tanks shall be insulated with a material that achieves a minimum R-Value of 2.0. NOTE: To achieve this value, insulation in addition to the manufacturers' installed insulation might be required.	
5) Insulation on vessels, tanks and piping containing cooling water shall be protected by a vapour barrier on the outside of the insulatio	ın.
6) The piping insulation requirements do not apply to space heating water piping a) located within the space being heated where piping is to provide the heating to that space, or	
b) encased within a concrete floor slab or in masonry.	ana Milacora
7) Piping to be insulated includes all flow and return piping, cold water supply piping within connection to the heating or cooling syste possible lengths of pipe runs shall be minimized.	
8) After thermal insulation material has been installed, the outer surface of any insulation material shall be made as smooth as p minimize the exposed surface area. The ingress of moisture into such material shall be prevented.	oossible, to
NOTE: Roughness increases the effective surface area of insulation material and consequently, heat losses and moisture increase th conductivity of the material.	he thermal









N/A

GENERAL NOTES: All work to comply with Natio dimensions to be verified on						
CONCRETE WORK TO BE is responsible for ensuring	⊨site. ANY ĎISCŘ MMEDIATELY. Re ACCORDING TO	EPANCIE	S MUST BE BROUGH <sup>-</sup> ligs in conjunction with E URAL ENGINEER'S DE	T TO THE ATT Engineer's deta ESIGN AND DI	ENTION OF TH ail. ALL REINFO ETAIL. <b>The bu</b> i	HE ORC ildin
STAIRS AND RAILING: A N SYSTEM IS INSTALLED CO risers as shown. Risers as ir Opening between rails and / level shall comply with the re	ORRECTLY: SAN indicated on drawin or droppers not to	IS 10400 F ng and run o exceed 1	Part B, Part D and Part as indicated on drawin 100mm. Any balustrade	g, minimum ba	60-2:2011. Ste alustrade heigh	eps a t 100
FIRE PROTECTION: SANS The requirements of the Act complies with SANS 10400	will be deemed to Part T and satisfie			, construction a	and equipment	ofb
STORM WATER: SANS 104 The owner of any site shall p run off from any earthworks, DAMAGE EXISTING BUILD STORMWATER DRAINAGE	brovide suitable m building or paving NG WORK OR N	g. CONTRA NEIGHBOL	ACTOR MUST ENSUR	E THAT STOP	RM WATER DO	)ES
RAINWATER DISPOSAL: Provide 1m paving around b INSTALLED WHERE PRAC	uilding with fall av TICAL. We highly	vay from st	tructure where practical nd installing as many ra	. GUTTERS & ainwater tanks	DOWN PIPES	S TC
SEWERAGE: All sanitary ap requirementsie's at all ber access panels to be installed buildings not to change dired	ids, connections a d in all shafts over	nd change ie'sall s	es of gradient with mark anitary pipes to be acce	ed covers on g	ground level. Si	uffic
SITE PREPARATION: Remove top-soil and organic backfill. Keep site dry. Stock FOUNDATION: SANS 1040 All foundations concrete strij	pile top-soil and ro <b>0 Part H:</b>	e-use whe	re possible.	U		e us
FILLING: SANS 10400 Part Backfill to be compacted in I otherwise as specified by Er	t <b>J (JJ2.3)</b> : ayers not more th	•				SH
SURFACE BEDS: Minimum 100mm thick 15Ml		nsion joints	s to be provided 20m² n	nax.		
WATERPROOFING: SANS beds and 375 micron Black window sills. All joints accord BRICKWORK: SANS 10400	DPC in walls with ding to specification	, min. 100m ons.	nm òverlaṗ at joints. Pro	ovide "Brickgrip	o" DPC underne	eat
minimum 110mm thick. Brick foundation walls, (5 layers m of 75mm brickforce and butt layers for 110mm and 220m PLASTER WORK:	k as indicated. Sto hinimum), each lay erfly tie-wires for a	ock bricks t yer above v	to be kept clean of mor windows and doors and	tar. Provide bri I at 4 course in	ckforce in each itervals: use alt	n lay ern
One layer plaster minimum <b>ROOF:</b>						
Construction & Material to c GLAZING: SANS 10400 Part N, SABS	0137-200, SABS	1263: Clea	ar Glass unless specifie	d. Mark all slid		
GLASS IN ALL DOORS ANI SKIRTING AND CORNICIN Skirting & cornicing where re	D WINDOWS LOV <b>G:</b>	VER THAN				
Skirting & cornicing where re GEYSERS: SABS 0254 With drip-tray.	sydnicu as specifie	<i></i>				
SPACE HEATING & CHIMN To comply with SANS 10400						
COPYRIGHT NOTICE: Copyrig person or entity, whose name a print and / or reproduce this dra drawing. This license in respect be entitled to grant sub-licenses the copyright vesting in the draw Architectural Design & Draught Any unauthorized reproduction television broadcast is an act o may in certain circumstances	ppears in the title bl wing to the extent n t of the copyright is e s in respect of the co wing and this drawin ing PTY Ltd. n, publication, trans f copyright infringer	lock of this of ecessary to expressly lin opyright in the ag and the co smission, a nent which v	drawing, is hereby granted o carry out and complete the nited as aforesaid and the nis drawing to any other er opyright subsisting therein daptation and/or inclusion vill render the doer of the a	a non-exclusive e project descrit person and/or e ntity. This license will, at all times n of this drawir act liable for civil	license to use, c bed in the title blo ntity referred to a e confers no own , remain the prop ng in a cinemate law copyright int	displ ock o abov ersh oerty ogra fring
rights subsisting therein should any work is put in hand, they co	be addressed to the	e copyright	owner. ACTS OF PARLIA	MENT: All Contr	ractors shall ensu	
			original A1 drawing			
STAMPS / SIGNATURE	0 : <b>S</b> :	1	2 3 4	5		
STAMPS / SIGNATURE		1	2 3 4	5		
AREAS:		1	TOWN PLANING	SCHEDULE	-	
		1 AREA 150.71m 71.34m		SCHEDULE	D 871 EFIELD	
AREAS: NAME Existing main house groundfloor Existing main house basement Existing main house	EVEL Ground floor Basement Basement Ground floor Ground floor	AREA 150.71m 71.34m 66.84m 25.44m 16.39 m	TOWN PLANING S STAND: TOWNSHIP: SITE AREA: ZONING:	SCHEDULE: STAN SEDG ???? H4 dv	D 871 EFIELD m velling	
AREAS: NAME Existing main house groundfloor Existing main house UDeck Existing outbuilding	E S: LEVEL Ground floor Basement Ground floor	AREA 150.71m 71.34m 66.84m 25.44m	TOWN PLANING S STAND: TOWNSHIP: SITE AREA:	SCHEDULE: STAN SEDG ????	D 871 EFIELD m velling	
AREAS: NAME Existing main house groundfloor Existing main house basement Existing main house U\Deck Existing carport	E S: LEVEL Ground floor Basement Ground floor Ground floor Ground floor Ground floor	AREA 150.71m 71.34m 66.84m 25.44m 16.39 m 49.07m 379.79m 379.79m	TOWN PLANING S STAND: TOWNSHIP: SITE AREA: ZONING: HEIGHT: FIRST FLOOR REST: COVERAGE:	SCHEDULE: STANI SEDG ???? H4 dv 2 STOR N/A 50%	EFIELD m velling EYS 2 ST N/A 28.7	
AREAS:         NAME         Existing main house groundfloor         Existing main house basement         Existing main house <tr< td=""><td>ES: EVEL Ground floor Basement Basement Ground floor Ground floor</td><td>AREA 150.71m 71.34m 66.84m 26.39 m 49.07m 379.79m ETAILS roval</td><td>TOWN PLANING S STAND: TOWNSHIP: SITE AREA: ZONING: HEIGHT: FIRST FLOOR REST: COVERAGE: FAR:</td><td>SCHEDULE: STANI SEDG ???? H4 dv 2 STOR N/A 50%</td><td>EFIELD m velling EYS 2 ST N/A 28.7</td><td></td></tr<>	ES: EVEL Ground floor Basement Basement Ground floor Ground floor	AREA 150.71m 71.34m 66.84m 26.39 m 49.07m 379.79m ETAILS roval	TOWN PLANING S STAND: TOWNSHIP: SITE AREA: ZONING: HEIGHT: FIRST FLOOR REST: COVERAGE: FAR:	SCHEDULE: STANI SEDG ???? H4 dv 2 STOR N/A 50%	EFIELD m velling EYS 2 ST N/A 28.7	
AREAS:         NAME         Existing main house groundfloor         Existing main house basement         Existing main house basement         Existing outbuilding         New additions outbuilding         Project:       As build plate         Drawing titLe:	ES: LEVEL Ground floor Basement Basement Ground floor Ground floor	AREA 150.71m 71.34m 66.84m 26.39 m 49.07m 379.79m ETAILS roval	TOWN PLANING S STAND: TOWNSHIP: SITE AREA: ZONING: HEIGHT: FIRST FLOOR REST: COVERAGE:	SCHEDULE: STANI SEDG ???? H4 dv 2 STOR N/A 50%	EFIELD m velling EYS 2 ST N/A 28.7	
AREAS: NAME Existing main house groundfloor Existing main house basement Existing main house bulleck Existing outbuilding New additions outbuilding New additions outbuilding Existing carport TOTAL DRAWN BY Franco Hen REVISION DATE D 2019/02/22 PROJECT: As build pla DRAWING TITLE: Enegry Ca	ES: LEVEL Ground floor Basement Basement Ground floor Ground floor	AREA 150.71m 71.34m 66.84m 26.39 m 49.07m 379.79m ETAILS roval	TOWN PLANING S STAND: TOWNSHIP: SITE AREA: ZONING: HEIGHT: FIRST FLOOR REST: COVERAGE: FAR:	SCHEDULE: STANI SEDG ???? H4 dv 2 STOR N/A 50%	EFIELD m velling EYS 2 ST N/A 28.7	7%
AREAS: NAME Existing main house groundfloor Existing main house basement Existing main house bulleck Existing outbuilding New additions outbuilding New additions outbuilding Existing carport TOTAL DRAWN BY Franco Hen REVISION DATE D 2019/02/22 PROJECT: As build pla DRAWING TITLE: Enegry Ca	ES: LEVEL Ground floor Basement Basement Ground floor Ground floor	AREA 150.71m 71.34m 66.84m 26.39 m 49.07m 379.79m ETAILS roval	TOWN PLANING S STAND: TOWNSHIP: SITE AREA: ZONING: HEIGHT: FIRST FLOOR REST: COVERAGE: FAR:	SCHEDULE: STAN SEDG ???? H4 dw 2 STOR N/A 50% N/A	D 871 EFIELD m velling EYS 2 ST N/A 28.77 N/A	7% S (