September 12, 2019

THE REGIONAL MUNICIPALITY OF YORK
ADDENDA # 4
T-19-16

FOR: Construction of Paramedic Response Station No. 29 at 107 Glen Cameron Road in the City of Markham

CLOSING: September 18, 2019 at 1:00:00 P.M. (Eastern Time)

Bidders are requested to incorporate the changes/clarifications noted below to the above noted bid documents in your possession and be governed accordingly.

1. **EXTENSION OF THE CLOSING DATE**

   The Closing Date and Time for the above Request for Tender has been extended to September 18, 2019 at 1:00 p.m. (Eastern Time).

2. **CLOSING DATE FOR QUESTIONS**

   The Region will not accept questions pertaining to this Request for Tender after September 13, 2019 at 4:30 p.m. (Eastern Time).

3. **Please refer to the following attached documents for responses to bidder's questions and further changes to the Contract Documents:**

   Architectural Addendum 02, attaching:
   Architectural Drawings

Each Bidder shall acknowledge receipt of all addenda to this RFT prior to submitting their Bid. Bids that do not contain evidence of receipt of all addenda will be deemed to be "incomplete" and will not be accepted in the bidding website.

This addendum shall remain attached to and form part of the contract documents.

Yours truly,

Sabrina D'Angelo, CSCMP
Senior Purchasing Analyst
Procurement Office

THOMASBROWNARCHITECTS
197 SPADINA AVENUE I TORONTO ONTARIO I M5T 2C8

ARCHITECTURAL ADDENDUM 02

York Region Paramedic Response Station #29
107 Glen Cameron Road, Markham

The following are responses to questions submitted by bidders:

Q1 Please provide specification/detail for the generator pad shown on drawing A1.3.

A **Refer to Architectural Addendum 1, Question No. 9**

Q2 Please provide thickness of rigid insulation to the u/s of SOG as shown on drawing A2.1.

A **To meet the intent of the drawings, the rigid insulation is indicated by the R-Value. Contractor shall install appropriate thickness to achieve the R-Value indicated.**

Q3 Please provide thickness of rigid insulation to the face of the foundation wall.

A **To meet the intent of the drawings, the rigid insulation is indicated by the R-Value. Contractor shall install appropriate thickness to achieve the R-Value indicated.**

Q4 Drawing M4.0 Note 1 is saying that the entire sprinkler system is a dry system while Spec Section 21 13 00 is a wet-piping sprinkler system. Please clarify what to follow.

A **Refer to Addendum 1 reissued Mechanical Drawing M4.0. Dry system is only in the Vehicle Bay area Room 110 as per Note 1. Balance of the building is a wet system.**

Q5 Drawing L1:

1. Is topsoil needed in the naturalized area?
2. What's the seeding method?

A

1. **Existing on-site topsoil should suffice under the 'naturalized area' so long as the debris and existing woody vegetation can be adequately removed. Depth should be 100mm minimum.**
2. **Specification is performance based. Method if seeding shall be broadcast seeding (i.e. not expecting hydro-seeding or Terra-seeding).**

Q6 Based on Item 4.0 of the Geotechnical Report (Cambium Ref. # 5984-001), existing topsoil, fill and any organic matter identified or found shall be excavated and removed from beneath any areas of the site to be developed. Questions:

a. Will the asphalt area be excavated to native soil and backfilled with Granular 'B' Type 1?

b. Slab-on-grade site preparation shown on drawing S1-01 is only to remove 600mm to 1000mm below existing grade which is contradictory to the Geotechnical Report. The depth between the existing grade and the native soil is ranging from 1.1m to 1.5m. Please confirm if the SOG area shall be excavated to native soil elevation.

A

a) Refer to item 4.13 Pavement Design which states the following:
All topsoil and organic materials should be removed down to native material and backfilled with approved engineered fill or native material, compacted to 98 percent SPMDD. The subgrade should be compacted, proof rolled, and inspected by a Geotechnical Engineer. Any areas where rutting or appreciable deflection is

ARCHITECTURAL ADDENDUM 02

York Region Paramedic Response Station #29
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noted should be subexcavated and replaced with suitable fill. The fill should be compacted to at least 98 percent SPMDD.

b) As it is noted "see geotechnical report and the borehole logs for further details". SOG area shall be excavated to native soil elevation for the extents within the building only.

Q7 Please provide cash allowance for the Alectra scope of work noted on drawing E2.0 as per below.

A **Refer to 01 21 00 Allowances 1.3.9.4 Hydro Connection.**

Q8 1. Drawing CV-2 – The 525mm storm pipe from CBMH1 to CBMH2 (50.3m) is shown as PVC but same size of pipe from CBMH2 to CBMH3 is shown as concrete pipe. Please confirm that is correct.

A **The 525mm storm pipe from CBMH1 to CBMH2 shall be concrete pipe same as the other 525mm from CBMH2 to CBMH3**

Q9 Forwarding question with regards to asphalt paving.

Can you please have the consultants confirm if all asphalt paving on site is to be heavy duty paving? The Grading Plan shows all asphalt to be heavy duty. The site plans shows the parking stalls to be light duty. Drawing A1.4 only indicates a heavy-duty detail leading us to believe only heavy-duty paving is required on site. Please clarify and provide details for light duty asphalt if required.

A **All asphalt shall be Heavy Duty.**

Q10 What are the required bricks? Architectural Drawing A4.1 indicates "Belden Brick – Gray Bricks 691-693" (no size indicated) but specifications indicate Modular-sized 'Manganese Ironspot Velour' by Endicott. Please clarify.

A **Brick Masonry for the project shall be Modular-sized 'Manganese Ironspot Velour' by Endicott as specified.**

Q11 Please clarify what "CBU" means on Partition Type P5 & P8 on Drawing 4/A0.2. Abbreviation list on same drawing sheet indicates Concrete Block Unit. Please clarify.

A **Refer to attached revised Partition Type P5 & P8 on drawing A0.2 Assemblies, Schedules, and Notes.**

Q12 Please clarify thermal resistance requirement for cavity wall 100mm 'CavityRock' mineral wool insulation. Drawing 3/A0.2 indicate R-Value of "R20" thermal resistance but 100mm CavityRock's R-Value is only R17.2 (or 4.3 per inch). Please clarify

A **The thermal resistance requirement is R20 minimum. Bidders shall provide appropriate thickness minimum r-value.**

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Q13 Addendum #3 Item 3.2 – Please provide quantity of debris to be disposed or include this item as cash allowance.

A **The quantity of debris is visible on site with the exception of the truck. See attached photos as examples of debris.**

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Q14 We just noticed on drawing CV-3 there is a note along the swale referencing a concrete retaining wall with a Section A-A;
however, the section does not exist nor are there any details on this retaining wall.

We are assuming this note is an error and there is no retaining wall required; if this is not the case please provide clarification.

A **Please refer to Drawing CV-4 – Detail OPSD 3120.100 Type 1 for retaining wall clarification.**

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York Region Paramedic Response Station #29
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Owner/Architect Changes

1. General Instructions

.1 All Tenderers are hereby advised that the information contained in the issued Bid Documents for the above captioned project, has been amended to include the information contained within this Addendum, and such information is to be covered in the tender submission and shall form part of the *Contract Documents.*

2. Affected Sections of the Project Manual

Architectural none included as part of this addendum

Structural none included as part of this addendum

Mechanical none included as part of this addendum

Electrical none included as part of this addendum

Civil none included as part of this addendum

Landscape none included as part of this addendum

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ARCHITECTURAL ADDENDUM 02

York Region Paramedic Response Station #29
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3. Affected Drawings

Architectural

1. **Refer to Drawing A0.2 Assemblies, Schedules and Notes**
   - .1 Replace and insert revised detail 1 and detail 8.
   - .3 Replace and insert revised detail for Partitions P5 and P8.
   - .4 Replace and inset revised details for X22A, X22, X21P, X21B, X21A, X21.
2. **Refer to Drawing A1.3 Site Plan**
   - .1 Revise note “Light Duty Asphalt to read “Heavy Duty Asphalt”.
   - .2 Replace and insert revised detail 2.
3. **Refer to Drawing A2.1 Foundation Plan & Frost Slab Detail**
   - .1 Replace and insert revised detail 2.
4. **Refer to Drawing A2.2 Floor Plan and Plan Details**
   - .1 Replace and insert revised detail 2.
   - .2 Revise dimensions for details 4, 5 and 6.
5. **Refer to Drawing A2.4 Reflected Ceiling Plans**
   - .1 Replace and insert revised detail 8.
6. **Refer to Drawing A3.1 Roof Plan**
   - .1 Replace and insert revised detail 2.
7. **Refer to Drawing A4.1 Building Elevations**
   - .1 Revise Masonry Brick to note Manganese Ironspot Velour.
   - .2 Revise Louvers finish from Charcoal Grey to “Black”.
8. **Refer to Drawing A4.2 Cladding, Glazing, & Louver Elevations**
   - .1 Revise Pre-Finished Metal Flashing F1 to Agway QC 28262 Black.

Structural – none included as part of this addendum
Mechanical – none included as part of this addendum
Electrical - none included as part of this addendum
Civil – none included as part of this addendum
Landscape -– none included as part of this addendum

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ARCHITECTURAL ADDENDUM 02

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END OF DOCUMENT

ABBREVIATION LIST

ABBREVIATION	WORD
&	AND
@	AT
A.C.T	ACOUSTIC CEILING TILE
A.F.F	ABOVE FINISH FLOOR
AL	ALUMINIUM
ARCH	ARCHITECTURAL
AUTO	AUTOMATIC
AVG	AVERAGE
B.O	BOTTOM OF
B/W	BETWEEN
BD	BOARD
BF	BARRIER FREE
BL	BOLLARD
BLDG	BUILDING
BLKG	BLOCKING
C.B.T	CERAMIC BASE TILE
C.B.U	CONCRETE BLOCK UNIT
C.L.	CENTERLINE
C.M.U	CONCRETE MASONRY UNIT
C/W	COMPLETE WITH
CA Item	CASH ALLOWANCE ITEM
CAB	CABINET
CHAN	CHANNEL
CL	CLOSET
CLG	CEILING
CNTR	COUNTER
COL	COLUMN
CONC	CONCRETE
CONF	CONFERENCE
CONST	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACTOR
CORR	CORRIDOR
CPT	CARPET
CT	CERAMIC FLOOR TILE
D.F	DRINKING FOUNTAIN
D.O	DOOR OPENING
DEPT	DEPARTMENT
DET	DETAIL
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DR	DOOR
DS	DOWNSPOUT
DWG	DRAWING
DWR	DRAWER
E	EAST
E.W	EACH WAY
EA	EACH
EL	ELEVATION
ELECT	ELECTRICAL
ELEV	ELEVATOR
EMER	EMERGENCY
ENCL	ENCLOSURE
ENTR	ENTRANCE,ENTRY
EQ	EQUAL
EQUIP	EQUIPMENT
EXIST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
F.A	FIRE ALARM
F.D	FLOOR DRAIN
F.E	FIRE EXTINGUISHER
F.E.C	FIRE EXTINGUISHER CABINET
F.H.C	FIRE HOSE CABINET
F.R.R	FIRE RESISTANCE RATING
FDN	FOUNDATION
FIN	FINISH
FLR	FLOOR
FT	FEET,FOOT
FTG	FOOTING
FURR	FURRING
FUT	FUTURE
G.W.B	GYPSUM WALL BOARD
GA	GAUGE
GALV	GALVANIZED
GEN	GENERAL
GL	GLAZING
GND	GROUND
GR	GRADE
GYP	GYPSUM BOARD
H.S.P	HOSE STAND PIPE
H.V.A.C	HEATING, VENTILATION, AIR CONDITIONING
HB	HOSE BIB
HD	HAND DRYER
HDA	HEAVY DUTY ASPHALT
HDW	HARDWARE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HT	HEIGHT
I.D	INSIDE DIAMETER
IN	INCH,INCHES
INFO	INFORMATION
INSUL	INSULATION
INT	INTERIOR
J.C	JANITOR CLOSET
JT	JOINT
K.P	KICK PLATE
KIT	KITCHEN
L	LENGTH
L.F	LINEAR FOOT
L.H	LEFT HAND
L.P	LOW POINT
LAB	LABORATORY
LAM	LAMINATE
LAV	LAVATORY
LBL	LABEL
LINO	LINOLEUM
LKR	LOCKER
LNT	LINTEL
LONG	LONGITUDINAL
LRG	LARGE
LT	LIGHT
LTG	LIGHTING
LVL	LEVEL
LVR	LOUVER
LVR.O	LOUVER OPENING
M	METER
M.O	MASONRY OPENING

ABBREVIATION LIST

ABBREVIATION	WORD
M.P	METAL PLATE
MAINT	MAINTENANCE
MAS	MASONRY
MAX	MAXIMUM
MECH	MECHANICAL
MED	MEDIUM
MFG	MANUFACTURING
MFR	MANUFACTURER
MI	MIRROR
MIN	MINIMUM
MISC	MISCELLANEOUS
MM	MILLIMETER
MTC COORD	MULTIPLE TRADE COORDINATION REQUIRED
MTD	MOUNTED
MTG	MEETING
MTL	METAL
N	NORTH
N.S	NON-SLIP
N.T.S	NOT TO SCALE
NIC	NOT IN CONTARCT
NO	NUMBER
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OH.	OVERHEAD
OPG.	OPENING
OPP.	OPPOSITE
ORN.	ORNAMENTAL
OZ.	OUNCE
P.B.	PUSH BUTTON
P.C.	PRECAST
P.P.	PUSH PLATE
P.T.D.	PAPER TOWEL DISPENSER
PAR.	PARALLEL
PART	PARTITION
PER.	PERIMETER
PERP.	PERPENDICULAR
PL.	PLATE
PLAM.	PLASTIC LAMINATE
PLF.	PLATFORM
PNL.	PANEL
PNT	PORCELAIN TILE
PR.	PAIR
PREFAB	PREFABRICATED
PT.	PAINT
PVC.	POLYVINYLCHLORIDE
QTR.	QUARTER
QTY.	QUANTITY
R.	RADIUS
R.D.	ROOF DRAIN
R.H.	RIGHT HAND
R.O.	ROUGH OPENING
R.W.	RAIN WATER
RCA	REINFORCED CONCRETE APRON
REF.	REFRIGERATOR
REQ'D	REQUIRED
RES.	RESIDENTIAL
RM.	ROOM
RSL	RESILIENT
S.	SOUTH
S.C.S.	SOLID CORE STEEL
S.C.W.	COLID CORE WOOD
S.M.	SHEET METAL
S.N.D.	SANITARY NAPKIN DISPENSER
S.P.	STEEL PLATE
S.S.	STAINLESS STEEL
S.SK.	SERVICE SINK
S.T.C.	SOUND TRANSMISSION CLASS
SCHED.	SCHEDULE
SECT.	SECTION
SER.	SERVICE
SH.	SHOWER
SHLV.	SHELVING
SIM.	SIMILAR
SPEC.	SPECIFICATION
SPRT.	STRUCTURAL
SQ.	SQUARE
SQ.FT.	SQUARE FEET, SQUARE FOOT
SSURF.	SOLID SURFACE (MATERIAL)
STA.	STANDARD
STD.	STATION
STL.	STEEL
STOR.	STORAGE
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED
SYS.	SYSTEM
T.&G.	TONGUE AND GROVE
T.T.D.	TOILET TISSUE DISPENSER
T.T.H.	TOILET TISSUE HOLDER
T/O	TOP OF
TEL.	TELEPHONE
TEMP.	TEMPERARTURE
THR.	THRESHOLD
THRU.	THROUGH
TOFM	TOILET - FLOOR MOUNTED
TOWM	TOILET - WALL MOUNTED
TV.	TELEVISION
TYP.	TYPICAL
U.L.C.	UNDERWRITERS' LABORATORIES CANADA
U.N.O.	UNLESS NOTED OTHERWISE
U.O.S.	UNLESS OTHERWISE SPECIFIED
U.S.S.	UNDER SIDE OF STRUCTURE
UNFIN.	UNFINISHED
UR.	URINAL
V.C.T.	VINYL COMPOSITE TILE
V.F.W.	VINYL FABRICK WALL COVERING
V.P.	VENT PIPE
VEST.	VESTIBULE
VIF.	VERIFY
VIN.	VINYL
VOL.	VOLUME
W.	WEST
W.C.	WATER CLOSET
W.M.	WIRE MESH
W.O.	WINDOW OPENING
W.W.F.	WELDED WIRE FABRIC
W/	WITH
W/O	WITHOUT
WD.	WOOD
WDW.	WINDOW
WT.	CERAMIC WALL TILE

3 / A0.2

X22A 390mm | R - 23 (U -0.25) | CI - R20

MINERAL WOOL INSULATION - R20
AIR / VAPOUR BARRIER
290 CONCRETE MASONRY UNITS

12

X22 530mm | R - 29 (U -0.20) | CI - R20

BRICK MASONRY UNITS
AIR SPACE
MINERAL WOOL INSULATION - R20
AIR / VAPOUR BARRIER
290 CONCRETE MASONRY UNITS

X21P 397mm | R - 36 (U -0.16)

BRICK MASONRY UNITS
AIR SPACE
MINERAL WOOL INSULATION - R20
AIR / VAPOUR BARRIER
EXTERIOR SHEATHING
150 STEEL STUDS @ 400MM o/c
MINERAL WOOL INSULATION
38mm RIGID INSULATION & EXTERIOR SHEATHING
ROOF MEMBRANE

X21B 375mm | R - 23 (U -0.25) | CI - R20

MINERAL WOOL INSULATION - R20
AIR / VAPOUR BARRIER
240 CONCRETE MASONRY UNITS
22 FURRING CHANNEL
12.7 GYPSUM BOARD

X21A 340mm | R - 23 (U -0.25) | CI - R20

MINERAL WOOL INSULATION - R20
AIR / VAPOUR BARRIER
240 CONCRETE MASONRY UNITS

X21 480mm FRR - 3 | R - 29 (U -0.20) | CI - R20

BRICK MASONRY UNITS
AIR SPACE
MINERAL WOOL INSULATION - R20
AIR / VAPOUR BARRIER
240 CONCRETE MASONRY UNITS

* CONSTRUCT AS FIRE SEPARATION WHERE INDICATED

LSH 50mm

HP 245

IS1 100mm

ALUMINUM SCREEN
(KAWNEER 451 OR EQUIVALENT)

ES1 152mm

ALUMINUM SCREEN
(KAWNEER 601UT OR EQUIVALENT)

CW1 152mm

ALUMINUM SCREEN
(KAWNEER 1620 SSG OR EQUIVALENT)

PA-1 165mm | R - 9 (U -0.64)

MINERAL WOOL INSULATION - R20
AIR / VAPOUR BARRIER
EXTERIOR SHEATHING
150 STEEL STUDS @ 400MM o/c
38 RIGID INSULATION
EXTERIOR SHEATHING
ROOF MEMBRANE

PA-1 50mm

ALUMINUM PANEL SYSTEM
AIR SPACE (VARIES)
Z-GIRTS @ 600mm o/c (HOR.) C/W

5 / A0.2

FL-1 | R-VALUE | RSI

SEALED CONCRETE OR CERAMIC TILE (AS INDICATED)
100 CONCRETE
VAPOUR BARRIER
RIGID INSULATION - R15
200 COMPACTED OPSS 1010 GRANULAR A

FL-10 | R-VALUE | RSI

200 CONCRETE
VAPOUR BARRIER
RIGID INSULATION - R15
200 COMPACTED OPSS 1010 GRANULAR A

FL-11 | R-VALUE | RSI

200 CONCRETE
200 COMPACTED OPSS 1010 GRANULAR A

SW-1 | EXTERIOR

125 CONCRETE - BROOM FINISH
200 COMPACTED GRAVEL

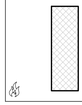
4 / A0.2

P24 290mm FRR - 4 | R - 2 (U -2.62) | STC - 50

290 CONCRETE MASONRY UNITS

* CONSTRUCT AS FIRE SEPARATION WHERE INDICATED
* CONSTRUCT TO U/S OF DECK U/N

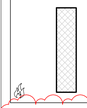
P22 190mm FRR - 2.5 | R - 1 (U -4.00) | STC - 46



190 CONCRETE MASONRY UNITS

* CONSTRUCT AS FIRE SEPARATION WHERE INDICATED
* CONSTRUCT TO U/S OF DECK U/N

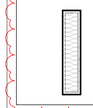
P21 140mm FRR - 1.5 | R - 1 (U -5.43) | STC - 43



140 CONCRETE MASONRY UNITS

* CONSTRUCT AS FIRE SEPARATION WHERE INDICATED
* CONSTRUCT TO U/S OF DECK U/N

P8 129mm FRR - NR | R - 0 (U -15.99)



CERAMIC TILE
TILE BACKER BOARD
92MM METAL STUDS @ 400mm o/c MAX.
MINERAL WOOL INSULATION
TILE BACKER BOARD
CERAMIC TILE

* CONSTRUCT TO U/S OF DECK U/N

P1 117mm FRR - NR | R - 0 (U -15.99)

12.7MM GYPSUM BOARD
92MM METAL STUDS @ 400mm o/c MAX.
MINERAL WOOL INSULATION
12.7MM GYPSUM BOARD

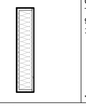
* CONSTRUCT TO U/S OF DECK U/N

P1a 117mm FRR - NR | R - 0 (U -30.98)

12.7MM GYPSUM BOARD
92MM METAL STUDS @ 400mm o/c MAX.
MINERAL WOOL INSULATION

* CONSTRUCT TO U/S OF DECK U/N

P5 123mm FRR - NR | R - 0 (U -15.99)



CERAMIC TILE
TILE BACKER BOARD
92MM METAL STUDS @ 400mm o/c MAX.
12.7MM GYPSUM BOARD

* CONSTRUCT TO U/S OF DECK U/N

6 / A0.2

RT7 | R-VALUE 35 | SRI 96 | RSI 6.156 | FRR

2-ply MODIFIED BITUMEN ROOFING SYSTEM
PROTECTION BOARD
TAPERED INSULATION (AS INDICATED)
POLYISO INSULATION BOARD (MECHANICALLY FASTENED)
VAPOUR BARRIER
GYPSUM BOARD UNDERLAY
38mm METAL DECK

RT7a | R-VALUE 35 | SRI 96 | RSI 6.156 | FRR

2-ply MODIFIED BITUMEN ROOFING SYSTEM
PROTECTION BOARD
TAPERED INSULATION (AS INDICATED)
POLYISO INSULATION BOARD (MECHANICALLY FASTENED)
VAPOUR BARRIER
GYPSUM BOARD UNDERLAY
51mm DOVETAIL METAL DECK

RT-9 | R-VALUE | SRI 96 | RSI | FRR

2-ply MODIFIED BITUMEN ROOFING SYSTEM
PROTECTION BOARD
TAPERED INSULATION (AS INDICATED)
VAPOUR BARRIER
GYPSUM BOARD UNDERLAY
38mm METAL DECK

8 / A0.2

A0.2 REV 12

A700 GENERAL NOTES - WALL ASSEMBLIES

EXTERIOR WALL ASSEMBLIES

1. THE SPECIFICATIONS, INSTALLATION, AND PERFORMANCE OF AIR BARRIER SYSTEMS AND VAPOUR BARRIERS MUST MEET OR EXCEED DIV. B PART 5 OF THE ONTARIO BUILDING CODE.
2. THE REQUIREMENTS FOR AN AIR BARRIER AND A VAPOUR BARRIER ARE INTENDED TO BE PROVIDED AS CONTINUOUS PLANES WITHIN THE BUILDING ENVELOPE, ENSURE CONTINUTY OF AIR AND VAPOUR MEMBRANES BETWEEN COMPONENTS, TO ADJACENT CONSTRUCTION AND AT ALL PENETRATIONS TO PREVENT OR RETARD PASSAGE OF MOISTURE LADEN AIR AND/OR THE DIFFUSION OF WATER VAPOUR.

INTERIOR WALL ASSEMBLIES

LOAD BEARING PARTITIONS (INTERIOR)

WHERE A PARTITION IS A LOAD BEARING WALL REFER TO THE STRUCTURAL DRAWINGS FOR DESIGN REQUIREMENTS.THE CONTRACTOR SHALL NOTIFY THE CONSULTANT OF ANY DISCREPANCIES BETWEEN THE ARCHITECTURAL AND STRUCTURAL DRAWINGS AND SPECIFICATIONS PRIOR TO THE COMMENCEMENT OF WORK.

STEEL STUD FRAMED PARTITIONS (INTERIOR)

1. ALL PARTITIONS ARE TO UNDERSIDE OF DECK UNLESS OTHERWISE NOTED.
2. PROVIDE DEFLECTION DETAIL AT TOP OF ALL WALLS THAT ABUT UNDERSIDE OF DECK OR STRUCTURE. SEE ALSO TOP OF WALL DETAILS AS INDICATED
3. WHERE SOUND ATTENUATION BATTS ARE CALLED FOR ON THE WALL TYPE, SEAL PERIMETER OF WALLS AND AROUND PENETRATIONS THROUGH WALLS WITH ACOUSTIC SEALANT. APPLY CONTINUOUS ACOUSTIC SEALANT TO BOTH SIDES OF TRACK AT THE JUNCTIONS WITH FLOORS AND ROOF DECKS, AND AROUND PENETRATIONS TO PARTITIONS. RECESSED OUTLETS ARE TO BE STAGGERED
4. DO NOT SCREW METAL STUDS TO CURTAIN WALL MULLIONS OR TEE BAR GRIDS.
5. WHERE INTERIOR DOORS ARE CLOSE TO AN INSIDE CORNER, PROVIDE MIN. CLEARANCE FROM DOOR JAMB TO ADJACENT WALL AS INDICATED ON DETAIL 00-000 - DR-1

MASONRY PARTITIONS (INTERIOR)

1. HEIGHT OF CONCRETE MASONRY UNIT WALLS TO BE TO UNDERSIDE OF FLOOR/ROOF DECK ABOVE UNLESS OTHERWISE NOTED.
2. WHERE CONCRETE UNIT MASONRY WALLS ABUT REINFORCED CONCRETE WALLS AND PIERS, RAKE BACK MORTAR JOINT WHERE THE TWO MATERIALS MEET AND PROVIDE CONTINUOUS SEALANT

FIRE RATED PARTITIONS (INTERIOR)

1. FOR WALL ASSEMBLIES THAT BEAR THE NOTE "CONSTRUCT AS FIRE SEPARATION WHERE NOTED', THE ASSEMBLY SHALL BE CONSTRUCTED AS A FIRE SEPARATION AT THE LOCATIONS INDICATED IN THE CONTRACT DRAWINGS.
2. AT RECESSED PANEL INSTALLATIONS (E.G. ELECTRICAL PANELS) WITHIN RATED WALLS PROVIDE FOR CONTINUITY OF THE REQUIRED RATING BEHIND THE PANEL.REFER TO THE ONTARIO BUILDING CODE DIVISION B, SECTION 3.1.9.2 FOR REQUIREMENTS FOR COMBUSTIBILITY OF SERVICE PENETRATIONS AND SECTION 3.1.10.2 FOR RATING OF FIREWALLS
3. WHERE FIRE RATED PARTITIONS ABUT NON-RATED PARTITIONS THE FIRE RATED ASSEMBLY SHALL BE CONTINUOUS AND UNINTERRUPTED BY THE ABUTTING WALLS TO MAINTAIN A CONTINUOUS FIRE SEPARATION.
4. SEAL PERIMETER OF FIRE RATED WALLS AND AROUND PENETRATIONS THROUGH FIRE RATED WALLS WITH APPROVED FIRESTOPPING MATERIALS. **DO NOT** SEAL CLEARANCE SPACES WITHIN FIRE DAMPERS. SEAL ONLY IN STRICT ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

BLOCKING FOR MILLWORK & SPECIALITIES

1. PROVIDE BLOCKING IN PARTITIONS AND WALLS (INTERIOR AND EXTERIOR) FOR THE FOLLOWING:
   a. MILLWORK, FIXTURES AND FITTINGS, HANDRAILS, GRAB BARS, TACKBOARDS, WHITEBOARDS, MIRRORS, WASHROOM ACCESSORIES AND OTHER ITEMS AS REQUIRED.

12

1 / A0.2

A000.00 REV 8

A700-GUIDE TO USE OF DRAWINGS

ROOM TAG

ROOM NAME
NUMBER
AREA

IDENTIFIES ROOM NAME
IDENTIFIES ROOM NUMBER
WHERE SHOWN - INDICATES OCCUPANT LOAD OR ROOM AREA

WALL TAG

TOP
BOTT
TOP

IDENTIFIES WALL TYPE

WHERE SHOWN - INDICATES HEIGHT OF WALL BOTTOM OF WALL FROM FINISH FLOOR BELOW AND HEIGHT OF WALL. TYPICALLY APPEARS ON REFLECTED CEILING PLANS AT BULKHEADS ETC.

DOOR TAG

IDENTIFIES DOOR TYPE
IDENTIFIES DOOR NUMBER

WINDOW TAG

IDENTIFIES WINDOW / CURTAIN WALL TYPE

FLOOR TAG

IDENTIFIES FLOOR TYPE

FLOOR FINISH TAG

IDENTIFIES FLOOR FINISH

ROOF TAG

IDENTIFIES ROOF TYPE

CEILING TAG

IDENTIFIES CEILING TYPE
IDENTIFIES HEIGHT OF CEILING ABOVE FINISHED FLOOR BELOW

ITEM TAG

IDENTIFIES ITEM BY A CODE OR DESIGNATION FOR REFERENCE TO SPECIFICATIONS OR SCHEDULES

SECTION SYMBOLS

SIM

IDENTIFIES WHEN DETAIL IS SIMILAR TO ANOTHER DETAIL
THREE FILLED TRIANGLES INDICATES SECTION TYPE - BUILDING SECTION
IDENTIFIES DETAIL NUMBER ON SHEET
IDENTIFIES SHEET NUMBER

SIM

IDENTIFIES WHEN DETAIL IS SIMILAR TO ANOTHER DETAIL
THREE OPEN TRIANGLES INDICATES SECTION TYPE - WALL SECTION
IDENTIFIES DETAIL NUMBER ON SHEET
IDENTIFIES SHEET NUMBER

SIM

IDENTIFIES WHEN DETAIL IS SIMILAR TO ANOTHER DETAIL
SINGLE FILLED TRIANGLE INDICATES SECTION TYPE - DETAIL SECTION
IDENTIFIES DETAIL NUMBER ON SHEET
IDENTIFIES SHEET NUMBER

ELEVATION SYMBOLS

IDENTIFIES DETAIL NUMBER ON SHEET
FILLED TRIANGLE INDICATES ELEVATION TYPE - BUILDING
IDENTIFIES SHEET NUMBER
TRIANGLE LOCATION INDICATES DIRECTION OF VIEW

IDENTIFIES DETAIL NUMBER ON SHEET
OPEN TRIANGLE INDICATES ELEVATION TYPE - DETAIL
IDENTIFIES SHEET NUMBER
TRIANGLE LOCATION INDICATES DIRECTION OF VIEW

CLADDING ELEVATION
IDENTIFIES DETAIL NUMBER ON SHEET
IDENTIFIES SHEET NUMBER

GLAZING (WINDOW) ELEVATION
IDENTIFIES DETAIL NUMBER ON SHEET
IDENTIFIES SHEET NUMBER

MILLWORK ELEVATION
IDENTIFIES DETAIL NUMBER ON SHEET
IDENTIFIES SHEET NUMBER

CALLOUT SYMBOLS

SIM

IDENTIFIES WHEN DETAIL IS SIMILAR TO ANOTHER DETAIL
IDENTIFIES DETAIL NUMBER ON SHEET
IDENTIFIES SHEET NUMBER

AODA SYMBOL

INDICATES THAT AN ITEM IS REQUIRED TO MEET REQUIREMENTS OF THE AODA (ACCESSIBILITY FOR ONTARIANS WITH DISABILITIES ACT) OR SIMILAR TYPE REQUIREMENT

AODA WASHROOM - ACCESSIBLE SYMBOL

WC-A

INDICATES WHERE A WASHROOM IS TO BE CONSTRUCTED IN ACCORDANCE WITH AODA REQUIREMENTS FOR ACCESSIBLE WASHROOMS

AODA WASHROOM - UNIVERSAL SYMBOL

WC-U

INDICATES WHERE A WASHROOM IS TO BE CONSTRUCTED IN ACCORDANCE WITH AODA REQUIREMENTS FOR UNIVERSAL WASHROOMS

FIRE RATING SYMBOL

INDICATES THAT ITEM IS OR MAY BE REQUIRED TO BE CONSTRUCTED WITH A FIRE RATING

CASH ALLOWANCE SYMBOL

CA
ITEM

INDICATES THAT AN ITEM WILL BE PURCHASED OR SUPPLIED UNDER THE CONTRACT CASH ALLOWANCE. REFER TO CASH ALLOWANCE SECTION OF SPECIFICATION FOR DETAILS AND/OR EXCLUSIONS

NIC (NOT IN CONTRACT) SYMBOL

NIC

INDICATES THAT AN ITEM IS 'NOT IN CONTRACT'

MULTIPLE TRADE COORDINATION SYMBOL

GC
COORD
SUBTRADES

INDICATES CIRCUMSTANCES THAT MAY REQUIRE SPECIFIC COORDINATION EFFORT. THIS SYMBOL IS PROVIDED AS AN AID TO THE CONTRACTOR TO ENSURE PROPER EXECUTION OF THE WORK BY SUBTRADES.
IN NO WAY IS IT INTENDED TO DICTATE MEANS OR METHODS OF EXECUTION

INTERFERENCE COORDINATION SYMBOL

COORD
INTERFERENCE

INDICATES CIRCUMSTANCES THAT MAY REQUIRE COORDINATION FOR INTERFERENCES. THIS SYMBOL IS PROVIDED AS AN AID TO THE CONTRACTOR TO ENSURE PROPER EXECUTION OF THE WORK BY SUBTRADES.
IN NO WAY IS IT INTENDED TO DICTATE MEANS OR METHODS OF EXECUTION

BUILDING ENTRANCE SYMBOL

E

INDICATES THE LOCATION OF BUILDING ENTRANCES. OFTEN CODE-RELATED

SITE ACCESS SYMBOL

SITE ACCESS

INDICATES THE LOCATION OF SITE ENTRANCES DURING CONSTRUCTION.

READ THE GENERAL NOTES.
THEY CONTAIN INFORMATION THAT IS ESSENTIAL TO UNDERSTANDING THE SCOPE OF WORK

IT IS STRONGLY ADVISED THAT THE CONTRACTOR ENSURE ALL SUBTRADES REFER AND COORDINATE WITH A-SERIES DRAWINGS IN THE EXECUTION OF THEIR RESPECTIVE SCOPE OF WORK.

DIMENSIONS

1. THE SOFTWARE USED TO PRODUCE THESE DRAWINGS IS VERY PRECISE IN TERMS OF DIMENSIONING. FOR LAYOUT PURPOSES, DIMENSIONS CAN BE ROUNDED TO THE NEAREST 5MM INCREMENT.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCMENT OF THE WORK.
3. ALL DRAWINGS AND SPECIFICATIONS (HARD AND SOFT COPIES) ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED UPON COMPLETION OF THE WORK

PRINTING
THESE DRAWINGS ARE BEST PRINTED IN COLOUR OR GREYSCALE. PRINTING THEM IN BLACK AND WHITE MAY DEGRADE REPRODUCTION QUALITY.

ISSUE OR REVISION

NO.	ISSUED FOR	DATE
1	SPA SUBMISSION 01	2018.01.29
3	80% CLIENT REVIEW	2018.05.29
7	90% CLIENT REVIEW	2018.12.05
8	100% CLIENT REVIEW	2019.02.12
9	BUILDING PERMIT	2019.04.11
12	ADDENDUM 2	2019.09.10

PROJECT :

YORK REGION PRS STATION #29 T-19-16

107 GLEN CAMERON ROAD, MARKHAM

CLIENT

York Region

ARCHITECT

THOMASBROWN ARCHITECTS

A 197 SPADINA AVE, SUITE 500, TORONTO, ON
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PROFESSIONAL SEAL

DWG TITLE

ASSEMBLIES, SCHEDULES & NOTES

ORIENTATION

DATE 2019/07/09

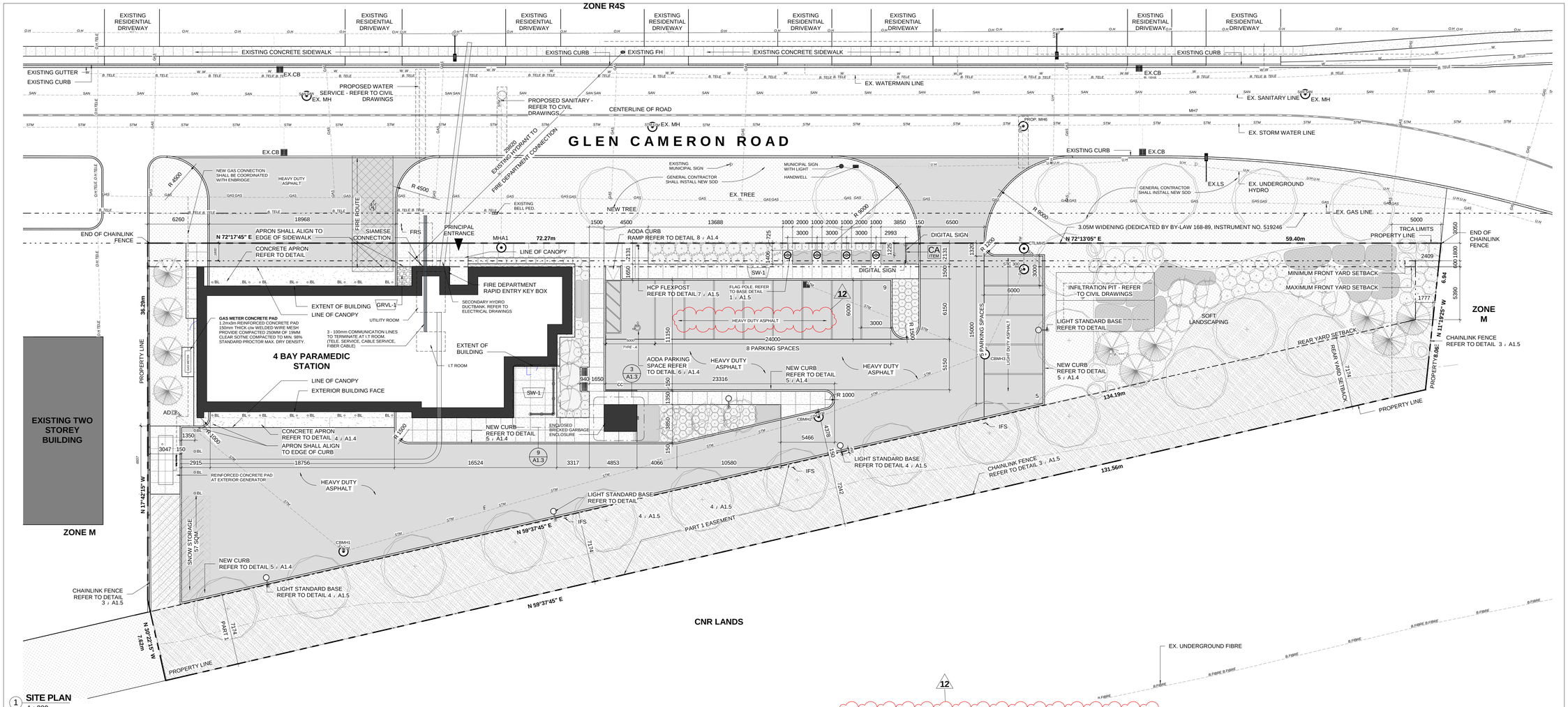
SCALE As indicated | DRAWN BY SRL

DWG STATUS : TENDER

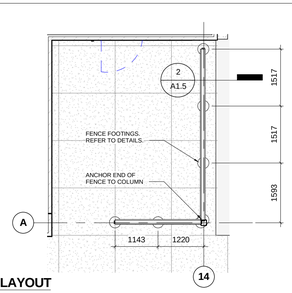
PROJECT No. 1509

DRAWING No. **A0.2** | REVISION 12

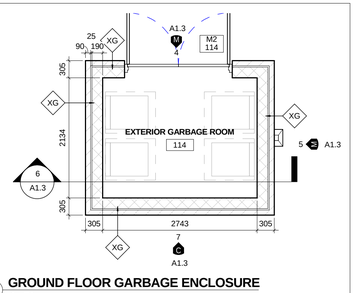
9/9/2019 11:21:03 AM



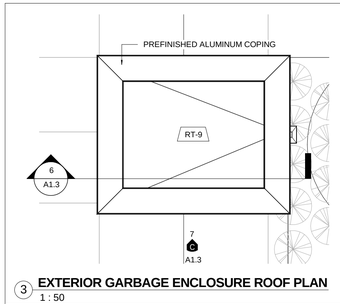
1 **SITE PLAN**
1 : 200



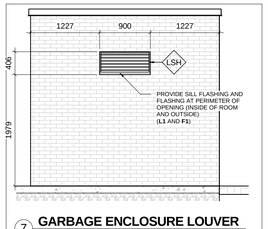
9 **FENCE PLAN LAYOUT**
1 : 75



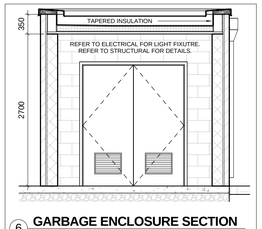
8 **GROUND FLOOR GARBAGE ENCLOSURE**
1 : 50



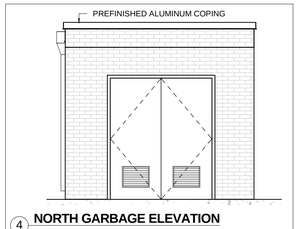
3 **EXTERIOR GARBAGE ENCLOSURE ROOF PLAN**
1 : 50



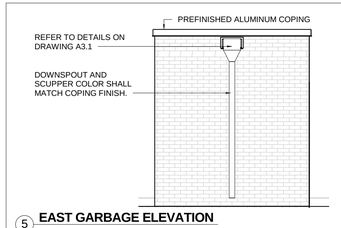
7 **GARBAGE ENCLOSURE LOUVER**
1 : 50



6 **GARBAGE ENCLOSURE SECTION**
1 : 50



4 **NORTH GARBAGE ELEVATION**
1 : 50



5 **EAST GARBAGE ELEVATION**
1 : 50

DRWG **2 / A1.3** — **A700 GENERAL NOTES - SITE PLAN**

1. THE CONTRACT CONSISTS OF ALL WORK WITH-IN THE 'PROPERTY LINE' AND/OR 'SITE EXTENTS' LINE AS INDICATED PLUS ANY WORK SPECIFICALLY NOTED OUTSIDE OF THAT LINE OR AS REQUIRED TO DELIVER A OPERATIONAL, FUNCTIONING PROJECT.
2. THE TERM 'SITE EXTENTS' REFERS TO THE AREA THAT THE CONTRACTOR IS REQUIRED TO ENCLOSE WITH CONSTRUCTION FENCING FOR THE DURATION OF THE WORK.
3. ALL WORK DONE OUTSIDE OF THESE LIMITS MUST BE EXECUTED IN STRICT ACCORDANCE WITH THE STANDARDS OF THE MUNICIPALITY AND ALL OTHER AUTHORITIES HAVING JURISDICTION. MAKE GOOD AT NO ADDITIONAL COST TO THE OWNER OR MUNICIPALITY ANY DAMAGE CAUSED BY THIS CONSTRUCTION TO MATERIALS OR FINISHES BEYOND THE "PROPERTY LINE" INDICATED.
4. CONTRACTOR IS TO RESTRICT ALL WORK, EQUIPMENT AND MATERIALS STORAGE TO AREA(S) WITHIN THE "PROPERTY LINE" EXCEPT WHERE NOTED OTHERWISE. PRIMARY SITE ACCESS POINT & CONSTRUCTION PARKING IS TO BE CONFIRMED WITH OWNER. NO PARKING IS PERMITTED IN THE MUNICIPAL RIGHT-OF-WAY.
5. LOCATE EXCAVATED MATERIALS & TOPSOIL PILES SO AS NOT TO IMPEDE PROGRESS OF THE WORK OR AS DIRECTED. 'DOUBLE HANDLING' OF MATERIALS AS A RESULT OF CONTRACTOR PLANNING OR EXECUTION OF THE WORK WILL NOT BE CONSIDERED AS A BASIS FOR CLAIM. AT COMPLETION OF THE PROJECT, ANY EXCESS MATERIAL IS TO BE REMOVED AND AREA MADE GOOD TO CONSULTANTS SATISFACTION.
6. FOR TRENCHING & BACKFILLING OF ALL SERVICE LINES AND DIVISION OF RESPONSIBILITY REFER TO APPROPRIATE SPECIFICATION SECTIONS AND DRAWINGS. TRENCHING & BACKFILLING NOT IDENTIFIED BY A PARTICULAR SUB-TRADE WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE TRENCHING AND BACKFILLING. GRADE FINISHED WORK TO MATCH SURROUNDING SURFACES.
7. NOTE THAT THE EXACT LOCATIONS OF ALL NEW MECHANICAL & ELECTRICAL ITEMS ARE APPROXIMATE UNLESS DIMENSIONS ARE GIVEN. ADJUST LOCATIONS AS REQUIRED AND AS APPROVED BY CONSULTANT TO SUIT SITE CONDITIONS.
8. NOTE THAT ALL MECHANICAL AND ELECTRICAL UNDERGROUND AND ABOVEGROUND SERVICE LINES INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE INDICATED AS ACCURATELY AS POSSIBLE FROM INFORMATION SUPPLIED. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT TYPES, LOCATIONS, DEPTHS AND MARKING ALL UNDERGROUND AND ABOVEGROUND SERVICES WITHIN ALL AREAS OF CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO GAS LINES, WATER LINES, ELECTRICAL LINES, TELEPHONE, CABLE TV ETC. VERIFY EXACT LOCATIONS WITH THE APPROPRIATE AUTHORITIES BEFORE EXCAVATING.
9. PRIOR TO COMMENCING WORK TO PLACE VERTICAL ELEMENTS SUCH AS FLAGPOLES AND LIGHT STANDARDS ENSURE ADEQUATE CLEARANCE FROM EXISTING ABOVEGROUND ELEMENTS SUCH AS OVERHEAD WIRES CABLES ETC.
10. ALL FINISHED PAVING AND GRADING TO BE TO NEW LEVELS SHOWN. ALL DRAINAGE TO BE POSITIVE, LEAVING NO POCKETS IN FINISHED GRADE. FINISHED GRADING TO SLOPE MINIMUM 1:12 AND ASPHALT TO SLOPE MAX 1:10 AWAY FROM BUILDING UNLESS SHOWN OTHERWISE. NEW GRADES TO MEET EXISTING GRADES FALLING AWAY FROM BUILDING AND FEATHERED OUT EVENLY.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE RECORDS OF CONSTRUCTION TO FACILITATE AS-BUILT DRAWINGS.
12. CO-ORDINATE ALL WORK NOTED HERE WITH THE SPECIFICATION DOCUMENTS - FOR GENERAL REQUIREMENTS, EXISTING CONDITIONS, EXCAVATION & BACKFILLING, LANDSCAPING, ETC AS REQUIRED FOR COMPLETE SITE RELATED WORK.

GC COORD SUBTRADES

COORD INTERFERENCE

Site Statistics Data

Item		Requirements	Proposed
1	Zoning By-Law:	2237, AS AMENDED BY BY-LAW 2007-205	
2	Zoning Category:	0	
3	Permitted Uses:	EMERGENCY SERVICES STATION	
4	Lot and Plan Number:	0	
5	Lot Area (sqm):	3,895	
6	Lot Coverage Maximum (%):		12.6
7	Established Grade:		
8	Gross Building Area (sqm):	N/A	490
9	Building Footprint (sqm):	N/A	490
10	Floor Space Index (FSI)	0.1	
11	Green Roof Area (sqm):	N/A	0
12	Landscaped Area (sqm):	N/A	1717.32
13	Front Yard Landscape Minimum (%):	N/A	
14	Hardscaped Area (High Albedo) (sqm):	N/A	372.03
15	Paved Area (sqm):	N/A	1276
16	Building Height Maximum (m):	N/A	6M
17	Parking Spaces:	N/A	14
18	Parking Spaces for Persons with Disabilities:	N/A	1
19	Bicycle Parking:	N/A	0
20	Loading Spaces:	N/A	0
Municipal Setbacks			
21	Front Yard Setback	1.8M MIN 2.4m MAX	2.4M
22	Side Yard Setback	0	5M
23	Rear Yard Setback	7M	17M
24	Side Yard Setback	0	88M

ISSUE OR REVISION

NO.	ISSUED FOR	DATE
1	SPA SUBMISSION 01	2018.01.29
2	SPA SUBMISSION 02	2018.05.03
3	80% CLIENT REVIEW	2018.05.29
4	SPA SUBMISSION 03	2018.08.20
6	SPA SUBMISSION 05	2018.11.07
7	90% CLIENT REVIEW	2018.12.05
8	100% CLIENT REVIEW	2019.02.12
9	BUILDING PERMIT	2019.04.11
12	ADDENDUM 2	2019.09.10

PROJECT :
YORK REGION PRS STATION #29 T-19-16
107 GLEN CAMERON ROAD, MARKHAM

CLIENT
York Region

ARCHITECT
THOMASBROWN ARCHITECTS
A 197 SPADINA AVE, SUITE 500, TORONTO, ON
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W: WWW.TBROWNARCH.COM

PROFESSIONAL SEAL

DWG TITLE
SITE PLAN

ORIENTATION
TRUE NORTH
CONSTRUCTION NORTH

DATE 2019/07/09

SCALE As indicated

DRAWN BY SRL

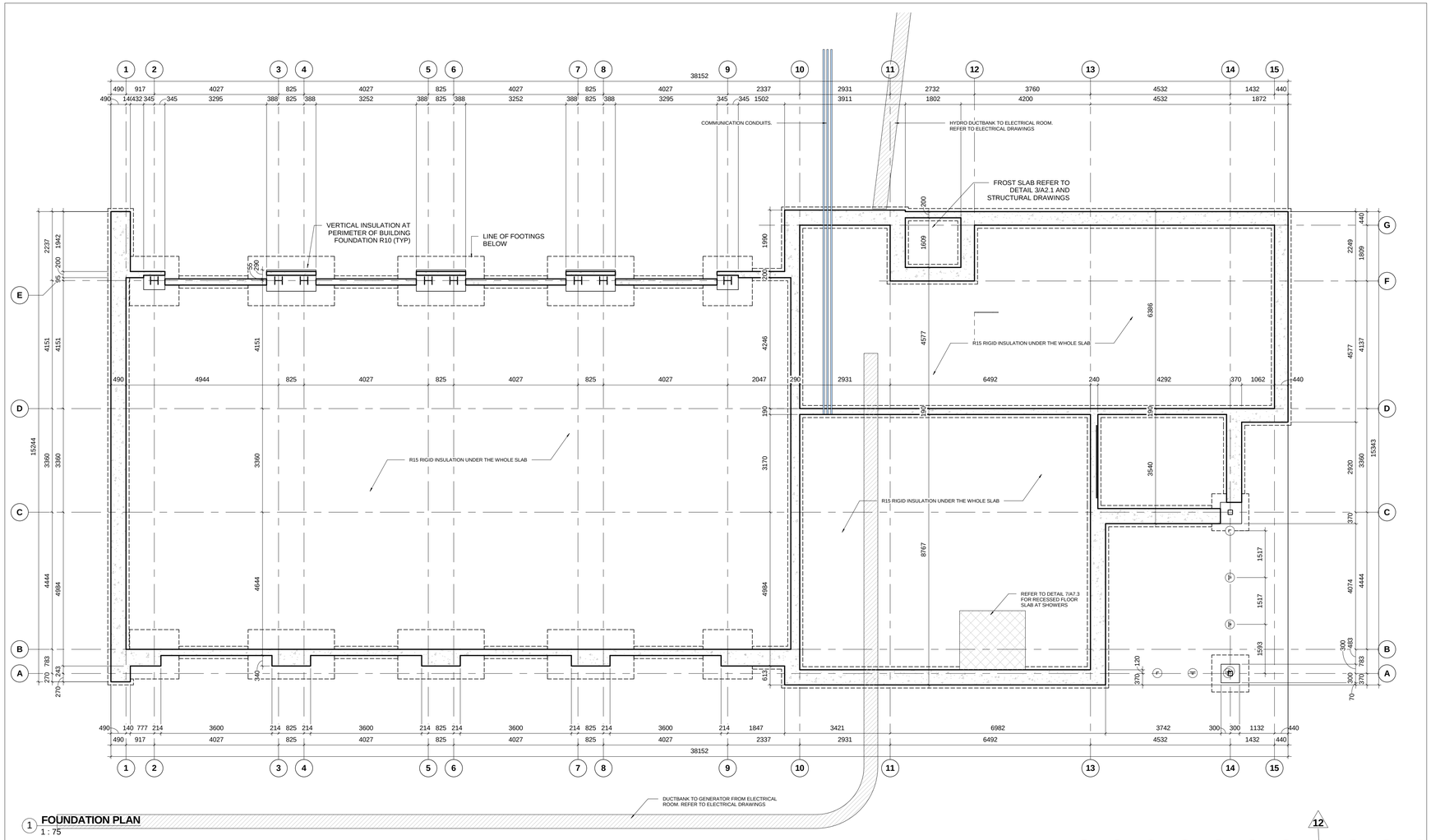
DWG STATUS : TENDER

PROJECT No. 1509

DRAWING No. **A1.3**

REVISION 12

9/9/2019 10:24:10 AM



1 **FOUNDATION PLAN**
1 : 75

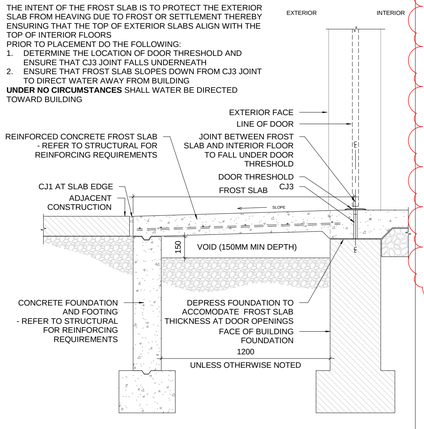
12

detail **3 / A2.1** A700-3000-FS-1

THE INTENT OF THE FROST SLAB IS TO PROTECT THE EXTERIOR SLAB FROM HEAVING DUE TO FROST OR SETTLEMENT THEREBY ENSURING THAT THE TOP OF EXTERIOR SLABS ALIGN WITH THE TOP OF INTERIOR FLOORS.
PRIOR TO PLACEMENT DO THE FOLLOWING:

1. DETERMINE THE LOCATION OF DOOR THRESHOLD AND ENSURE THAT CJ3 JOINT FALLS UNDERNEATH
2. ENSURE THAT FROST SLAB SLOPES DOWN FROM CJ3 JOINT TO DIRECT WATER AWAY FROM BUILDING

UNDER NO CIRCUMSTANCES SHALL WATER BE DIRECTED TOWARD BUILDING



ALL REINFORCING STEEL EPOXY COATED

detail **2 / A2.1** **A700 GENERAL NOTES - FOUNDATION PLAN**

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH FOUNDATION PLANS PREPARED BY THE STRUCTURAL ENGINEER.
2. ROUTING OF UNDERGROUND SERVICES IS SCHEMATIC. ALL UNDERGROUND SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH MECHANICAL AND ELECTRICAL DRAWINGS.
3. PROVIDE SLEEVES FOR ALL PENETRATIONS THROUGH FOUNDATION WALLS WHERE INDICATED AND WHERE REQUIRED (TYP.)
4. PROVIDE DROPS IN FOUNDATION WALLS WHERE INDICATED AND WHERE REQUIRED AT EXTERIOR OPENINGS. AT DOORS AND OVERHEAD DOORS, EXTEND FLOOR SLABS AT FOUNDATION DROPS TO EXTERIOR FACE OF FOUNDATION WALL. ENSURE SLAB HAS POSITIVE SLOPE TO EXTERIOR FROM EXTERIOR FACE OF DOOR OR OVERHEAD DOOR (TYP.)
5. TAKE CARE DURING PLACEMENT OF CONCRETE TO MITGATE FACTORS THAT CONTRIBUTE TO SURFACE DEFECTS.ENSURE FACE OF FOUNDATION WALLS THAT WILL REMAIN EXPOSED (TYPICALLY 300MM MINIMUM) IS FREE OF HONEYCOMBING OR OTHER SURFACE DEFECTS.
6. ENSURE FACE OF FOUNDATION WALLS THAT ABUT AN ADJACENT CONCRETE SLAB OR SIDEWALK ARE SMOOTH TO ENSURE TIGHT PLACEMENT OF EXPANSION JOINT OR EXPANSION JOINT CAP AND CAULKED JOINT. SCRAPE OR GRIND AS REQUIRED.

GC COORD
SUBTRADES

ISSUE OR REVISION

NO.	ISSUED FOR	DATE
1	SPA SUBMISSION 01	2018.01.29
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7	90% CLIENT REVIEW	2018.12.05
8	100% CLIENT REVIEW	2019.02.12
9	BUILDING PERMIT	2019.04.11
12	ADDENDUM 2	2019.09.04

PROJECT :

YORK REGION PRS STATION #29 T-19-16

107 GLEN CAMERON ROAD, MARKHAM

CLIENT

York Region

ARCHITECT

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PROFESSIONAL SEAL

DWG TITLE

FOUNDATION PLAN & FROST SLAB DETAIL

ORIENTATION

TRUE NORTH | CONSTRUCTION NORTH

DATE 2019/07/09

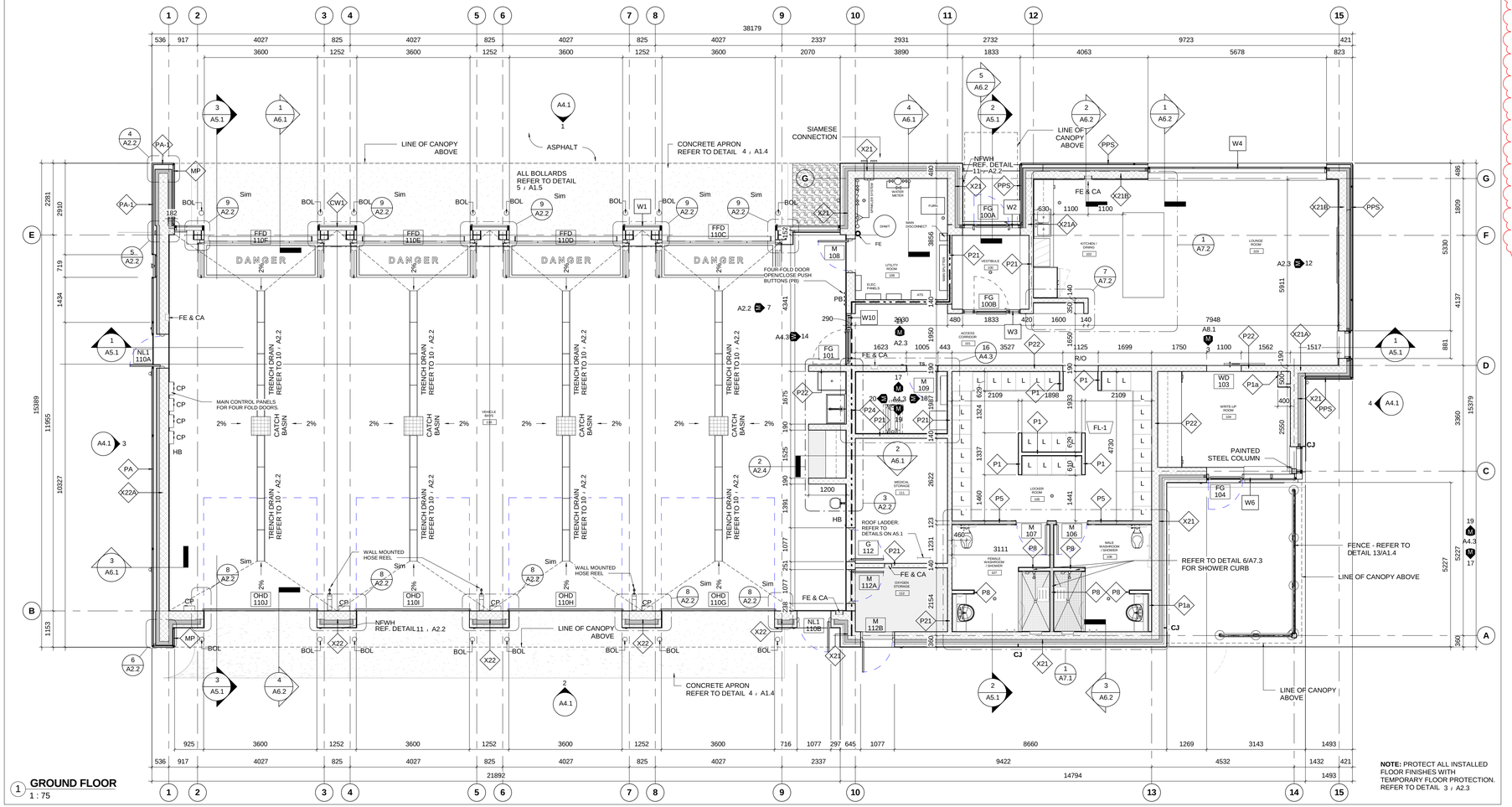
SCALE As indicated | DRAWN BY SRL

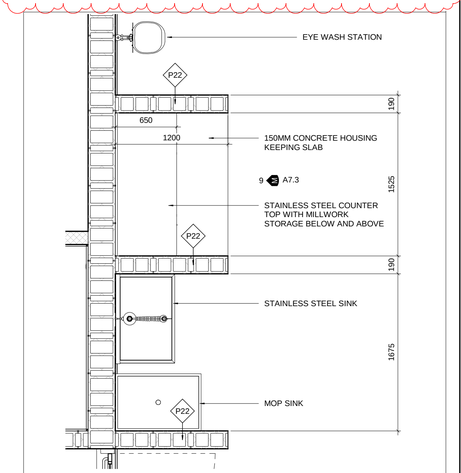
DWG STATUS : TENDER

PROJECT No. 1509

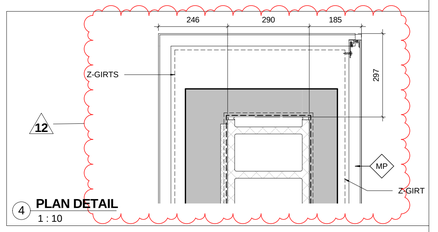
DRAWING No. **A2.1** | REVISION 12

9/4/2019 12:21:15 PM

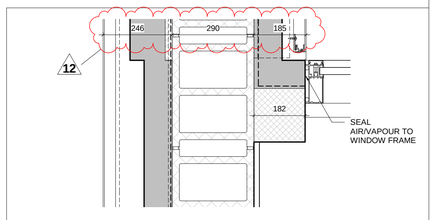




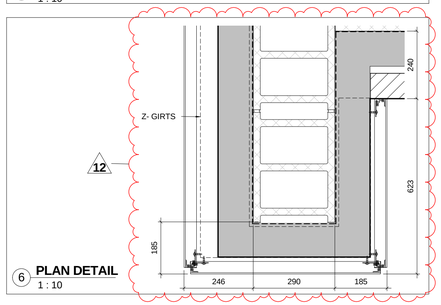
3 **CLEANING ALCOVE**
1 : 30



4 **PLAN DETAIL**
1 : 10



5 **PLAN DETAIL**
1 : 10



6 **PLAN DETAIL**
1 : 10

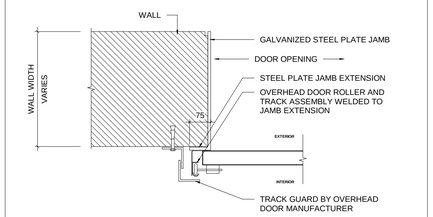
12 / A2.2 — A700 GENERAL NOTES - FLOOR PLAN

1. DIMENSIONS SHOWN ARE TAKEN TO FACE OF CMU, POURED CONCRETE, OR WALL STUD UNLESS NOTED OTHERWISE. ALL GWB OR CMU PARTITIONS TO EXTEND TIGHT TO U/S OF ROOF DECKS UNLESS NOTED OTHERWISE.
2. REFER TO STRUCTURAL DRAWINGS FOR LATERAL SUPPORT AT THE TOP OF CMU WALLS.
3. ALL INTERIOR ALUM SCREENS SHALL HAVE GWB AND METAL STUD ASSEMBLIES FROM TOP OF SCREEN/DOOR FRAME TO UNDERSIDE OF DECK UNLESS A LINTEL HAS BEEN PROVIDED BY STRUCTURAL WITH BLOCK WALL ABOVE TO U/S DECKS. WHERE SCREENS OR DOORS OCCUR WITHIN WALLS CONSTRUCTED AS FIRE SEPARATIONS, THE WALL ABOVE SUCH SCREENS OR DOORS SHALL BE CONSTRUCTED TO PROVIDE THE REQUIRED FIRE RESISTANCE RATING INDICATED.
4. ON ALL EXPOSED CORNERS OF EXPOSED MASONRY WALLS PROVIDE BULLNOSE BLOCK AT ALL COURSES ABOVE THE FIRST COURSE UNLESS NOTED OTHERWISE.
5. WHERE DUCTS, PIPES, AND CONDUITS PENETRATE EXPOSED MASONRY PARTITIONS, CUT BLOCKS TO SUIT REQUIRED OPENINGS TO MINIMIZE PATCHING.
6. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS OF PANELS, DOOR CONTROLS, SECURITY DEVICES ETC NOT SHOWN ON ARCHITECTURAL DRAWINGS.

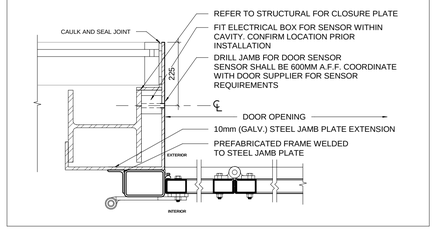
12

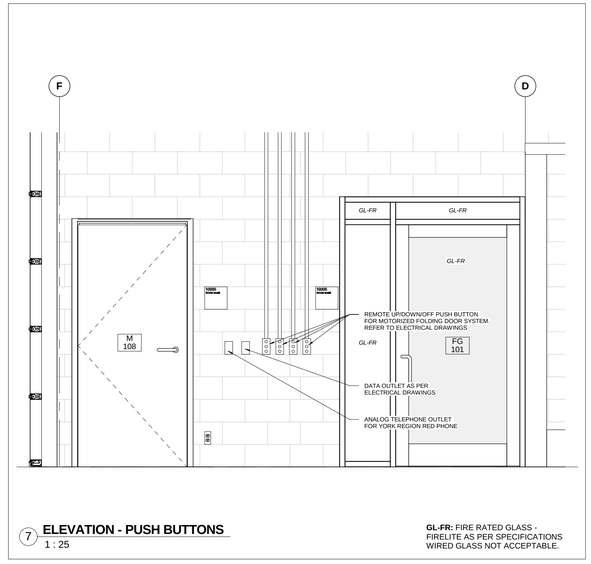
NOTE: PROTECT ALL INSTALLED FLOOR FINISHES WITH TEMPORARY FLOOR PROTECTION. REFER TO DETAIL 3 / A2.3

8 / A2.2 — A700-8363-OHD-2



9 / A2.2 — A700-8351-FFD-2

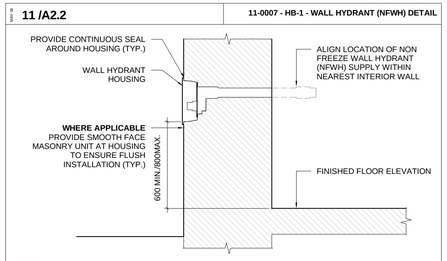




7 **ELEVATION - PUSH BUTTONS**
1 : 25

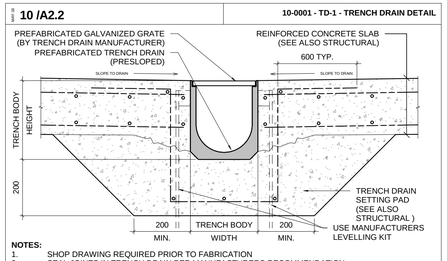
GL-FR: FIRE RATED GLASS - FIRELITE AS PER SPECIFICATIONS WIRED GLASS NOT ACCEPTABLE.

11 /A2.2 — 11-0007 - HB-1 - WALL HYDRANT (NFWH) DETAIL



NOTES:

10 /A2.2 — 10-0001 - TD-1 - TRENCH DRAIN DETAIL



NOTES:
1. SHOP DRAWING REQUIRED PRIOR TO FABRICATION
2. SEAL JOINTS IN TRENCH DRAIN PER MANUFACTURERS RECOMMENDATION
3. ENSURE CONTINUITY OF REINFORCING FROM ADJACENT SLABS THROUGH TRENCH DRAIN SETTING PAD
4. PROTECT GRATES AND DRAIN BODY FROM DAMAGE AND OR DEFLECTION DURING SLAB PLACEMENT

ISSUE OR REVISION

NO.	ISSUED FOR	DATE
1	SPA SUBMISSION 01	2018.01.29
3	80% CLIENT REVIEW	2018.05.29
7	90% CLIENT REVIEW	2018.12.05
8	100% CLIENT REVIEW	2019.02.12
9	BUILDING PERMIT	2019.04.11
12	ADDENDUM 2	2019.09.10

PROJECT :
YORK REGION PRS STATION #29 T-19-16
107 GLEN CAMERON ROAD, MARKHAM

CLIENT
York Region

ARCHITECT
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PROFESSIONAL SEAL

DWG TITLE
FLOOR PLAN AND PLAN DETAILS

ORIENTATION
TRUE NORTH
CONSTRUCTION NORTH

DATE 2019/07/09
SCALE As indicated
DRAWN BY SRL
DWG STATUS : TENDER
PROJECT No. 1509
DRAWING No. **A2.2**
REVISION 12

9/9/2019 10:44:26 AM

12

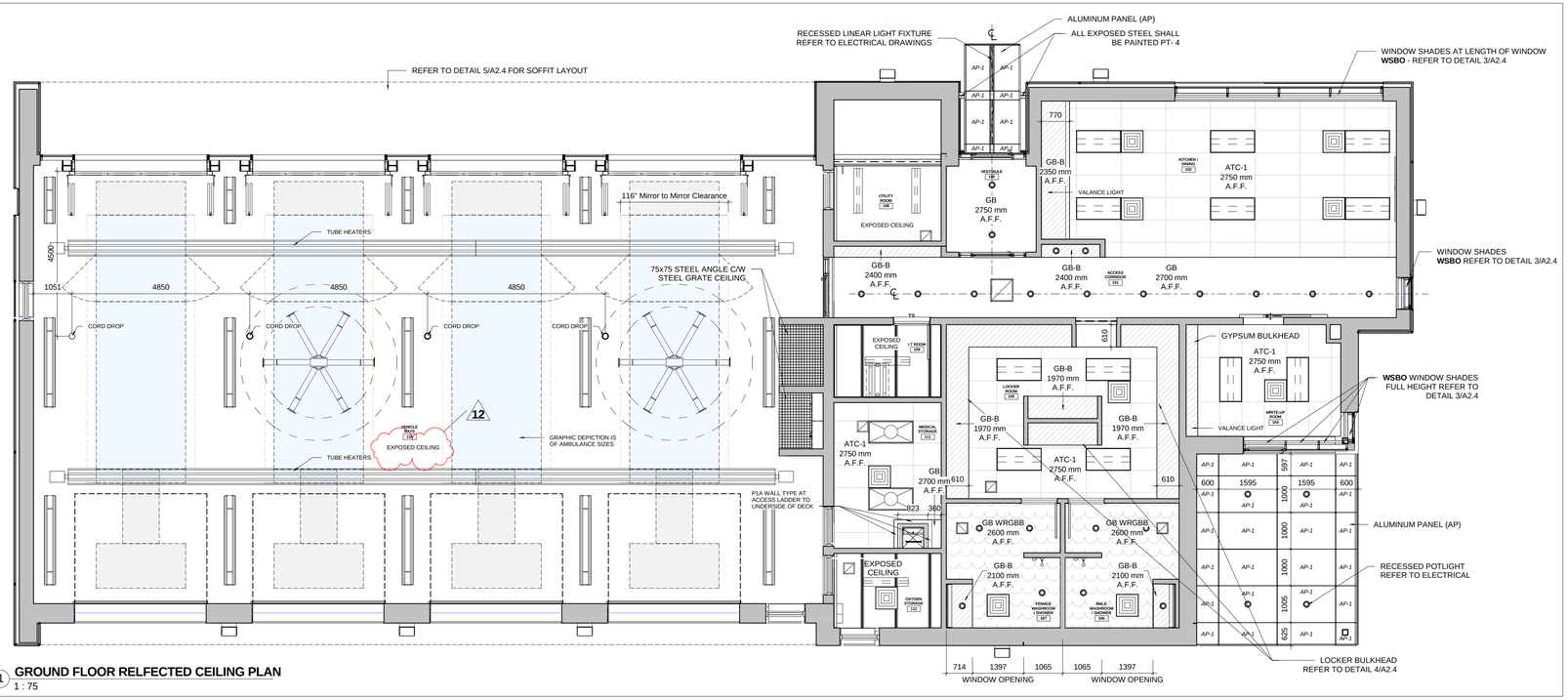
8 / A2.4 — A700 GENERAL NOTES - REFLECTED CEILING PLAN

1. REFLECTED CEILING PLANS MAY NOT SHOW ALL MECHANICAL AND ELECTRICAL FIXTURES OR EQUIPMENT. ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL DRAWINGS
2. **PRIOR TO COMMENCING WORK**, CONDUCT INTERFERENCE STUDY. THE OBJECTIVE OF THE STUDY IS TO IDENTIFY AND MITIGATE ISSUES WITH THE INSTALLATION OF MECHANICAL AND ELECTRICAL SYSTEMS, FIXTURES AND EQUIPMENT. AS PART OF THE STUDY, INCLUDE THE FOLLOWING:
   - A. LOCATE ALL FIXTURES IN ACCORDANCE WITH ARCHITECTURAL DRAWINGS.
   - B. MARK LOCATIONS AND ROUTES ON SITE OF ALL EQUIPMENT, PIPING, VENTS, DUCTS, CONDENSATES ETC. CONTRACTOR TO ESTABLISH MINIMUM CLEARANCES AND REPORT ANY INTERFERENCES WITH LIGHT FIXTURES, CONDUIT OR WIRE RUNS, STRUCTURE ETC.
   - C. MARK LOCATIONS ON SITE OF ALL LIGHTING. CONTRACTOR TO ESTABLISH MINIMUM CLEARANCES AND REPORT ANY INTERFERENCES WITH DUCTS, PIPES, STRUCTURE ETC.
   - D. IDENTIFY ALL SERVICES INSTALLED WITHIN OR ABOVE CEILING SYSTEMS. COORDINATE ALL PENETRATIONS AND ACCESS PANELS WITH THE CEILING SUPPORT SYSTEMS.
   - E. REPORT ANY DISCREPANCIES OR INTERFERENCES TO CONSULTANT IMMEDIATELY. OBTAIN INSTRUCTION FROM CONSULTANT BEFORE COMMENCING INSTALLATION.
   - F. PROVIDE WRITTEN CONFIRMATION THAT INTERFERENCE STUDY HAS BEEN CONDUCTED AND THAT INTERFERENCES HAVE BEEN IDENTIFIED AND MITIGATED.
3. REFER TO ROOM FINISH SCHEDULE FOR CEILING FINISHES.
4. WHERE INDICATED, DIMENSIONS ARE TAKEN FROM CENTER OF LIGHT FIXTURES
5. WHERE INDICATED, CEILINGS NOTED AS EXPOSED SHALL BE PAINTED
6. FIRE SEPARATIONS ARE TO THE UNDERSIDE (U/S) OF THE DECK OR STRUCTURE COMPLETE WITH FIRESTOP SYSTEM MATERIAL AND SMOKE SEAL AS REQUIRED.
7. REFER TO TOP OF WALL DETAILS FOR TERMINATION OF WALLS AT FLOORS AND ROOFS
8. WHERE MECHANICAL AND ELECTRICAL FIXTURES PENETRATE A PARTITION, PATCH AND PROVIDE AN AIR-TIGHT SEAL AROUND PENETRATION. AT FIRE SEPARATIONS USE FIRESTOP SYSTEM MATERIAL AT PENETRATIONS TO MATCH THE FIRE RATING OF THE PARTITION, WALL OR FLOOR ASSEMBLY.
9. LOCATE SPRINKLERS, DETECTORS, SPEAKERS, ETC. ON CENTRE LINE OR MID-POINT OF LAY-IN CEILING PANELS UNLESS OTHERWISE NOTED.
10. FOR EQUIPMENT THAT REQUIRES ACCESS THROUGH CEILINGS, LOCATE ABOVE ATC CEILINGS WHERE POSSIBLE. WHERE ACCESS IS REQUIRED THROUGH GYPSUM BOARD CEILINGS, CONTRACTOR TO PROVIDE ACCESS PANELS AS REQUIRED. CONSULTANT TO REVIEW LOCATIONS PRIOR TO PROCEEDING WITH INSTALLATION.
11. ACCESS PANELS SHALL BE PREFABRICATED AND SIZED ACCORDING TO ACCESS REQUIREMENTS. FINISH FLUSH WITH ADJACENT CEILING AND MATCH ADJACENT CEILING FINISH.
12. UNLESS OTHERWISE NOTED, LOCATE LIGHT FIXTURES ON CENTRE OF ACOUSTIC CEILING TILES
13. REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR FIRE EXIT SIGNS, EMERGENCY LIGHTING AND OTHER LIFE SAFETY DEVICES (IE HEAT DETECTORS, SMOKE DETECTORS ETC).
14. WHERE REQUIRED, PATCH, PAINT OR REPLACE ANY DAMAGED T-BAR AND REPLACE ANY DAMAGED OR SOILED CEILING TILES NOTED PRIOR TO OCCUPANCY

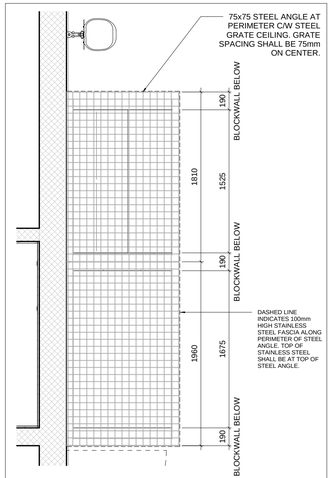
GC COORD — SUBTRADES — COORD INTERFERENCE

LEGEND

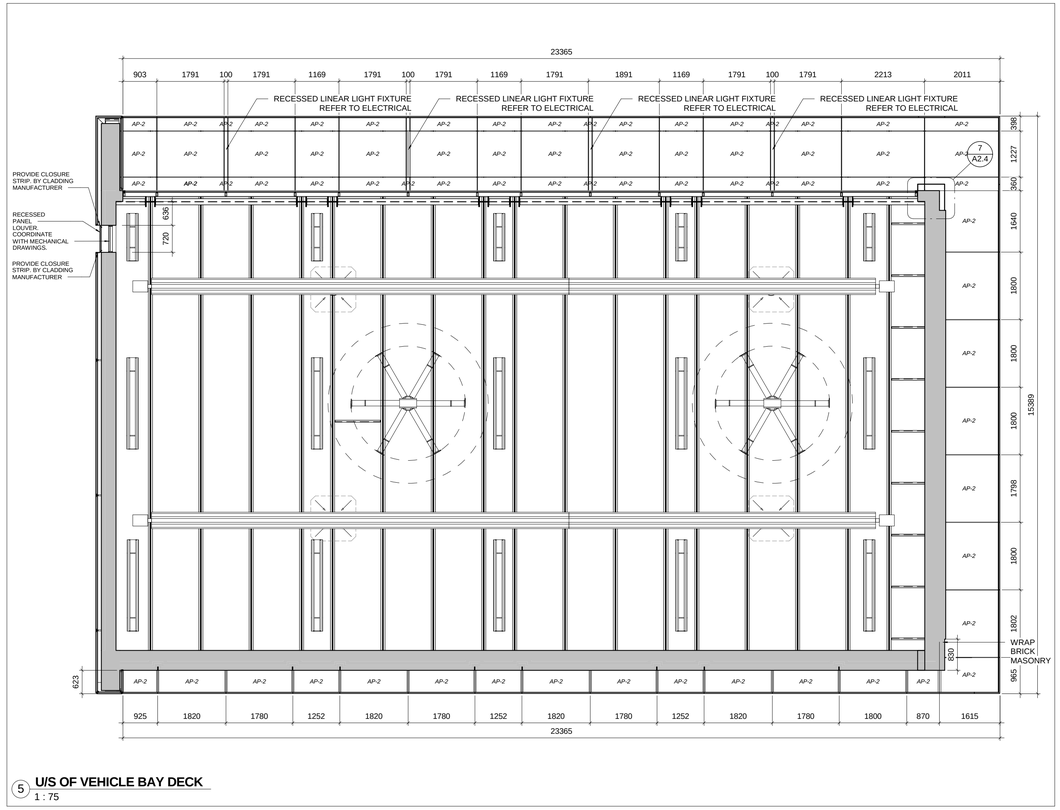
	GB	GYPSUM BOARD
	GB-B	GYPSUM BOARD - BULKHEAD
	GB-WRGBB	WATER RESISTANT GYPSUM BACKING BOARD
	ATC	ACOUSTICAL TILE CEILING SYSTEM
	EXP	EXPOSED CEILING



1 **GROUND FLOOR RELFECTED CEILING PLAN**
1 : 75

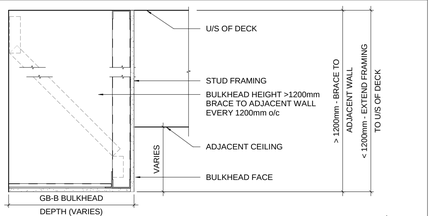


2 **CEILING GRATE - TOP VIEW**
1 : 30



5 **U/S OF VEHICLE BAY DECK**
1 : 75

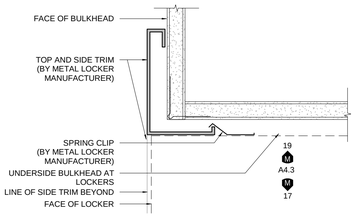
9 / A2.4 — 9-0004 - CT-1 - TYPE 'A' - GYPSUM BOARD BULKHEAD (GB-B) TO ADJACENT CEILINGS



TYPE 'A' - GYPSUM BOARD BULKHEAD (GB-B) TO ADJACENT CEILINGS

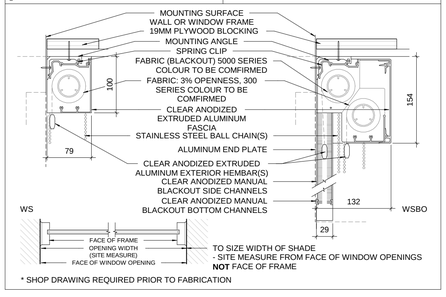
WHEN SETTING BULKHEAD HEIGHTS. PRIOR TO FRAMING, CONFIRM HEIGHT REQUIREMENT OF ITEMS / CONSTRUCTION BELOW BULKHEAD AND MEASURE FROM FINISHED FLOOR TO ENSURE AQEDUATE CLEARANCE. NOTIFY CONSULTANT OF ANY DISCREPANCIES — GC COORD — SUBTRADES

4 / A2.4 — A700-9000-LKTR-2



* SHOP DRAWING REQUIRED PRIOR TO FABRICATION

3 / A2.4 — 12-0001 - WS-1 WINDOW SHADES



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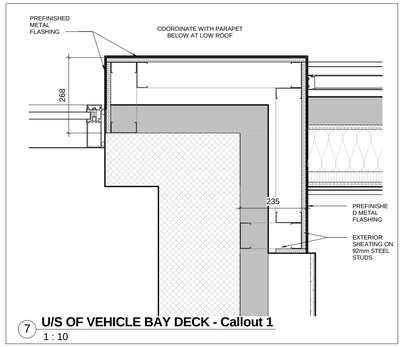

7 **U/S OF VEHICLE BAY DECK - Callout 1**
1 : 10

ISSUE OR REVISION

NO.	ISSUED FOR	DATE
1	SPA SUBMISSION 01	2018.01.29
3	80% CLIENT REVIEW	2018.05.29
7	90% CLIENT REVIEW	2018.12.05
8	100% CLIENT REVIEW	2019.02.12
9	BUILDING PERMIT	2019.04.11
12	ADDENDUM 2	2019.09.04

PROJECT :

YORK REGION PRS STATION #29 T-19-16

107 GLEN CAMERON ROAD, MARKHAM

CLIENT

York Region

ARCHITECT

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PROFESSIONAL SEAL

DWG TITLE

REFLECTED CEILING PLAN

ORIENTATION

TRUE NORTH — CONSTRUCTION NORTH

DATE 2019/07/09

SCALE As indicated — DRAWN BY SRL

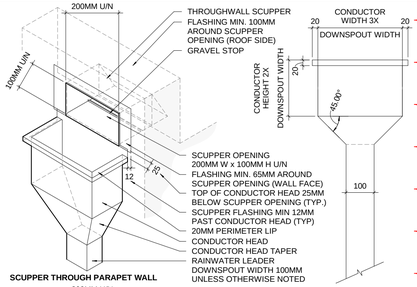
DWG STATUS : TENDER

PROJECT No. 1509

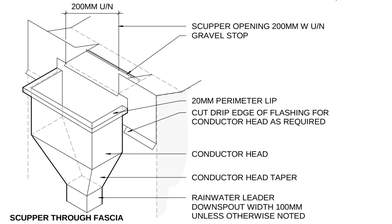
DRAWING No. **A2.4** — REVISION 12

9/4/2019 12:23:24 PM

10 /A3.1 — A700-7462-RWL(CH)-1



SCUPPER THROUGH PARAPET WALL

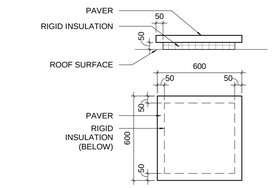


SCUPPER THROUGH FASCIA

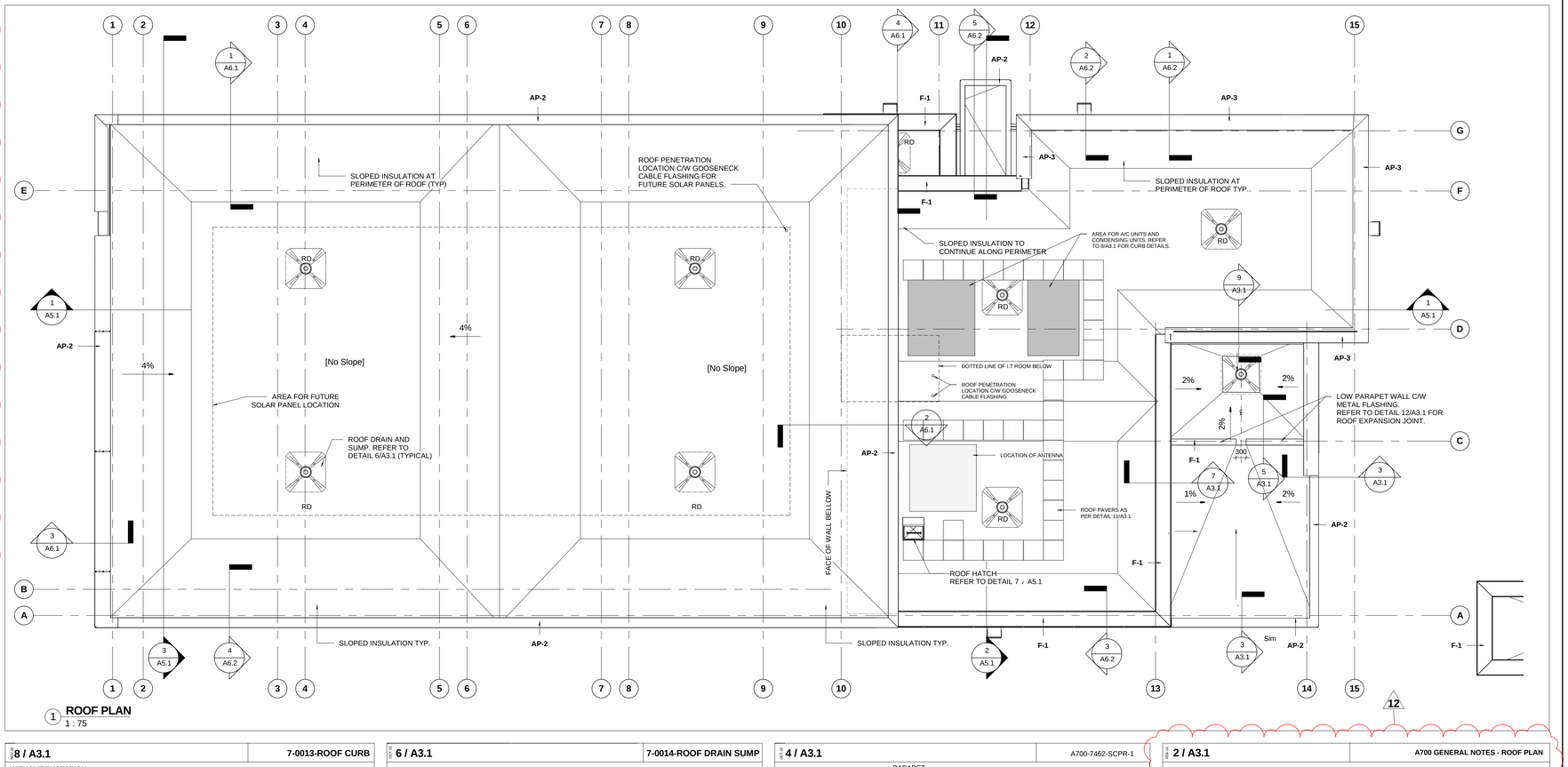
a. FABRICATE AND INSTALL IN ACCORDANCE WITH SMACNA ARCHITECTURAL SHEET METAL MANUAL - CURRENT EDITION
b. ALL JOINTS - METAL SHALL BE SOLDERED - ALUMINUM SHALL BE WELDED

11

11 /A3.1 — 7-0002 - VRA-2 - ROOF PAVER DETAIL



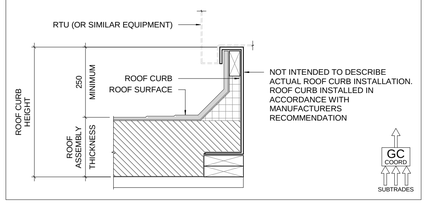
NOTES:
1. PROVIDE ROOF PAVERS AROUND PERIMETER OF VEGETATED ROOF ASSEMBLIES AND IN OTHER LOCATIONS AS INDICATED.
2. CUT RIGID INSULATION 50MM BACK FROM EDGE OF PAVER (TYPICAL).
3. ON MEMBRANE ROOF SURFACES, INSULATION SHALL BE RAIN CHANNELED ON BOTTOM EDGES.



1 **ROOF PLAN**
1 : 75

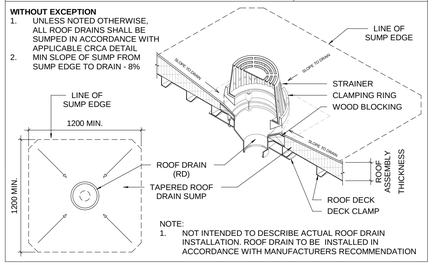
8 / A3.1 — 7-0013-ROOF CURB

WITHOUT EXCEPTION
1. ROOF MOUNTED EQUIPMENT AND FITTINGS THAT REQUIRE A ROOF CURB SHALL BE SUPPORTED BY A CURB OF SUFFICIENT HEIGHT SO THAT THE TOP OF CURB IS AT LEAST 250mm ABOVE THE ADJACENT ROOF SURFACE.
2. ROOF CURB HEIGHT AS INDICATED BELOW **MUST** BE NOTED ON SUBMITTALS.
3. CONTRACTOR TO COORDINATE WITH SUPPLIERS/MANUFACTURERS ACCORDINGLY.



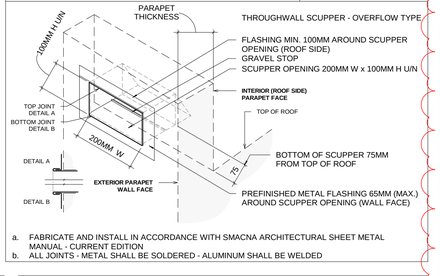
6 / A3.1 — 7-0014-ROOF DRAIN SUMP

WITHOUT EXCEPTION
1. UNLESS NOTED OTHERWISE, ALL ROOF DRAINS SHALL BE SUMPED IN ACCORDANCE WITH APPLICABLE CRCA DETAIL
2. MIN SLOPE OF SUMP FROM SUMP EDGE TO DRAIN - 8%



NOTE:
1. NOT INTENDED TO DESCRIBE ACTUAL ROOF DRAIN INSTALLATION. ROOF DRAIN TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATION

4 / A3.1 — A700-7462-SCPR-1



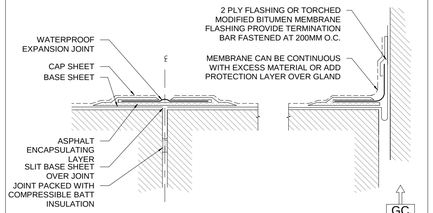
a. FABRICATE AND INSTALL IN ACCORDANCE WITH SMACNA ARCHITECTURAL SHEET METAL MANUAL - CURRENT EDITION
b. ALL JOINTS - METAL SHALL BE SOLDERED - ALUMINUM SHALL BE WELDED

2 / A3.1 — A700 GENERAL NOTES - ROOF PLAN

1. ROOF PLAN DOES NOT SHOW ALL PENETRATIONS THROUGH ROOF. CONTRACTOR TO REVIEW ALL CONTRACT DRAWINGS AND SPECIFICATIONS TO DETERMINE FULL SCOPE OF WORK. MAKE PROVISIONS FOR ROOF PENETRATIONS WHERE INDICATED AND REQUIRED UNDER THE SCOPE OF THIS CONTRACT.
2. ALL ROOF PENETRATIONS SHALL BE SEALED USING TALL CONE FLASHING OR PITCH POCKETS AS REQUIRED. CONES SHALL BE SEAMLESS AND INCLUDE A STORM COLLAR.
3. PROVIDE TAPERED INSULATION AT PERIMETER OF ALL ROOFS, SKYLIGHTS AND AS INDICATED. SLOPE SHALL BE 2%.
4. UNLESS NOTED OTHERWISE, SUMP ALL ROOF DRAINS IN ACCORDANCE WITH APPLICABLE CRCA DETAIL. AS INDICATED OR AS REQUIRED, PROVIDE TAPERED CRICKETS OR SIMILAR TYPE MEASURES TO ENSURE THAT ROOF WATER FLOWS TO DRAINS.
5. SLOPE OF ROOF STRUCTURE TO BE SUPPLEMENTED BY TAPERED INSULATION. SLOPE ROOF INSULATION MIN. 1.5% TO DRAINS, TYPICAL. CRICKETS, CONSTRUCTED OUT OF TAPERED INSULATION, ARE TO PROVIDE TWO TIMES THE SLOPE OF THE ROOF STRUCTURE.
6. UPSTANDS ON ROOF FOR MECHANICAL UNITS, PARAPETS, SKYLIGHTS TO COME COMPLETE WITH CANT STRIPS.
7. **WITHOUT EXCEPTION**, ROOF MOUNTED EQUIPMENT AND FITTINGS THAT REQUIRE A ROOF CURB SHALL BE SUPPORTED BY A CURB OF SUFFICIENT HEIGHT SO THAT THE TOP OF CURB IS AT LEAST 250mm ABOVE THE ADJACENT ROOF SURFACE. CONTRACTOR TO COORDINATE WITH SUPPLIERS/MANUFACTURERS ACCORDINGLY.
8. CONTINUOUS VAPOUR RETARDER MEMBRANE COMPONENT OF ROOF ASSEMBLIES TO BE WRAPPED UP AT ALL PARAPETS, CURBS, EXTERIOR WALL ASSEMBLIES BY A MIN. 200mm OR AS DETAILED ON DRAWINGS. TIE INTO VAPOUR BARRIER & AVB MEMBRANES ON ALL VERTICAL SURFACES. PROVIDE 'PEEL & STICK' TYPE TRANSITION MEMBRANES IN ORDER TO ENSURE CONTINUITY OF AIR BARRIERS/BUILDING ENVELOPE

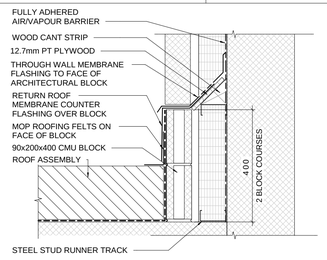
GC COORD — SUBTRADES; GC COORD — INTERFERENCE

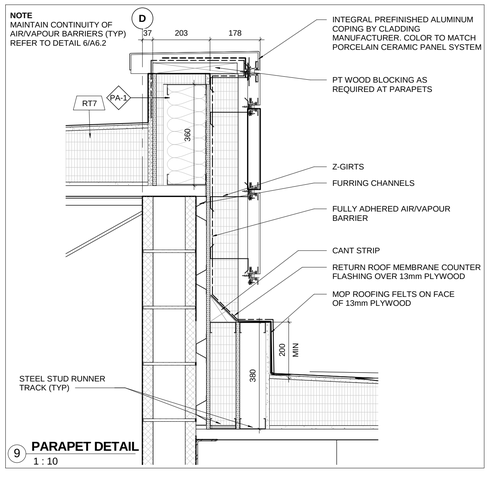
12 /A3.1 — A700 7000-REJ-TD-1



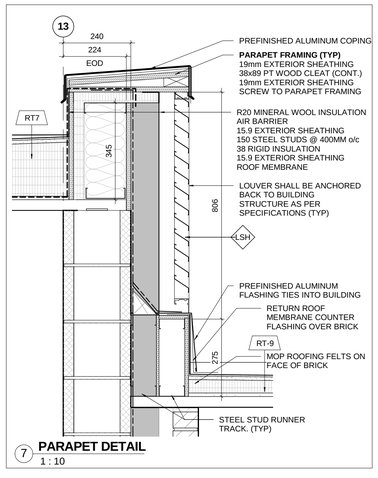
TORCHED APPLICATION

13 /A3.1 — A700-7270-AB-2

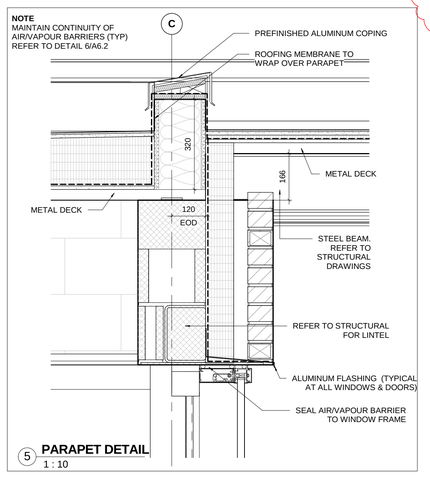




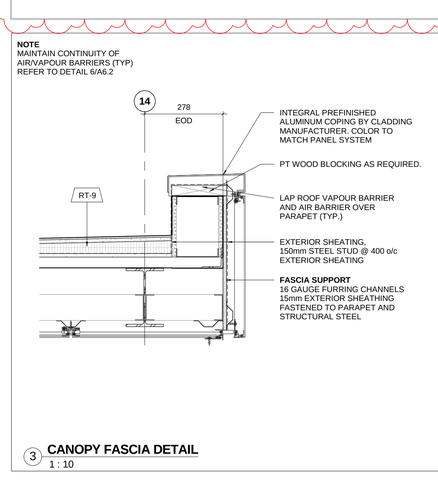
9 **PARAPET DETAIL**
1 : 10



7 **PARAPET DETAIL**
1 : 10



5 **PARAPET DETAIL**
1 : 10



3 **CANOPY FASCIA DETAIL**
1 : 10

ISSUE OR REVISION

NO.	ISSUED FOR	DATE
1	SPA SUBMISSION 01	2018.01.29
3	80% CLIENT REVIEW	2018.05.29
7	90% CLIENT REVIEW	2018.12.05
8	100% CLIENT REVIEW	2019.02.12
9	BUILDING PERMIT	2019.04.11
11	ADDENDUM 1	2019.08.22
12	ADDENDUM 2	2019.09.04

PROJECT :
YORK REGION PRS STATION #29 T-19-16
107 GLEN CAMERON ROAD, MARKHAM

CLIENT
York Region

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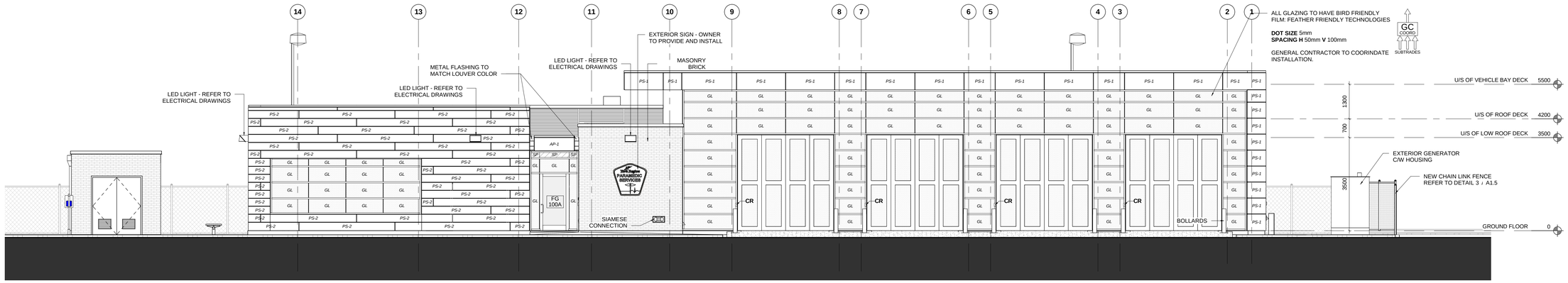
PROFESSIONAL SEAL

DWG TITLE
ROOF PLAN

ORIENTATION
TRUE NORTH — CONSTRUCTION NORTH

DATE 2019/07/09
SCALE As indicated
DRAWN BY SRL
DWG STATUS : TENDER
PROJECT No. 1509
DRAWING No. **A3.1**
REVISION 12

9/4/2019 12:23:45 PM



1 **NORTH ELEVATION**
1 : 75

MARKHAM

The City of Markham Council approved the *Bird Friendly Guidelines* on February 11, 2014. The development of *Bird Friendly Guidelines* was identified as a priority in the *Greenprint - Markham's Sustainability Plan (2011)* and *Markham's new Official Plan (2013)* in order to address and manage bird-window collisions over the long term. The *Guidelines* provide guidance on treatments and techniques for new development and retrofit design treatments, and identify appropriate implementation mechanisms consistent with City practices and guidelines.

As part of the *Guidelines*, the *Bird Friendly Specification Checklists* were also approved as an implementation tool to guide developers in the *Site Plan Approval* process. Refer to the following stages of the *Site Plan Approval* process for implementation requirements. It is the responsibility of the applicant to adhere to the *Guidelines* at first site plan submission in order for the application to be deemed complete.

The *Checklists* represent the mandatory requirements that apply to developments and redevelopments under the *Site Plan Approval* process. The application of secondary treatments is recommended and can be further discussed during the site plan review process. Please refer to *Chapter 4.3 of the Guideline* for details.

STEP 1: Applicant to complete and include *Bird Friendly Specification Checklist* as part of the *Elevation Drawing(s)* at first site plan submission. Drawing(s) are to be stamped and signed by an OAA member and identify all contiguous glass area that are larger than 2m².

STEP 2: Applicant to complete and submit the *Bird Friendly Lighting Checklist*. Drawings to be stamped and signed by a P.Eng. Drawings to include *Lighting Photometric and Light Fixture Specifications* from catalogue. Provide cost estimate of light fixtures.

MARKHAM BIRD FRIENDLY BUILDING CHECKLIST

Applicant to include checklist on Elevation Drawing(s) at first site plan submission. Drawing(s) to be stamped and signed by an OAA member.

MANDATORY PRIMARY TREATMENTS FOR ALL DEVELOPMENTS

At Grade Condition (check to confirm the below is applied)
☒ Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m² and within 16m from finished grade.

Roof Landscape Condition (check to confirm one of the below is applied)
☐ Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m² and within 16m from roof level finished grade.
☒ Development contains no glass panel within 16m from roof level finished grade.

Patterns (check to confirm one or more of the below are applied)
☐ **Stripes**
Horizontal strip spacing is less than 5cm on centre; vertical strip spacing is less than 10cm on centre; horizontal strips widths are greater than 3.1mm; and vertical strips widths are greater than 6.1mm.
☒ **Dots**
Dot size is larger than 5mm; horizontal strip spacing is less than 5cm on centre; and vertical strip spacing is less than 10cm on centre.

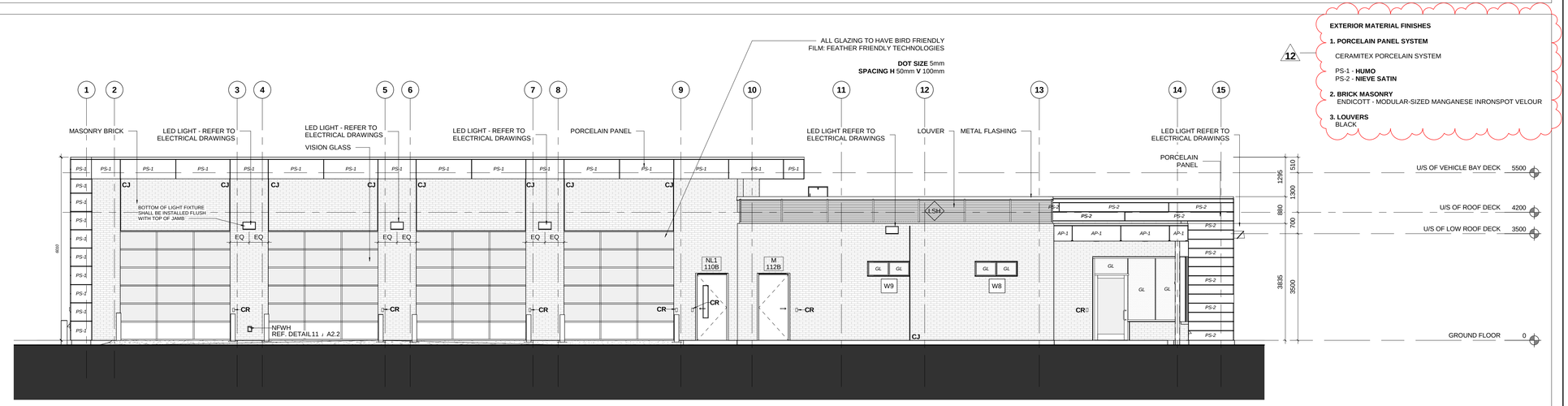
Specifications (check to confirm one or more of the below is applied)
☐ Pattern is applied as fritting or etching of glass; and pattern colour are high contrast in relation to the background.
☒ Pattern is applied as film on exterior surface of glass; and pattern colour are high contrast in relation to the background.

MARKHAM BIRD FRIENDLY LIGHTING CHECKLIST

Applicant to include checklist on Electrical Engineering Drawing(s) at first landscape plan submission. Drawing(s) to be stamped and signed by a P.Eng.

MANDATORY LIGHTING CRITERIA FOR ALL DEVELOPMENTS (check to confirm the below is applied)
☒ The use of exterior up lighting is eliminated; there is no exterior light spill outside of property line.

12



EXTERIOR MATERIAL FINISHES

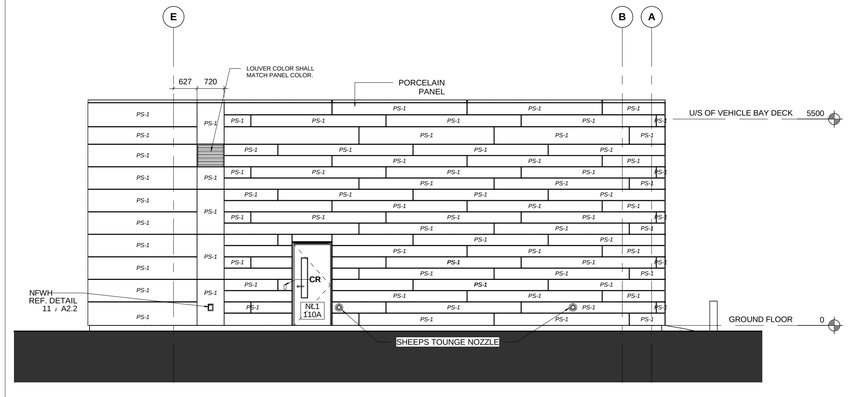
12

1. PORCELAIN PANEL SYSTEM
CERAMITEX PORCELAIN SYSTEM
PS-1 - **HUMO**
PS-2 - **NIEVE SATIN**

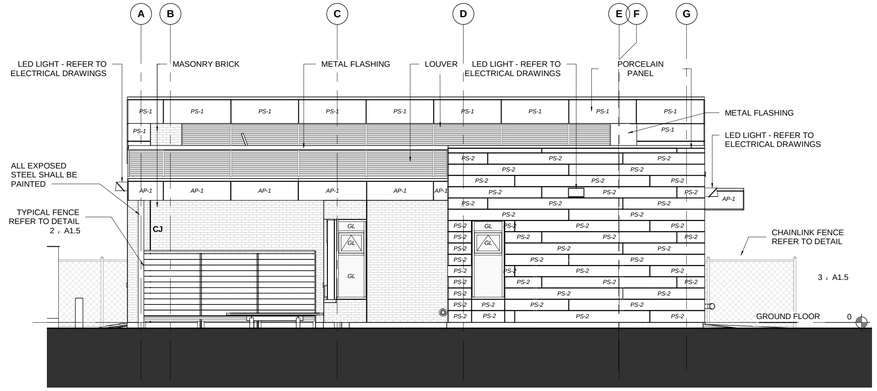
2. BRICK MASONRY
ENDICOTT - MODULAR-SIZED MANGANESE INRONSPOT VELOUR

3. LOUVERS
BLACK

2 **SOUTH ELEVATION**
1 : 75



3 **WEST ELEVATION**
1 : 75



4 **EAST ELEVATION**
1 : 75

5 / A4.1 — **A700 GENERAL NOTES - BUILDING ELEVATIONS**

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL DRAWINGS PREPARED BY THE MECHANICAL AND ELECTRICAL ENGINEERS TO DETERMINE LOCATIONS OF ALL MECHANICAL AND ELECTRICAL PENETRATIONS, FIXTURES, DEVICES ETC.
2. ELEVATION DRAWINGS MAY NOT SHOW ALL PENETRATIONS. CONTRACTOR TO REVIEW ALL CONTRACT DRAWINGS AND SPECIFICATIONS TO DETERMINE FULL SCOPE OF WORK. MAKE PROVISIONS FOR PENETRATIONS WHERE INDICATED AND REQUIRED UNDER THE SCOPE OF THIS CONTRACT.
3. ELEVATION DRAWINGS MAY NOT SHOW ALL FIXTURES, DEVICES ETC. CONTRACTOR TO REVIEW ALL CONTRACT DRAWINGS AND SPECIFICATIONS TO DETERMINE FULL SCOPE OF WORK. LOCATION OF FIXTURES, DEVICES ETC. AS SHOWN ON ELEVATION DRAWINGS SHALL GOVERN. REPORT ANY DISCREPANCIES WITH MECHANICAL AND ELECTRICAL DRAWINGS TO CONSULTANT IMMEDIATELY. OBTAIN INSTRUCTION FROM CONSULTANT BEFORE COMMENCING INSTALLATION.

GC COORD
SUBTRADES

ISSUE OR REVISION

NO.	ISSUED FOR	DATE
1	SPA SUBMISSION 01	2018.01.29
2	SPA SUBMISSION 02	2018.05.03
3	80% CLIENT REVIEW	2018.05.29
5	SPA SUBMISSION 04	2018.10.26
6	SPA SUBMISSION 05	2018.11.07
7	90% CLIENT REVIEW	2018.12.05
8	100% CLIENT REVIEW	2019.02.12
9	BUILDING PERMIT	2019.04.11
12	ADDENDUM 2	2019.09.10

PROJECT :
YORK REGION PRS STATION #29 T-19-16
107 GLEN CAMERON ROAD, MARKHAM

CLIENT
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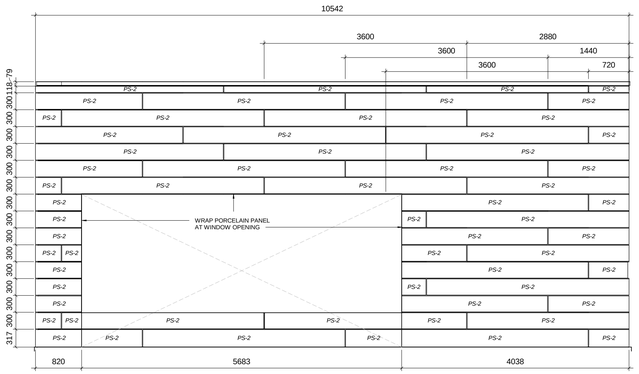
PROFESSIONAL SEAL

DWG TITLE
BUILDING ELEVATIONS

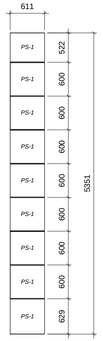
ORIENTATION

DATE 2019/07/09
SCALE As indicated
DRAWN BY SRL
DWG STATUS : TENDER
PROJECT No. 1509
DRAWING No. **A4.1**
REVISION 12

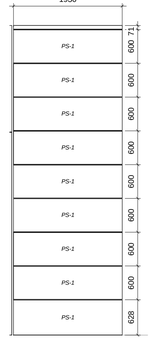
9/9/2019 9:53:56 AM



4 **CLADDING - CREW AREA**
1 : 50



2 **CLADDING - VEHICLE BAY**
1 : 50



3 **CLADDING - VEHICLE BAY**
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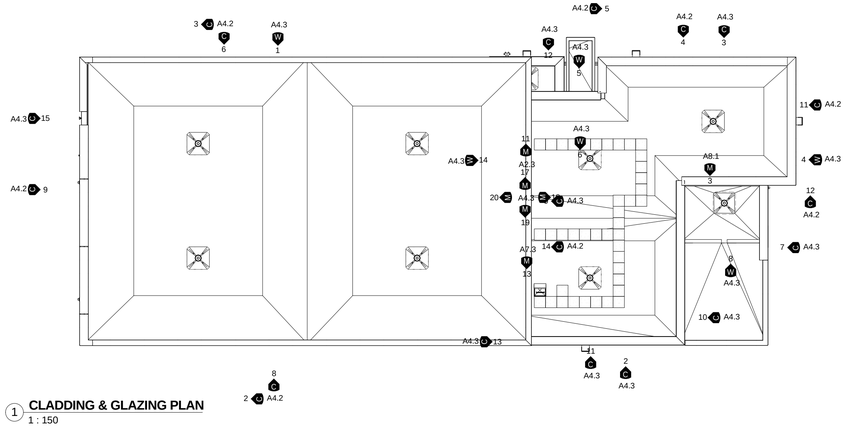
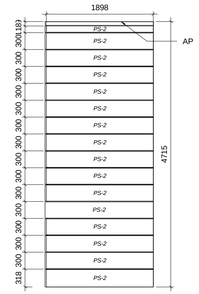


1 **CLADDING & GLAZING PLAN**
1 : 150



5 **CLADDING - CREW AREA**
1 : 50

PORCELAIN PANEL SYSTEM COLOR FINISH

PS-1 PORCELAIN PANEL - HUMO SATIN FINISH

PS-2 PORCELAIN PANEL - PERLA SATIN FINISH

ALUMINUM PANEL COLOR FINISH

AP - 1 ALPOLIC HYB BLUE

AP - 2 ALPOLIC MICA

AP - 3 ALPOLIC COW WHITE

PRE-FINISHED METAL FLASHING

F1 AGWAY QC 28262 BLACK
(METAL FLASHING AT ARCHITECTURAL LOUVER L1)

F2 CLEAR ANODIZED ALUMINUM (SILL FLASHINGS AT WINDOWS ADJACENT TO BRICK MASONRY)

F3 AGWAY QC 28695 CAMBRIDGE WHITE (ALL SILL AND HEADER FLASHINGS AT WINDOWS ADJACENT TO PS-2)

F4 DURANAR UC51825 FASHION GRAY (METAL FLASHING AT ARCHITECTURAL LOUVER L2)

ARCHITECTURAL LOUVER COLORS

L1 AGWAY QC 28262 BLACK

L2 DURANAR UC51825 FASHION GRAY

NOTE

1. AP-1, AP-2, AND AP-3 ARE INTEGRAL PREFINISHED ALUMINUM COPING BY CLADDING MANUFACTURER.

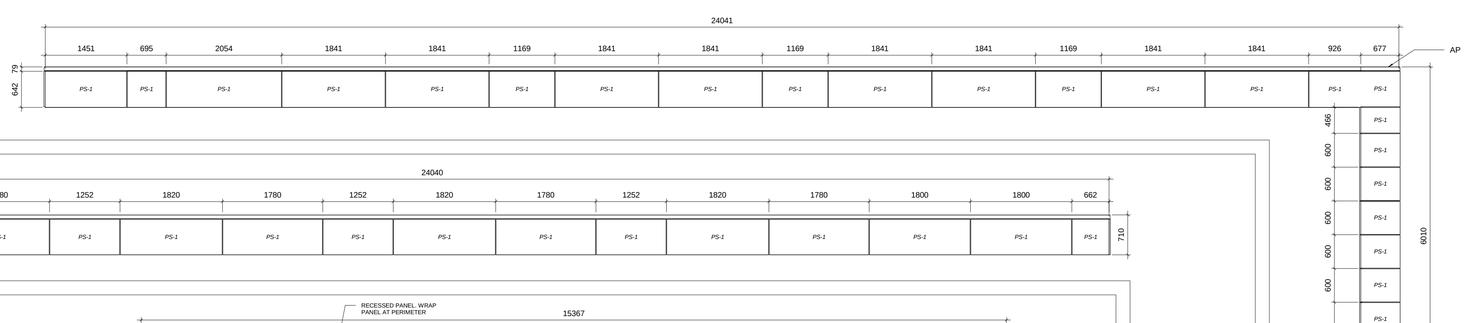
2. GENERAL CONTRACTOR SHALL PROVIDE ALL COLOR SAMPLES OF ALL OF THE ABOVE AS WELL AS ANY OTHER COLOR SAMPLE REQUESTED BY ARCHITECT FROM FULL RANGE OF MANUFACTURERS COLORS.

3. PORCELAIN PANEL SYSTEM SHALL BE A RAIN SCREEN SYSTEM

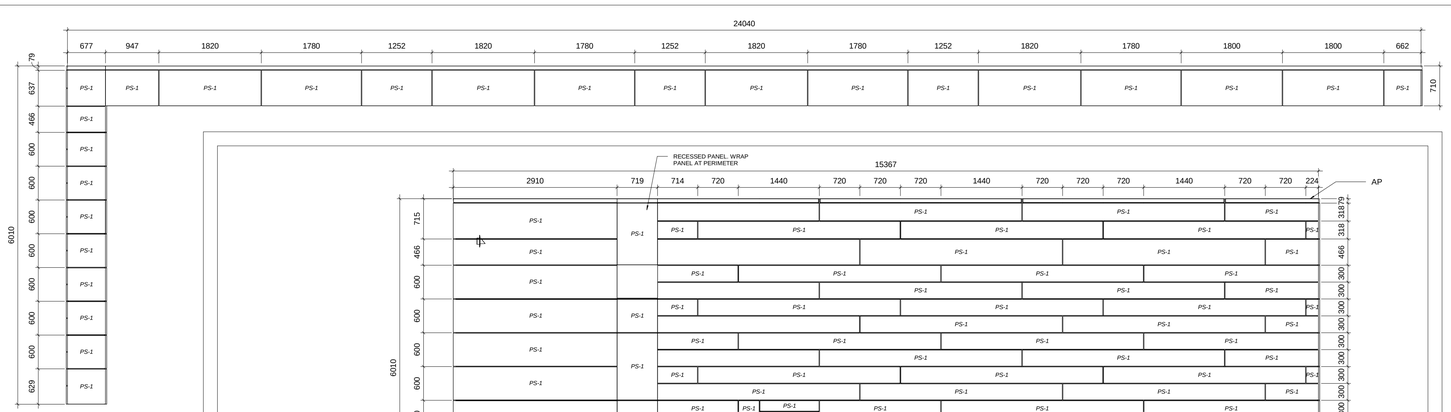
4. ALL OUTSIDE CORNERS OF PORCELAIN PANEL SYSTEM SHALL BE MITERED

5. ALL WINDOW JAMBS SHALL BE COMPOSED OF PORCELAIN CERAMIC SLAB PRE ASSEMBLED TO CORNER CLIP

6. ALL WINDOW SILLS AT PORCELAIN PANEL SYSTEM SHALL HAVE PORCELAIN CERAMIC SLAB FIELD APPLIED TO CORNER CLIPS

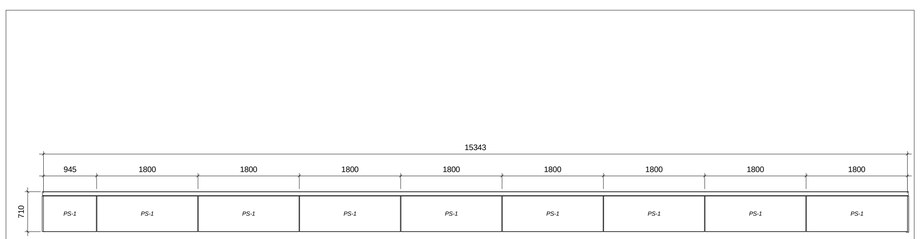


6 **CLADDING - VEHICLE BAY**
1 : 50

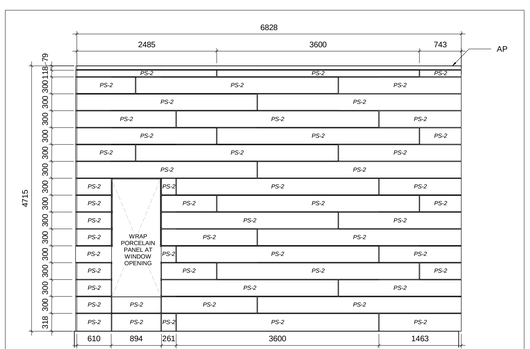


9 **CLADDING - VEHICLE BAY**
1 : 50

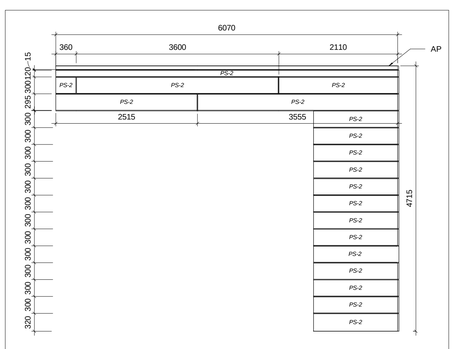
8 **CLADDING - VEHICLE BAY**
1 : 50



14 **CLADDING - VEHICLE BAY**
1 : 50



11 **CLADDING - CREW AREA**
1 : 50



12 **CLADDING - CREW AREA**
1 : 50

ISSUE OR REVISION

NO.	ISSUED FOR	DATE
3	80% CLIENT REVIEW	2018.05.29
7	90% CLIENT REVIEW	2018.12.05
8	100% CLIENT REVIEW	2019.02.12
9	BUILDING PERMIT	2019.04.11
12	ADDENDUM 2	2019.09.10

PROJECT :

YORK REGION PRS STATION #29 T-19-16

107 GLEN CAMERON ROAD, MARKHAM

CLIENT

York Region

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF THE WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO THE CONSULTANT.

ARCHITECT

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PROFESSIONAL SEAL

DWG TITLE

CLADDNG, GLAZING, & LOUVER ELEVATIONS

ORIENTATION

DATE 2019/07/09

SCALE As indicated | DRAWN BY SRL

DWG STATUS : TENDER

PROJECT No. 1509

DRAWING No. **A4.2** | REVISION 12

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